



# The Land Bank

Buffalo Erie Niagara Land Improvement Corporation

**Project Title:** Cheektowaga Infill Project (5 new build single-family homes)

**Date Released:** December 2, 2024

**Bid:** Five (5) new construction single-family homes  
Proposals for Modular or Stick Construction are acceptable

**Q&A Meeting:** December 10, 2024; 10:00 am to 12:00 pm

**Location:** 403 Main Street, Suite 521  
Buffalo, NY 14203

**Deadline:** January 13, 2025; 2:00 PM

**Submit bids to:** BENLIC  
403 Main Street, Suite 602  
Buffalo, NY 14203

**Method of Submittal:** Sealed Bid - US overnight mail, priority mail, 1st class mail, or in-person

**CONTACT – QUESTIONS REGARDING PROJECT:**

JOHN GOOD, Construction Manager

TELEPHONE #: 716-609-1473

EMAIL: [J.GOOD@BENLIC.ORG](mailto:J.GOOD@BENLIC.ORG)

**CONTACT – QUESTIONS REGARDING ALL OTHER:**

BEN BROWN, PROGRAM COORDINATOR

TELEPHONE #: 716-243-3996 EXT. 105

EMAIL: [B.BROWN@BENLIC.ORG](mailto:B.BROWN@BENLIC.ORG)

Please write your total bid amount next to the corresponding property in both numbers and words.

(For example: “ \$10,250 ; Ten thousand two hundred and fifty Dollars”)

In case of discrepancy, the amounts shown in words will govern. If you are not bidding on a particular property, please enter N/A on the total bid amount line for that property for clarity.

**INCOMPLETE, IMPROPERLY SUBMITTED OR LATE BID SUBMISSIONS MAY BE REJECTED AT THE SOLE DISCRETION OF BENLIC**

**Minority and Women owned Business participation:**

In accordance with funding requirements Minority and Woman Owned Business Enterprise (MWBE) participation must be a minimum of 10% and 2%, respectively, of the total bid amount for each property. MWBE businesses must be state certified and on the New York State List of Certified MWBE businesses, local or county certification alone is not acceptable.

**New York State Apprenticeship Program:**

The form on the following page must be completed and submitted as part of the bid package with all necessary detail.

NEW YORK STATE CERTIFIED APPRENTICESHIP TRAINING PROGRAM CERTIFICATION

Pursuant to Erie County Local Law 3-2018 the following MUST be submitted along with supporting documentation unless the Contracting Agency has otherwise determined under Section 2f of the Erie County Rules and Regulations that the New York State Certified Apprenticeship Training Program does not apply. TO BE FILLED OUT BY BIDDER: please check that which applies on sign below.

Enclosed is a copy of the certification of approval of the New York State Certified Apprenticeship Training Program (NYSCATP) by the New York State Department of Labor which, as Bidder, will use in connection with the construction contract. Also Enclosed is a written plan demonstrating how apprentices will be utilized by the Bidder As Prime Contractor or by the Subcontractor(s) to the Bidder as Prime Contractor. Such Plan shall include at a minimum:

- i. An organized written plan in place that embodies the terms and conditions of employment, training and supervision of one or more apprentices;
- ii. A schedule of wages to be paid to the apprentices consistent with the skills required and approved by the New York State Department of Labor;
- iii. Equal employment and affirmative action plans;
- iv. A minimum of ten percent (10%) of the total construction workers, trades people, trainees, journeymen, and apprentices employed at any given time on a particular project by any and all contractors or subcontractors must consist of people participating in a NYSCATP; and
- v. In all cases, such a Certified Apprenticeship Training Program must be specific to the type and scope of work which is being performed and must have a graduation rate of at least thirty percent (30%) as determined by the New York State Department of Labor.

Enclosed is a detailed explanatory written statement as to the inapplicability of Apprenticeship participation due to: the lack of career opportunities in NYSCATP Approved by New York State Department of Labor Commissioner; OR the magnitude of the construction contract which would make use of apprentices impracticable.

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SIGNATURE

COMPANY NAME

**You may bid on any or all of the following property addresses:**

**305A Hyland Ave, Cheektowaga, NY**

Total bid amount for 305A Hyland: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Total MBE amount for 305A Hyland: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Total WBE amount for 305A Hyland: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

**305B Hyland Ave, Cheektowaga, NY**

Total bid amount for 305B Hyland: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Total MBE amount for 305B Hyland: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Total WBE amount for 305B Hyland: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

**257 Chapel Ave, Cheektowaga, NY**

Total bid amount for 257 Chapel: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Total MBE amount for 257 Chapel: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Total WBE amount for 257 Chapel: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

**195 Northcrest Ave, Cheektowaga, NY**

Total bid amount for 195 Northcrest: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Total MBE amount for 195 Northcrest: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Total WBE amount for 195 Northcrest: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

**44 Long Ave, Cheektowaga, NY**

Total bid amount for 44 Long: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Total MBE amount for 44 Long: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Total WBE amount for 44 Long: \$ \_\_\_\_\_; \_\_\_\_\_ Dollars

Business Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Federal EIN #: \_\_\_\_\_

Primary Contact: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Email: \_\_\_\_\_

Total bid amount for all properties contractor is bidding on:

\$ \_\_\_\_\_ ; \_\_\_\_\_ Dollars

## CONTRACTOR QUALIFICATIONS

In addition to filling out the bid sheet, attach the following:

- Provide three past customers as references
- Provide a brief description of your construction experience along with before and after photos of past projects if available
- Insurance Certificates
- EPA Lead Paint Contractor Certification
- Subcontractor Utilization Plan

## BID DETAILS:

BENLIC is not responsible for delays occasioned by the U.S. Postal Service, the internal mail delivery system or any other means of delivery employed by the bidder. Similarly, BENLIC is not responsible for, and will not consider, any response which was received in our office later than the date and time stated above. Late bids shall not be considered and shall be returned to the late bidder. BENLIC reserves the right to reject any or all bids or waive any informality in a bid if it believes that the public interest will be promoted thereby. BENLIC may reject any bid, if, in its judgment, the business and technical organization, plant, resources, financial standing, or experience of the bidder justifies such rejection in view of the work to be performed. Any questions about the meaning, intent or specifications must be inquired into by the Bidder via mail, fax or email prior to the time set for the Bid Opening.

Bids will be submitted to the BENLIC Board of Directors for consideration and approval at a regularly scheduled meeting. Bid may be awarded to the lowest responsible bidder who, in the opinion of the corporation and approved by the Board, is qualified to perform the work required and who is responsible and reliable. The meeting is open to the public. In the case of tie bids, BENLIC will make the award based on priority factors. A bid tabulation summary of the received, reviewed and appropriate bids will be included in the minutes of BENLIC. Bidder agrees that his/her bid price remains effective for 120 days past the Deadline for Submittal.

The work cannot begin until the contractor executes a BENLIC Standard Construction Contract and proves proper Certificate(s) of Insurance has been reviewed and approved by BENLIC.

Subcontractors may be used. All subcontractors will need to provide adequate insurance certificates. The job is not prevailing wage rate.

## EQUAL EMPLOYMENT OPPORTUNITY

This organization will not discriminate against any employee or applicant for employment because of race, creed, color, national origin, sex, age, disability or marital status, will undertake or continue existing programs of affirmative action to ensure that minority group members are afforded equal employment opportunities without discrimination, and shall make and document its conscientious and active efforts to employ and utilize minority group members and women in its work force on State contracts.

This organization shall state in all solicitation or advertisements for employees that in the performance of the State contract all qualified applicants will be afforded equal employment opportunities without discrimination because of race, creed, color, national origin, sex disability or marital status.

At the request of the contracting agency, this organization shall request each employment agency, labor union, or authorized representative for a statement that it will not discriminate on the basis of race, creed, color, national origin, sex, age, disability or marital status and that such union or representative will affirmatively cooperate in the implementation of this organization's obligations herein.

Contractor shall comply with the provisions of the Human Rights Law, all other State and Federal statutory and constitutional non-discrimination provisions. Contractor and subcontractors shall not discriminate against any employee or applicant for employment because of race, creed (religion), color, sex, national origin, sexual orientation, military status, age, disability, predisposing genetic characteristic, marital status or domestic violence victim status, and shall also

follow the requirements of the Human Rights Law with regard to nondiscrimination on the basis of prior criminal conviction and prior arrest.

#### NEW YORK STATE SALES AND LOCAL TAX EXEMPTION NOTE

Some materials for this project may be purchased tax-exempt. BENLIC is exempt from payment of New York State and local sales and use tax. BENLIC will furnish the winning bidder an Exempt Purchase Certificate (ST 119.1) as proof of its exemption. Personal property made part of the real property of project sites (that is materials, e.g. siding, shingles, gutters, windows, etc.) may be purchased exempt from such taxes provided that the winning bidder provide to his seller(s) properly completed Contractor Exempt Purchase Certificate(s) (ST 120.1). The cost benefit of exemption from such taxes is the benefit of BENLIC only. BENLIC seeks the lowest, responsible, and qualified bid. Bidders acknowledge that their bid herein contains pricing inclusive of this cost benefit.

#### TERM OF PAYMENT

Pursuant to Contractor Agreement

#### BID AGREEMENT

The undersigned bidder offers and agrees, if this bid is accepted, to enter into an agreement with the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION to complete all work as specified for the contract price and within the contract time indicated in accordance with these documents.

Bidder declares by submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of his knowledge and belief:

- 1) The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
- 2) Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to the opening, directly or indirectly, to any other bidder or to any competitor; and
- 3) No attempt has been made or will be made by the bidder to induce any other person partnership or corporation to submit or not to submit a bid for the purpose of restriction competition.

A bid shall not be considered for award, nor shall any award be made where (a) (1) (2) and (3) above have not been complied with; provided however, that if in any case the bidder cannot make the foregoing certification, the bidder shall so state and furnish with the bid a signed statement which sets forth in detail the reasons therefor. Where (a) (1) (2) and (3) above have not been complied with, the bid shall not be considered for award nor shall any award be made unless the agency to which the bid is made, or his designee, determines that such disclosure was not made for the purpose of restricting competition that no person(s) other than those named herein are interested in this bid;

In submitting this bid, Bidder represent that he has examined the Instruction to Bidders; all other documents; that he has examined the proposed work site; that he has familiarized himself with all legal requirements (federal, state and local laws; ordinances; rules and regulations); that he as made such independent investigations as he deems necessary; he has satisfied himself as to all conditions affecting cost, progress or performance of work; and that by signing this bid waives all rights to plead to misunderstanding regarding the same.

The Bidder further agrees that:

1. This bid shall remain open and may not be withdrawn for the time period set forth in the Instruction to Bidders.
2. That he accepts all terms and conditions in the Instruction to Bidders
3. The BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION has the right to delete bid items and/or sections prior to award if the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION deems this to be in the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION'S best interest.
4. That upon acceptance of this bid, he will execute the agreement and will furnish the required contract insurance certificates (if not submitted with his bid) within a time period acceptable to the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION.

Respectfully Submitted on \_\_\_\_\_ (Date)

By \_\_\_\_\_ (Signature of Bidder)

Title: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Email: \_\_\_\_\_

**BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION**  
**TERMS AND CONDITIONS**



1. Bidder agrees to provide goods and/or services as described in this bid proposal to complete the Work, in a manner consistent with the highest standards of persons regularly engaged in providing such goods or services.
2. Bidder shall be compensated at the rates and prices set forth in this bid proposal once approved by the BENLIC Board of Directors, for goods and/or services actually provided and only after receipt of an original invoice within thirty (30) days and after all services are rendered, inspected and accepted. Surcharges (i.e. fuel surcharges) shall NOT be allowed to be added to invoices. In no event shall the BENLIC's liability for payment to Bidder under this Contract, exceed the sum stated in the bid proposal and approved by the BENLIC Board of Directors.
3. Bidder shall have seven (7) days from receipt of a Project Award Letter to provide BENLIC proof of insurance as detailed in the insurance requirements. Upon receipt of proof of insurance, BENLIC may issue a Notice and Order to Proceed Letter and Bidder shall within fifteen (15) days from receipt of same letter secure permits and start work. Bidder must forward copies of permits secured and notify BENLIC of the Start Date. From the Start Date, Bidder shall have six (6) months to complete the work after receipt of notice to proceed. Bidder shall immediately inform the BENLIC in writing by mail or facsimile transmission of any delay in providing goods and services to the BENLIC.
4. BENLIC may, with or without cause, terminate Bidder's services, in whole or in part, immediately upon giving notice to Bidder. In such event Bidder shall be compensated and the BENLIC shall be liable only for payment for services already rendered.
5. All records, if any, compiled by Bidder in providing services to BENLIC shall become and remain the property of BENLIC. Bidder may retain copies of such records for its own use.
6. No portion of the work necessary to provide goods or services to BENLIC may be assigned or subcontracted without the prior written consent of BENLIC.
7. Bidder agrees that it is an independent contractor and hereby waives all claims to benefits or privileges, if any available to persons as employees. Bidder shall comply, at Bidder's own cost and expense, with the provisions of all federal, state or local laws, ordinances, regulations or rules applicable to Bidder including, without limitation, the N.Y.S. Labor Law and Worker's Compensation Law and any applicable license requirements.
9. Bidder agrees that in providing goods or services to BENLIC, Bidder or any person working on Bidder's behalf, shall not, by reason of race, creed, color, sex, age, physical disability, national origin, genetic predisposition, carrier status, marital status or any other protected class, discriminate against, intimidate or harass any individual.
10. Bidder agrees that, except for the amount, if any, of damage contributed to, caused by or resulting from the acts or omissions of BENLIC, Bidder shall indemnify, defend and hold harmless the BENLIC, its governmental sponsors-County of Erie, Cities of Buffalo, Lackawanna and/or Tonawanda, the Empire State Development Corporation, the Office of the New York Attorney General, their officers, employees and agents from and against any and all liability, damage, claims, demands, costs, judgments, fees, attorney's fees or loss arising directly or indirectly out of Bidder's acts or omissions or the acts or omissions of third parties under Bidder's direction and control.

**STANDARD INSURANCE PROVISIONS**

BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION

STANDARD INSURANCE REQUIREMENTS

**Vendor Insurance Classification A: Contracts Involving Construction or Maintenance**

1. The contractor shall obtain, at its own cost and expense, the following insurance coverages with insurance companies licensed in the State of New York and shall provide a certificate of insurance as evidence of such coverages on the standard ACCORD Certificate.

- A. Commercial General Liability - with a minimum combined single limit of liability for Bodily Injury and Property Damage of \$1,000,000 per occurrence and \$2,000,000 general aggregate and \$2,000,000 Products – Completed Operation Aggregate. The coverage shall include:
- Premises and Operations
  - Products and Completed Operations
  - Independent Contractors
  - Blanket Broad Form Contractual Liability (sufficient to cover all liability assumed under contracts with BENLIC)
  - Broad Form Property Damage
  - Explosion, Collapse and Underground Hazards (x, c, u) must NOT be excluded.  
Deductible must not exceed \$10,000
- B. Automobile Liability - with a minimum combined single limit of liability for Bodily Injury and Property Damage of \$1,000,000 each occurrence. The coverage shall include Owned, Hired, and Non-Owned Autos (Symbol "1" should be designated for Liability coverage on the Business Auto Policy). The deductible shall not exceed \$10,000.
- C. Excess "Umbrella" Liability - with a minimum limit of \$1,000,000 each occurrence / \$1,000,000 aggregate.
- D. Worker's Compensation and Employer's Liability - providing statutory coverage in compliance with the Worker's Compensation Law of the State of New York (Forms C-105.2; SI-12; GSI-105.2; or U-26.3). The deductible shall not exceed \$10,000.
- E. Disability Benefits - providing statutory coverage in compliance with the New York State Disability Benefits Law (Forms DB-120.1 or DB-155).

2. Commercial General Liability, Automobile Liability and Excess "Umbrella" Liability shall name the Buffalo Erie Niagara Land Improvement Corporation (BENLIC). Coverage should be provided on a primary and non-contributory basis. Designated Construction Project General Aggregate Limit Per Person Endorsement CG 2503 is required. Waiver of Subrogation is required on all lines in favor of BENLIC.

3. All policies in which BENLIC is named as an additional insured(s) shall provide that:

- A. The insurance company or companies issuing the policies shall have no recourse against BENLIC for

payment of any premiums or for assessments under any form of policy.

B. The insurance shall apply separately to each insured (except with respect to the limit of the liability).

4. Prior to cancellation, non-renewal or material change of the above policies, at thirty (30) days advance written notice shall be given to BENLIC Counsel c/o County of Erie, Department of Law, 95 Franklin Street, Room 1634, Buffalo, N.Y. 14202, and the Agency requesting the certificate.

5. All certificates of insurance shall be approved by the BENLIC Counsel prior to the inception of any work. Any request for a waiver of the above requirements shall be in writing to BENLIC Counsel c/o County of Erie, Department of Law, 95 Franklin Street, Room 1634, Buffalo, N.Y. 14202.

**Failure to maintain coverage herein shall constitute a material breach of the contract and the Contractor shall suspend all work immediately upon such lapse in coverage.**

# Specifications for all Properties

FHA Case Number

Project Name: <b>Cheektowaga Infill Project</b>		Owner: <b>BENLIC (The Land Bank)</b>	
Property Address: Various in Cheektowaga/Depew see cover sheet		Owners Address and Contact Number: <b>403 Main Street, Suite 602 Buffalo, NY 1420</b>	
Contact Name: <b>John L. Good</b>	Contact Phone Number: <b>(716) 609-1473</b>	Best Time to Call: <b>Daytime</b>	
Contractor's Name (If Applicable)			
Contractor's Address:			
Telephone Number:	Contractor License Number:	Estimated Number of Months to Complete Work (Six Months Maximum)	

## 1. Masonry

This portion of the work will be done by (check one)  Contractor  Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 1  
**XXXX**

## 2. SIDING

This portion of the work will be done by (check one)  Contractor  Sub-Contractor

See description of materials (V.A. #26-1852/hud#92005)  
Other documentation:  
Comments:

Plans call for Composite siding which will be included in the base bid.

Provide cost for alternate siding with Premium vinyl siding and premium colors with all necessary accessories for complete job including wrapping of all trim with aluminum break metal

COST PROVIDED HERE FOR ALTERNATE WILL BE A COST ADD OR SUBTRACT FROM BASE BID

SUB-TOTAL SECTION No. 2

## 3. GUTTERS & DOWNSPOUTS

This portion of the work will be done by (check one)  Contractor  Sub-Contractor

See description of materials  
Other documentation:  
Comments:

Gutters shall be seamless gutters installed with adequate downspouts to control water run off from roof. All downspouts shall terminate at concrete splash blocks.

SUB-TOTAL SECTION No. 3  
**XXXX**

#### 4. ROOF

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

Ice shield shall be installed from eave to minimum of 24 inches past interior walls of heated space. In addition ice shield shall be installed at all flashing, valley, and roof penetration areas. Roofs over unheated areas shall be covered with ice shield 100%.

SUB-TOTAL SECTION No. 4  
**XXXX**

#### 5. SHUTTERS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

See Item Nos.: \_\_\_\_\_

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 5  
**XXXX**

#### 6. EXTERIORS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 6  
**XXXX**

**7. WALKS**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

Sidewalks shall be a minimum of 4 feet wide and shall flare out to full porch width at all all porch entries.

SUB-TOTAL SECTION No. 7  
**XXXX**

**8. DRIVEWAYS**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

Any existing driveways shall be completely demolished and property removed from site and disposed of.

SUB-TOTAL SECTION No. 8  
**XXXX**

**9. PAINTING - EXTERIOR**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 9  
**XXXX**

**10. CAULKING**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials (V.A. #26-1852/hud#92005)

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS, MANUFACTURER RECOMMENDATIONS AND BEST CONSTRUCTION PRACTICES.

SUB-TOTAL SECTION No. 10  
**XXXX**

**11. FENCING**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

Fences shall be installed per plans. In addition to planned fences, 305A and B shall the fence continued on the property line between the two parcels running from the fence on the east property line to a point in line with the rear of each garage.

SUB-TOTAL SECTION No. 11  
**XXXX**

**12. GRADING**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

Any plant life or trees which interfere with the construction or will endanger the structures will be removed with the stumps ground out to a point at least 10inches below grade. New trees shall be installed per architectural plans.

At completion of construction site will be graded to ensure proper drainage away from dwelling preventing runoff in excess of existing into any neighboring yards.

After final grade all areas shall be hydro seeded and maintained until grass reaches a minimum of 4 inches with proper root system.

SUB-TOTAL SECTION No. 12  
**XXXX**

Contractor shall provide a \$5000 allowance for landscaping of yards at completion of project. This will require landscape plan to be submitted to BENLIC for review and approval.

**13. WINDOWS**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOWING INDIVIDUAL BUILDING PLANS ALL SCREENS SHALL BE FULL WINDOW, HALF SCREENS WILL NOT BE ACCEPTED.

SUB-TOTAL SECTION No. 13  
**XXXX**

**14. WEATHERSTRIPPING**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 14  
**XXXX**

**15. DOORS - EXTERIOR**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS DOORS TO BE KEYED ALIKE.

SUB-TOTAL SECTION No. 15  
**XXXX**



## 16. DOORS - INTERIOR

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS. DOORS TO BATHROOMS AND BEDROOMS TO BE PROVIDED WITH PRIVACY LOCK SETS.

SUB-TOTAL SECTION No. 16  
**XXXX**

## 17. PARTITION

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS.

SUB-TOTAL SECTION No. 17  
**XXXX**

## 18. PLASTER/DRYWALL

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 18  
**XXXX**

**19. DECORATING**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 19  
**XXXX**

**20. WOOD TRIM**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 20  
**XXXX**

**21. STAIRS**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 21  
**XXXX**

**22. CLOSETS**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS. Each closet to be supplied with shelf and hanging rod.

SUB-TOTAL SECTION No. 22  
**XXXX**

**23. WOOD FLOORS**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 23  
**XXXX**

**24. FINISH FLOORS**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 24  
**XXXX**

**25. CERAMIC TILE**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 25  
**XXXX**

**26. BATH ACCESSORIES**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS. Bathrooms to be provided with recessed medicine cabinets, paper holders, shower doors and towel racks.

SUB-TOTAL SECTION No. 26  
**XXXX**

**27. PLUMBING**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS. Frost proof exterior spigots to be installed at the front and rear of each dwelling.

SUB-TOTAL SECTION No. 27  
**XXXX**

**28. ELECTRIC**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 28  
**XXXX**

**29. HEATING**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

Contractor will perform blower door testing at completion with reports provided to BENLIC.

SUB-TOTAL SECTION No. 29  
**XXXX**

**30. INSULATION**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials  
Other documentation:  
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS.

SUB-TOTAL SECTION No. 30  
**XXXX**

### 31. CABINETS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 31  
**XXXX**

### 32. APPLIANCES

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

Contractor shall supply fully electric appliances from either Samsung or Whirlpool match sets to include Refrigerator, Stove, Dishwasher and combination stove vent hood microwave.

SUB-TOTAL SECTION No. 32  
**XXXX**

### 33. BASEMENTS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 33  
**XXXX**

**34. CLEANUP**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

Contractor shall keep site neat and clean, providing silt socks at entire perimeter to prevent mud and debris from reaching public areas. Care shall be taken to protect all public infrastructure and any damage will be repaired at contractors cost. Dumpsters are to be removed and emptied within 48hours of being filled. Site will be protected from accidental entry.

During construction period contractor shall be responsible for site maintenance such as lawn mowing and snow removal.

SUB-TOTAL SECTION No. 34  
**XXXX**

**35. MISCELLANEOUS**

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

(Describe any main dwelling materials, equipment or construction items not shown elsewhere: or use to provide addition information where the space provided was inadequate, always reference by item number to correspond to numbering used on this form)

SUB-TOTAL SECTION No. 35  
**XXXX**

**REMARKS:**

Contractor will be required to provide product information sheets, color palletes and material samples for all materials to be used in construction.

Contractor shall provide design and layout plans for interior layouts of Kitchen and bathroom as submittals for approval.

All submittals shall be accompanied by submittal sheet provided by contractor and acceptable to BENLIC. Submittal sheet shall at a minimum include decription of materials submitted and location of material installation. Submittal sheets shall have spaces for contractor signature and date of submittal and BENLIC acceptance or rejection, signature and date.

Any materials installed without approved submittals will be removed at the contractors cost.

CONTRACTOR WILL BE RESPONSIBLE FOR ADHERENCE TO PLANS, SPECS, BUILDING AND ZONING CODES AND OWNER DIRECTION. ANY CONFLICTS WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF BENLIC CONSTRUCTION MANAGER.

**Digital versions of the plans on the following pages can be downloaded from our website at [benlic.org/bids-work](http://benlic.org/bids-work)**

# CHEEKTOWAGA SINGLE FAMILY INFILL

## 305A HYLAND AVENUE CHEEKTOWAGA, NEW YORK 14043



**PROGRESS PRINT NOT FOR CONSTRUCTION**

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 eco logic STUDIO  
 architecture & engineering, PLLC  
 305A Hyland Avenue  
 Cheektowaga, NY 14043  
 THIS DOCUMENT IS SUBJECT TO THE NEW YORK STATE EDUCATION LAW, SECTION 7209 SUBDIVISION 2. IS ILLEGAL.

<b>CHEEKTOWAGA SINGLE FAMILY INFILL</b>	305A Hyland Avenue Cheektowaga, NY 14043
<b>NEW CONSTRUCTION</b>	
Project #	2414
DRAWN BY:	slh, cag
	12-Nov-24
<b>TITLE SHEET &amp; SITE PLAN</b>	
DWG. NO.	<b>T-100</b>

- RESIDENTIAL (R)**
- LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:**  
 THE FOLLOWING ARE MINIMUM LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:
- MINIMUM AREA OF LOT IN SQUARE FEET:  
 7,200 SF (INTERIOR LOT)  
 ACTUAL: 17,490 SF (TYP.)
  - MINIMUM LOT WIDTH IN FEET:  
 INTERIOR: 40'-0" \*  
 ACTUAL: 39'-75" (TYP.) \*
  - MINIMUM BUILDING HEIGHT IN FEET:  
 SINGLE OR TWO-FAMILY DWELLINGS: 30'  
 ACCESSORY BUILDINGS: ONE STORY < 12'  
 ACTUAL: 21'-6" (TYP.)
  - MINIMUM FRONT YARD IN FEET:  
 25'  
 ACTUAL: 120' (TYP.)
  - MINIMUM SIDE YARD IN FEET:  
 10% LOT WIDTH EA. SIDE & 25% LOT WIDTH TOTAL; NOT MORE THAN 25' NECESSARY  
 ACTUAL: 34'-8" NORTH SIDE, 31'-2" SOUTH SIDE (TYP.)
  - MINIMUM REAR YARD IN FEET:  
 GREATER OF 25% OF LOT DEPTH (30'-9" & 25' MIN. = 55.0'  
 ACTUAL: 45'-8" (TYP.)
  - MINIMUM LIVEABLE GROUND FLOOR AREA IN SQUARE FEET:  
 903 SF  
 ACTUAL: 1,118 SF (TYP.)

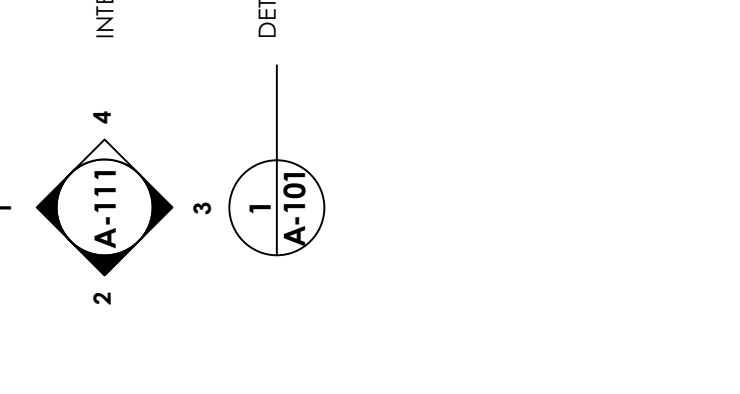
- GENERAL NOTES:**
- COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS. MAINTAIN ALL EASEMENTS AS REQUIRED BY NEW YORK STATE AND TOWN OF CHEEKTOWAGA.
  - OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
  - REVIEW AND VERIFY ALL EXISTING CONDITIONS AND THE SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - NO SUBSTITUTIONS WITHOUT AUTHORIZATION OF OWNER AND ARCHITECT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLETING ALL NECESSARY WORK OR ENCLOSURE TO PROPERLY INSTALL THE WORK.
  - COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS USED IN CONSTRUCTION WORK.

\* NOTE: SEE SPECIAL PERMIT AND AREA VARIANCE DATED: 09/18/2024 (APPROX.)

**ABBREVIATION INDEX**

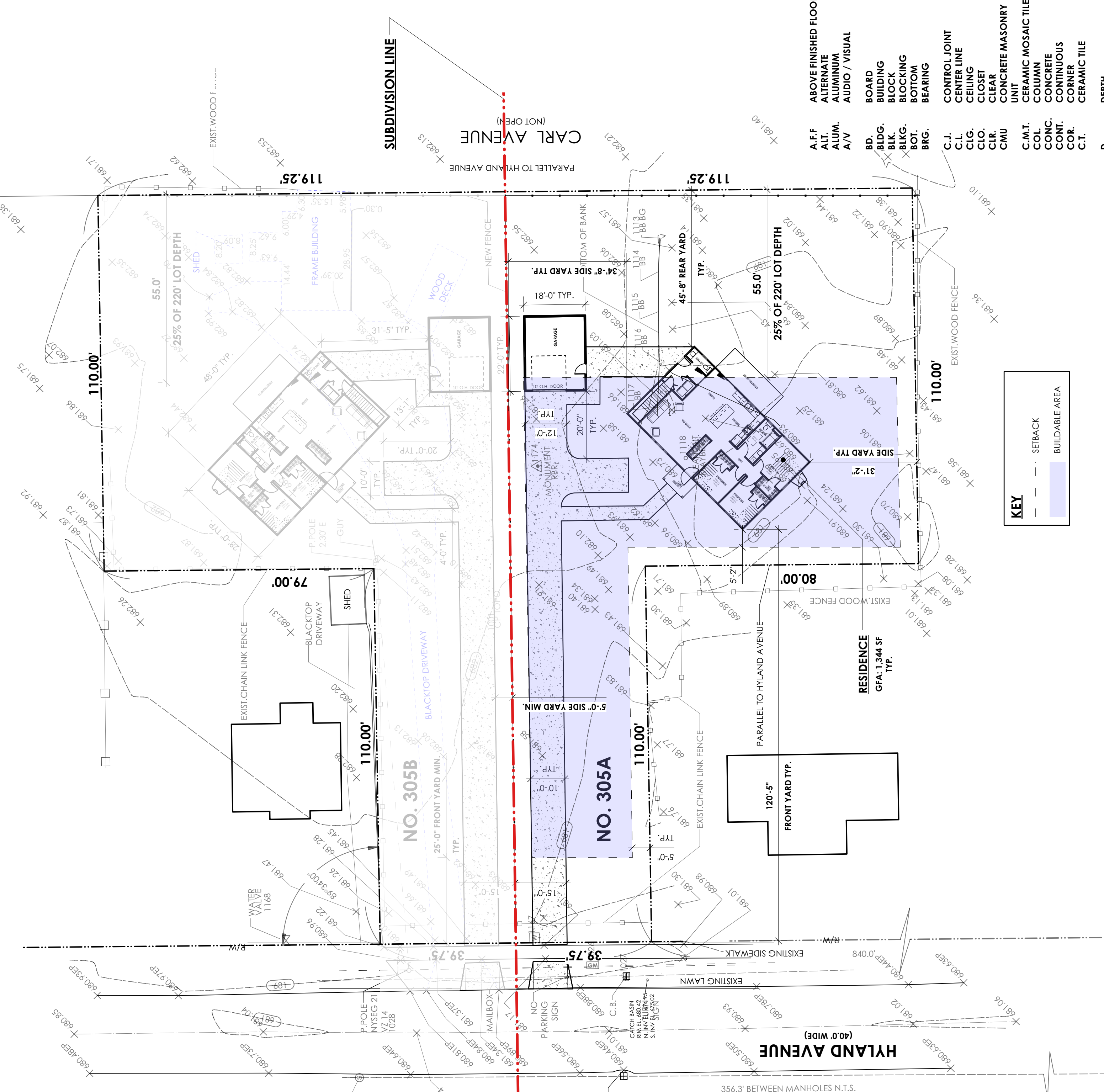
GALV. GYP.	GALVANIZED GYPSUM	REIN. REFR.	REINFORCED/REPAIR
H. HGT.	HEIGHT	RES. RESIL.	RESILIENT
H.M. H.P.	HEIGHT OF INSTRUMENT / HOLLOW METAL	RM. RMV.	ROOM REMOVE
H.R. BOT.	HOUR BOTTOM BEARING	RUB. RUB.	RUBBER
INS.	INSULATION	SAN. SCH.	SANITARY SCHEDULE
L. LIN.	LINEN CLOSET	S.C. ST.	STAINLESS STEEL
LOC.	LOCATED/LOCATIONS	STN. STL.	STAINLESS STEEL SHEET
MAS. MAX.	MAXIMUM	THK. TR.	THICK TRIM
MEAS. MEZ.	MEASURED MEZZANINE	TYP. T&B	TYPICAL TOP & BOTTOM
M.H. MIN.	MAN HOLE MINIMUM	T&G TONGUE & GROOVE	
MANFR. MTL.	MANUFACTURER METAL	UJM. U.N.O.	UNLESS NOTED OTHERWISE
NOM. N.T.S.	NOMINAL NOT TO SCALE	VRN. V.A.T.	VARNISH VARNISHABLE
O.C. O.E.	ON CENTER OVERHEAD ELECTRIC OPENING	W.C. VERT.	W/C VERTICAL
OPNG. O.P.	OPENING	V.I.F. V.I.F.	VERIFY IN FIELD
PERF. PERIM.	PERFORATED PERIMETER	W. WD.	WIDTH
PL. PLYWD.	PLYWOOD	WD. WINDOW	WINDOW
P.L. P.P.	PROPERTY LINE	WWF. WELDED WIRE FABRIC	
PREP. PROJ.	PREPARE PROJECTION		
PT. P.T.	PAINT PRESSURE TREATED		
Q.T.	QUARRY TILE		

**SYMBOLS INDEX**



**DRAWING LIST:**

T-100	TITLE SHEET & SITE PLAN
C-101	SITE DETAILS
A-100	GENERAL NOTES & ARCHITECTURAL SPECIFICATIONS
A-101	FOUNDATION PLAN & FRAMING PLANS
A-201	FLOOR PLAN & SCHEDULES
A-301	WALL SECTION & DETAILS
A-302	PORCH DETAILS
MEP-101	BASEMENT PLAN, FLOOR PLAN & PLUMBING DIAGRAM

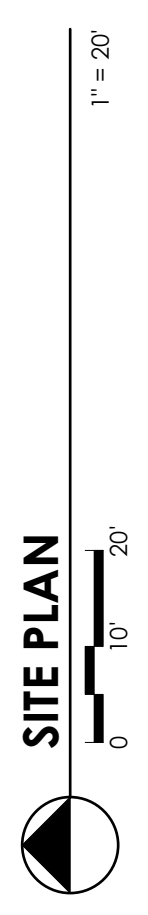


**KEY**

- SETBACK
- █ BUILDABLE AREA

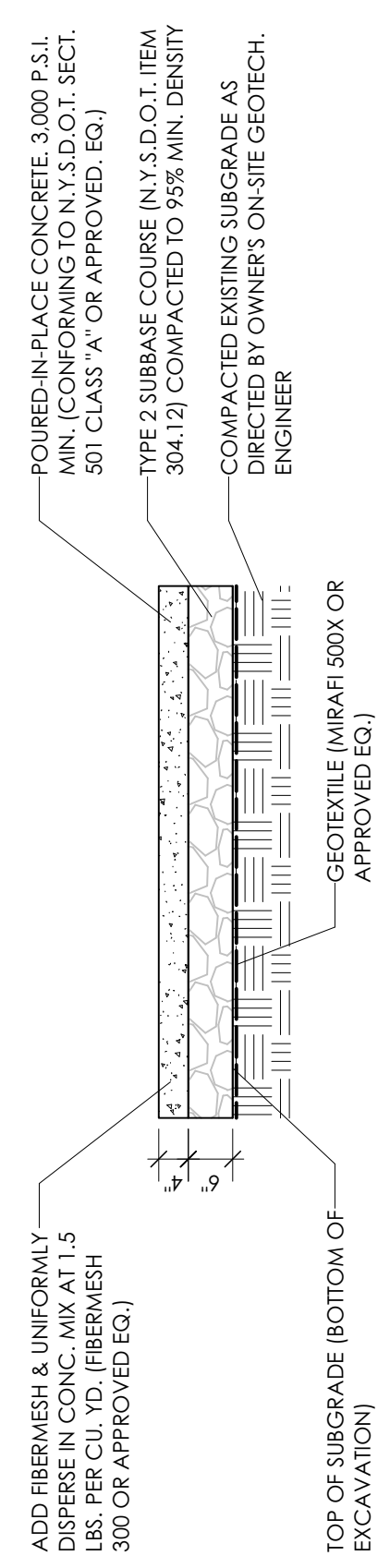
**SURVEY INFORMATION BY:**  
 KHEOPS ARCHITECTURE ENGINEERING & SURVEY, DPC  
 392 PEARL STREET, BUFFALO, NEW YORK 14202  
 SURVEY DATE: 02/22/2024  
 JOB NO.: 24NY16.01

PART OF THE HOLLAND LAND COMPANY  
 LOT 7A TOWNSHIP 11, RANGE 7  
 TOWN OF CHEEKTOWAGA, COUNTY OF ERIE,  
 STATE OF NEW YORK



SCALE: 1" = 20'

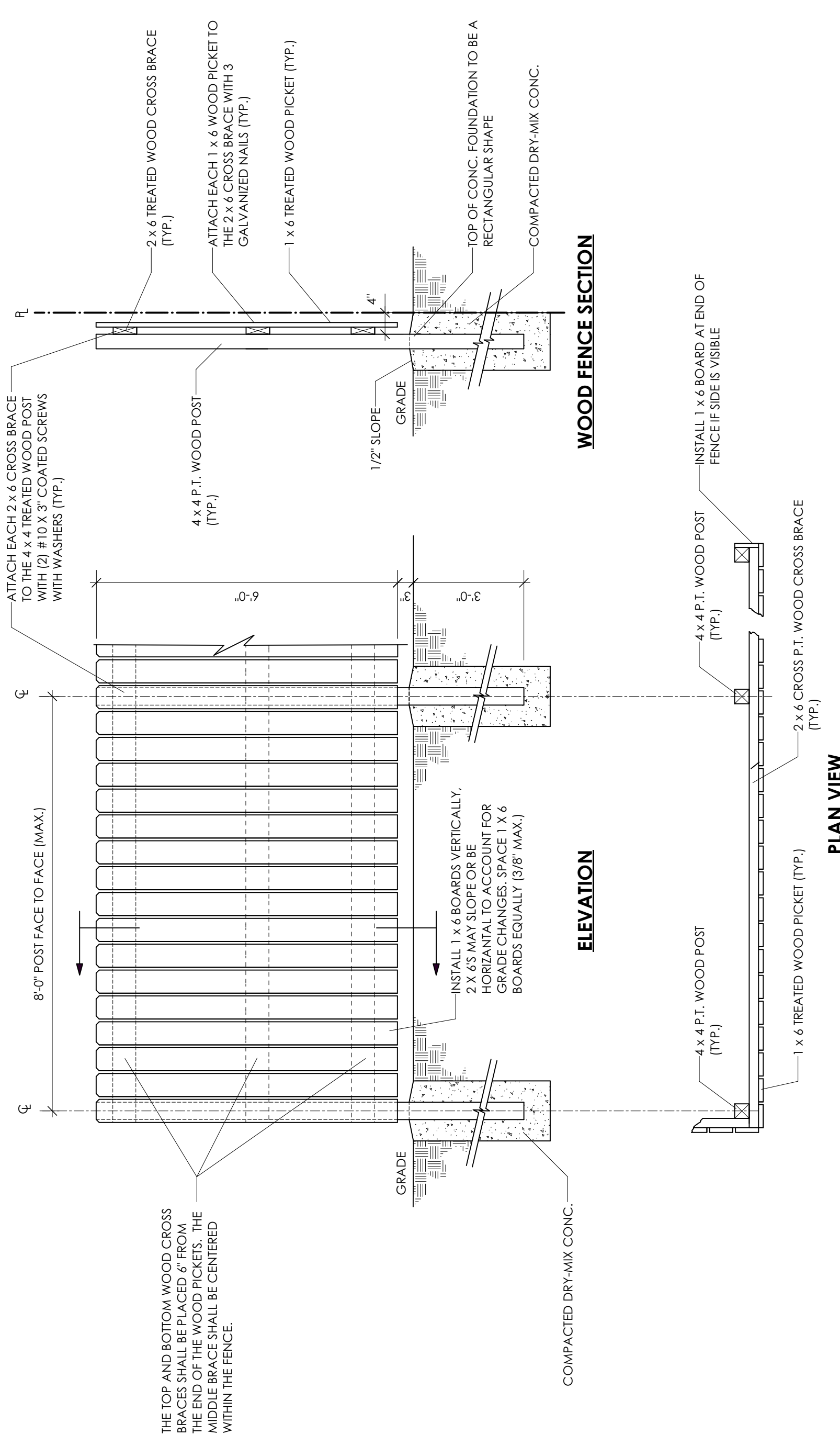




**1 CONCRETE PAVING SECTION**  
 1/2" = 1'-0"

**NOTES:**

- ALL CONCRETE FOR SIDEWALKS SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 501. CONSTRUCTION SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 608.3.
- ALL CONCRETE DRIVEWAY AREAS SHALL BE SCORED 10' ON CENTER (OR AS NOTED ON SHEET T-100) WITH TOOLED CONTROL JOINTS 1" INCH DEEP, WHILE CONCRETE IS GREEN.
- EXPANSION JOINTS IN CONCRETE AREAS SHALL BE NO MORE THAN 05' ON CENTER AND IT INTERFACES BETWEEN DRIVEWAYS, SIDEWALK SLABS, AND FOUNDATIONS. ALL SIDEWALK EDGES SHALL BE TOOLED WITH 1/2" RADIUS WITHIN 24 HOURS OF POURING CONCRETE. INSTALL FELT BOARD EXPANSION JOINT, SCORE FELT AND REMOVE TO DEPTH OF 1/2" BELOW SLAB. PROVIDE SEAL WITH 1/2" INCH PRE-MOLDED RESILIENT JOINT FILLER AT ALL EXPANSION JOINTS.
- IN DRIVEWAY AREAS CONCRETE THICKNESS SHALL BE INCREASED TO 4" INCHES MINIMUM.
- CONCRETE SHALL HAVE A SLUMP OF NO MORE THAN 5" AND AN AIR ENTRAINMENT OF 4-6%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN CONFORMANCE WITH ALL A.C.I. REQUIREMENTS.



**2 WOOD FENCE DETAILS**  
 1/2" = 1'-0"

## GENERAL NOTES

- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
- THE CONTRACTOR IS TO MAINTAIN INSURANCES AS REQUIRED BY NEW YORK STATE AND THE TOWN OF CHEEKTOWAGA.
- BENLIC IS TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
- THE CONTRACTOR IS TO REVIEW AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- NO SUBSTITUTIONS ARE TO BE MADE WITHOUT THE AUTHORIZATION OF THE OWNER AND ARCHITECT.
- WORK BEHIND WALLS TO BE PROTECTED BY TEMPORARY BRACING TO PROTECT AND COMPLETE THE CONSTRUCTION AND FINISH.
- PROPERLY DISPOSE OF AND REMOVE DEBRIS FROM THE WORK SITE DAILY OR STORE IN APPROPRIATE CONTAINER.
- COMPLY WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS.
- ALL COLORS AS INDICATED OR AS SELECTED BY ARCHITECT.
- THE CONTRACTOR IS TO PROVIDE AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.
- MEET THE SPECIFIED REQUIREMENTS PRIOR TO SUBMISSION, COORDINATE AND VERIFY THAT SUBMITTALS MEET MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT UNITS AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS REQUIRED FOR THE WORK, COORDINATE TOWN W/BENLIC INSPECTOR.
- THE CONTRACTOR IS TO REQUEST FINAL INSPECTION BY THE ARCHITECT PRIOR TO ISSUE OF FINAL CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF INSPECTION WORK IDENTIFIED IN PREVIOUS INSPECTIONS. THE CONTRACTOR WILL REQUEST A REINSPECTION BY THE ARCHITECT.
- THE CONTRACTOR IS TO SUPPLY THE OWNER WITH OPERATIONS AND MAINTENANCE MANUAL AND WARRANTIES OF ALL PRODUCTS AND SYSTEMS AT CLOSEOUT.
- THE CONTRACTOR IS TO SUBMIT A WRITTEN LIST OF ALL SUBCONTRACTORS PROPOSED FOR THE WORK, THE OWNER AND ARCHITECT RESERVE THE RIGHT TO REJECT THE USE OF A SUBCONTRACTOR.
- THE CONTRACTOR IS TO PROVIDE AND MAINTAIN TEMPORARY FENCING, BARRICADES, SIGNS, SAFETY LIGHTS, ETC. TO PROTECT THE WORK AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DOCUMENTATION OF THE CONSTRUCTION AT THE PROJECT SITE IN A PROFESSIONAL AND READABLE MANNER AND SUBMIT TO THE OWNER AT SUBSTANTIAL COMPLETION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITIES AND FACILITIES TO PERFORM THE WORK.
- THE CONTRACTOR SHALL COORDINATE ALL TRADES AND SEQUENCE OF CONSTRUCTION TO ENSURE CONTINUITY OF THE AIR BARRIER SYSTEM. COORDINATE WITH OWNER'S INDEPENDENT TESTING AGENCY FOR INSPECTION OF THE AIR BARRIER SYSTEM. CONTRACTOR TO REMEY ALL CONDITIONS OUT OF COMPLIANCE WITH THE AIR BARRIER SYSTEM. CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS, NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED.

NO SUBSTITUTIONS ARE TO BE MADE WITHOUT THE AUTHORIZATION OF THE OWNER AND ARCHITECT.

WORK BEHIND WALLS TO BE PROTECTED BY TEMPORARY BRACING TO PROTECT AND COMPLETE THE CONSTRUCTION AND FINISH.

PROPERLY DISPOSE OF AND REMOVE DEBRIS FROM THE WORK SITE DAILY OR STORE IN APPROPRIATE CONTAINER.

COMPLY WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS.

ALL COLORS AS INDICATED OR AS SELECTED BY ARCHITECT.

THE CONTRACTOR IS TO PROVIDE AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.

MEET THE SPECIFIED REQUIREMENTS PRIOR TO SUBMISSION, COORDINATE AND VERIFY THAT SUBMITTALS MEET MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT UNITS AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS.

THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS REQUIRED FOR THE WORK, COORDINATE TOWN W/BENLIC INSPECTOR.

THE CONTRACTOR IS TO REQUEST FINAL INSPECTION BY THE ARCHITECT PRIOR TO ISSUE OF FINAL CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF INSPECTION WORK IDENTIFIED IN PREVIOUS INSPECTIONS. THE CONTRACTOR WILL REQUEST A REINSPECTION BY THE ARCHITECT.

THE CONTRACTOR IS TO SUPPLY THE OWNER WITH OPERATIONS AND MAINTENANCE MANUAL AND WARRANTIES OF ALL PRODUCTS AND SYSTEMS AT CLOSEOUT.

THE CONTRACTOR IS TO SUBMIT A WRITTEN LIST OF ALL SUBCONTRACTORS PROPOSED FOR THE WORK, THE OWNER AND ARCHITECT RESERVE THE RIGHT TO REJECT THE USE OF A SUBCONTRACTOR.

THE CONTRACTOR IS TO PROVIDE AND MAINTAIN TEMPORARY FENCING, BARRICADES, SIGNS, SAFETY LIGHTS, ETC. TO PROTECT THE WORK AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.

THE CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DOCUMENTATION OF THE CONSTRUCTION AT THE PROJECT SITE IN A PROFESSIONAL AND READABLE MANNER AND SUBMIT TO THE OWNER AT SUBSTANTIAL COMPLETION.

THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITIES AND FACILITIES TO PERFORM THE WORK.

THE CONTRACTOR SHALL COORDINATE ALL TRADES AND SEQUENCE OF CONSTRUCTION TO ENSURE CONTINUITY OF THE AIR BARRIER SYSTEM. COORDINATE WITH OWNER'S INDEPENDENT TESTING AGENCY FOR INSPECTION OF THE AIR BARRIER SYSTEM. CONTRACTOR TO REMEY ALL CONDITIONS OUT OF COMPLIANCE WITH THE AIR BARRIER SYSTEM. CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS, NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED.

## ARCHITECTURAL SPECIFICATIONS

### SITE WORK

- CONTRACTOR TO PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR PROTECTION OF EXISTING UTILITIES AND FACILITIES.
- CONTRACTOR TO PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY WORK AT NO COST TO OWNER. MATCH EXIST.
- CONTRACTOR TO REMOVE ANY AND ALL MISCELLANEOUS DEBRIS.
- CONCRETE PAVING TO HAVE BROOM FINISH. PROVIDE REINFORCING AS INDICATED.
- CONTRACTOR TO PROVIDE OWNER WITH WRITTEN INSTRUCTIONS FOR MAINTENANCE OF LANDSCAPE WORK.
- DOOR SET TO BE 18" x 22" W/ 10" W x 8" H. METAL O.H. DOOR & ELEC. OPERATOR. GARAGE SIDING TO MATCH HOUSE.

### WOOD, PLASTIC, & COMPOSITES

- WOOD FRAMING MEMBERS NOT IN CONTACT WITH CONCRETE OR MASONRY TO BE SFR NO. 2 GRADE OR BETTER. ALL WOOD MEMBERS TO BE DRY AND FREE FROM CONSUMABLE MOISTURE.
- ALL WOOD MEMBERS IN CONTACT WITH CONCRETE/MASONRY SHALL BE PRESSURE TREATED WITH AMERICAN WOOD PRESERVERS BUREAU LP-2 SOFTWOOD LUMBER AND PLYWOOD PRESSURE TREATED WITH WATERBORNE SALT PRESERVATIVES FOR USE ABOVE GROUND.
- INSULATED SHEATHING WITH INTEGRAL WEATHER RESISTIVE AND AIR BARRIER TO BE ZIP R SHEATHING BY HUBER ENGINEERED WOODS OR APPROVED EQUAL. PROVIDE MANUFACTURER'S RECOMMENDED SEAM AND FLASHING TAPE OR SEALANT.
- ROOF SHEATHING TO APA RATED PLYWOOD STRUCTURAL SHEATHING WITH EXPOSURE 1 CLASSIFICATION.

### THERMAL & MOISTURE

- ARCH. SHINGLES TO BE CERTAINTED LANDMARKPRO OR EQ. UNDERLAYMENT TO BE GRACE VYCOR ICE & WATER SHIELD AND ROOF RUNNER SYNTHETIC UNDERLAYMENT OR EQ.
- 2x6 FR. PROVIDE IN THICKNESSES INDICATED. WHERE MULTIPLE LAYERS ARE USED STAGGER JOINTS. PROVIDE FOAM CONTROL 250 BY THERMAL FOAMS OR APPROVED EQUAL.
- INTERIOR AIR MEMBRANE TO BE SIGA MAJREX OR APPROVED EQUAL. PROVIDE ASSOCIATED TAPES, PRIMERS, AND SEALANTS REQUIRED FOR INSTALLATION PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- SILL GASKET TO BE CONSERVATION TECH. (EPDM BG65) BULB TYPE.
- PARGE COAT TO BE QUIKCREET FOAM COAT WITH FIBERGLASS RENF. MESH.

### OPENINGS

- DOOR TYPES SOLID CORE MASONITE OR THERMA-TRU INSUL.
- PROVIDE DOOR HARDWARE IN ACCORDANCE WITH BHWA A156. COORDINATE WITH OWNER ON KEYING.
- WINDOWS SHALL BE EQUAL TO PELLA LIFESTYLE METAL CLAD WOOD:
  - UNIT TYPE- SEE ELEVATIONS & SCHEDULE
  - EXTERIOR FINISH- WHITE OR BEIGE
  - INTERIOR FINISH- WHITE
  - GLASS INFORMATION- I.G. LOW E2 WIAGRON. 95%- 96% UV BLOCKAGE
  - HARDWARE TYPE: PELLA STD. COLOR AS SELECTED BY THE ARCHITECT.

## STRUCTURAL SPECIFICATIONS

### FOUNDATIONS

- EXPOSED SUBGRADE SOILS MAY BE SENSITIVE TO DISTURBANCE AND A REDUCTION IN STRENGTH WHEN IN CONTACT WITH MOISTURE. CONTROL SUBGRADES AND CIRCUMD WATER BY APPROPRIATE MEANS AND AVOID CONSTRUCTION TRAFFIC OVER EXPOSED SUBGRADES.
- FOUNDATIONS SHALL BE PLACED CLEANED, LEVEL SOIL AT THE ELEVATIONS NOTED ON PLAN. IN NO CASES SHALL EXTERIOR CONSTRUCTION BEAR AT AN ELEVATION OF LESS THAN FOUR FEET BELOW EXTERIOR FINISHED GRADE.
- ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND. COMPACT FOOTING SUBGRADES TO A MINIMUM OF 95% OPTIMUM DENSITY AS MEASURED BY ASTM D1557. CONCRETE FOR FOOTINGS SHALL BE PLACED THE DAY OF POURING. PROVIDE A MINOR OR PROJECT SUBGRADE BY IMMEDIATELY PLACING A THREE INCH THICK LEAN CONCRETE W/ 4% CEMENT FILL AND 1" MAX. AGGREGATE.
- ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED BEFORE BACKFILLING. BACKFILL SHALL BE UNIFORMLY PLACED AND COMPACTED ON BOTH SIDES OF WALLS AT THE SAME TIME.
- SHOULD OBSTRUCTIONS OR OTHERWISE UNDESIRABLE SOILS CONDITIONS BE ENCOUNTERED, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

### SUBBASE

- THE SUBBASE FOR THE SLAB ON GRADE SHALL CONSIST OF AN EIGHT INCH THICK #2 CRUSHED STONE OR CRUSHER RUN STONE COMPLYING WITH NYSDOT ITEM 304.03 THOROUGHLY COMPACTED TO 95% OPTIMUM DENSITY (MODIFIED PROCTOR ASTM D-1557). PRIOR TO PLACEMENT, SUBGRADE SHALL BE THOROUGHLY PROOF-ROLLED USING A MINIMUM 20-TON VIBRATORY ROLLER.
- THE CONTRACTOR SHALL HAVE COMPACTION TESTS TAKEN TO ENSURE PROPER COMPACTION OF FILL.

### CONCRETE

- CONCRETE SHALL BE THE STANDARD DESIGN MIX OF ANY OF THE LOCAL READY-MIX SUPPLIERS APPROVED BY THE NY S.D.O.T. AND MEETING THE FOLLOWING MINIMUM REQUIREMENTS (DESIGN MIXES TO BE SUPPLIED TO THE ARCHITECT FOR APPROVAL):
  - 4000 PSI, 3' SLUMP, 6% ENTRAINED, 0.45 MAX W/C RATIO
- THE CONTRACTOR SHALL TAKE FOUR (4) STANDARD CYLINDERS FOR EACH 50 CU.YD. OF CONCRETE POURED AND 28-DAY CYLINDER TESTS. LABORATORY SHALL PERFORM THE STANDARD 7-DAY (TWO CYLINDER) PROTECTION FOR REINFORCING IN CONCRETE:
  - FOOTINGS = 3' COVER BOTTOM AND SIDES
  - WALLS AND GRADE BEAMS = 2" SIDES AND 3' BOTTOM PIERS = 2" SIDES
  - FLOOR SLABS = 1" TOP AND BOTTOM
- ALL CONCRETE REINFORCEMENT SHALL BE DETAILED AND PLACED IN FULL ACCORDANCE WITH THE ACI CODE OF PRACTICE.
- MINIMUM REINFORCEMENT LAYS = 36-DIA. FOR BARS AND 6" BEYOND FIRST INTACT CROSS WIRES FOR WELDED WIRE MESH.
- WELDED WIRE MESH TO BE PLACED IN UPPER 1/3RD OF SLAB TYPICALLY.
- BARS MARKED CONTINUOUS SHALL BE RUN CONTINUOUS THROUGH THE WALLS, AROUND CORNERS, LAPPED AT NECESSARY SPLICES AND HOOKED AT ENDS. REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- PROVIDE LIPS/RS CONTINUOUS TOP AND BOTTOM OF ALL CONCRETE WALLS AND GRADE BEAMS, UNLESS OTHERWISE SPECIFIED.
- PROVIDE LIPS/RS 30" LONG PLACED DIAGONALLY ACROSS EACH REINTEGRANT CORNER OF SLABS AND WALLS.
- SUPPORT REINFORCING BARS IN ACCORDANCE WITH THE ACI CODE OF STANDARD PRACTICE. USE GALVANIZED OR STAINLESS STEEL EXCEPT WHERE BAR SUPPORTS ARE IN CONTACT WITH EXPOSED SURFACES, IN WHICH CASE THEY SHALL BE GALVANIZED AND PLASTIC TIPPED.

### PREFABRICATED ROOF TRUSS UNITS

- SUBMIT PRODUCT DATA FOR LUMBER, METAL CONNECTOR PLATES, HARDWARE, FABRICATION PROCESS, FASTENERS AND METAL FRAMING ANCHORS. SHOP DRAWINGS INDICATING SPECIES GROUP, SIZES AND STRESS GRADES OF LUMBER TO BE USED: PITCH, SPAN, CAMBER, CONFIGURATION AND SPACING FOR TRUSSES AND CHORDS. PROVIDE ALL DESIGN VALUES, AND LOCATION OF METAL CONNECTOR PLATES, BEARING AND ANCHORAGE DETAILS.
- THE DESIGN OF THESE PREFABRICATED BUILDING COMPONENTS, FOR THE FLOOR AND ROOF LOADS LOADING, SHALL BE THE RESPONSIBILITY OF THE FABRICATOR. INCLUDE DESIGN ANALYSIS INDICATING ALLOWABLE STRESSES OF MATERIALS USED, STRESS DIAGRAMS AND CALCULATIONS, AND OTHER INFORMATION NEEDED FOR REVIEW THAT HAVE BEEN SIGNED AND SEALED BY A QUALIFIED ENGINEER, LICENSED TO PRACTICE IN THE JURISDICTION WHERE THE PREFABRICATED WOOD UNITS WILL BE INSTALLED. RESPONSIBILITY FOR THEIR PREPARATION SHALL REST WITH THE FABRICATOR'S ENGINEER(S).
- MINIMUM DESIGN LOADINGS:
  - PREFABRICATED ROOF TRUSSES
    - SEE PLANS FOR ADDITIONAL REQUIREMENTS
  - TOP CHORDS LL = 55 PSF, 10 PSF DL
  - BOTTOM CHORDS DL = 5 PSF
  - WIND LOAD WL = 10 PSF UP/LIFT

ROOF CONSTRUCTION WHERE TRUSSES ARE BUILT OVER TRUSSES AS INDICATED ON THE PLANS SHALL BE DESIGNED WITH THE ADDITIONAL DEAD LOAD OF THE TRUSSES AND THE TOP CHORD SHALL BE DIRECTLY ON THEM.

PREFABRICATED TRUSSES INCLUDE PLANAR STRUCTURAL UNITS CONSISTING OF HIGH QUALITY CHORD AND WEB COMPONENTS METAL PLATE CONNECTED MEMBERS WHICH HAVE BEEN CUT AND ASSEMBLED PRIOR TO DELIVERY TO THE JOB SITE.

COMPLY WITH APPLICABLE REQUIREMENTS OF NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, PUBLISHED BY NATIONAL FOREST ASSOCIATION (N.F.P.A.). COMPLY WITH PS 20 AND WITH APPLICABLE RULES OF THE RESPECTIVE GRADING/INSPECTION AGENCIES FOR SPECIES GRADE OF LUMBER AND THE APPLICABLE RULES OF THE RESPECTIVE GRADING/INSPECTION AGENCIES FOR TRUSS FABRICATION PROCESS TREATMENT (IF ANY), HANDLING, AND ERECTION. SUBMIT CERTIFICATE SIGNED BY AN OFFICER OF FABRICATING FIRM, INDICATING THAT UNITS TO BE SUPPLIED FOR PROJECT COMPLY WITH INDICATED REQUIREMENTS.

ERECT AND BRACE UNITS TO COMPLY WITH APPLICABLE REQUIREMENTS OF REFERENCED TPI STANDARDS. WHERE UNITS DO NOT FIT, RETURN THEM TO THE FABRICATOR AND REPLACE WITH UNITS OF CORRECT SIZE. DO NOT ALTER UNITS IN FIELD. ERECT UNITS WITH PLANE OR TRUSS WEBS VERTICAL (PLUMB) AND PARALLEL TO EACH OTHER, LOCATED ACCURATELY AT DESIGN SPACINGS INDICATED. JOIST UNITS IN PLACE BY MEANS OF JOISTS BY OUT-OF-PLANE BENDING OR OTHER CAUSES. ANCHOR UNITS SECURELY AT ALL BEARING POINTS TO COMPLY WITH METHODS AND DETAILS INDICATED. INSTALL PERMANENT BRACING AND RELATED COMPONENTS TO ENABLE UNITS TO MAINTAIN DESIGN SPACING, WITH STAND LIVE AND DEAD LOADS INCLUDING LATERAL LOADS, AND COMPLY WITH OTHER INDICATED REQUIREMENTS. DO NOT CUT OR REMOVE TRUSS OR JOIST MEMBERS.

MEMBERS MUST BE HELD STRAIGHT AND PLUMB AT THEIR DESIGN SPACING WHILE ALL BRACING IS APPLIED.

LATERAL BRACING SHOULD BE INSTALLED AS SPECIFIED BY MANUFACTURER AT SUPPORT LOCATIONS. CHORDS AND WEBS SHALL BE KEPT STRAIGHT AND PLUMB THROUGHOUT THE ENTIRE LENGTH. UNITS SHOULD NOT BE CUT OR REMOVE AND PORTION OF MEMBERS, CHORDS OR WEBS. NAILING GUIDELINES FOLLOW:

APA RECOMMENDATIONS FOR NAILING SHEATHING TO TOP CHORDS OF TRUSSES, 8D BOX, 4D COMMON OR 6D DEFORMED SHANK NAILS MAY BE USED TO NAIL PLYWOOD TO TOP CHORD. STAGGER NAILS TO PREVENT SPLITTING OF THE CHORD. SPACE NAILS 1-1/2" FROM END AND 4" TO 8" APART.

NAIL UNITS TO BEARING WITH ONE 8D BOX NAIL THROUGH THE BOTTOM CHORD ON EACH SIDE OF THE WEB. PROVIDE MINIMUM OF 3" BEARING. CONCENTRATED LOADS IN EXCESS OF 30 POUNDS SHOULD NOT BE HUNG FROM BOTTOM CHORDS.

### GENERAL STRUCTURAL CRITERIA

- PRINCIPAL DESIGN LOADS:
  - A. SEI/ASCE 7-05
  - B. 2020 BUILDING CODE OF NYS
- DESIGN LOADS

FLOOR LIVE LOAD = 100 PSF LOBBY/CORRIDORS/PUBLIC

ROOF SNOW LOAD = DRIFT IN ACCORDANCE WITH ASCE7

Ps = 50 PSF

Cs = 3.0

Is = 1.0

Ct = 1.0

WIND LOAD

BASED ON WIND SPEED = 115 MPH

EXPOSURE "B"

Iw = 1.00

## MECHANICAL SPECIFICATIONS SEE DWG MEP-101

## ELECTRICAL SPECIFICATIONS SEE DWG MEP-101



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**CONSTRUCTION DOCUMENTS**

**CHEEKTOWAGA  
SINGLE FAMILY  
INFILL**

305A Hyland Avenue  
Cheektowaga, NY 14043

**NEW CONSTRUCTION**

Project # 2414

DRAWN BY: slh, gq

12-Nov-24

**GENERAL NOTES &  
SPECIFICATIONS**

DWG. NO.

**A-100**

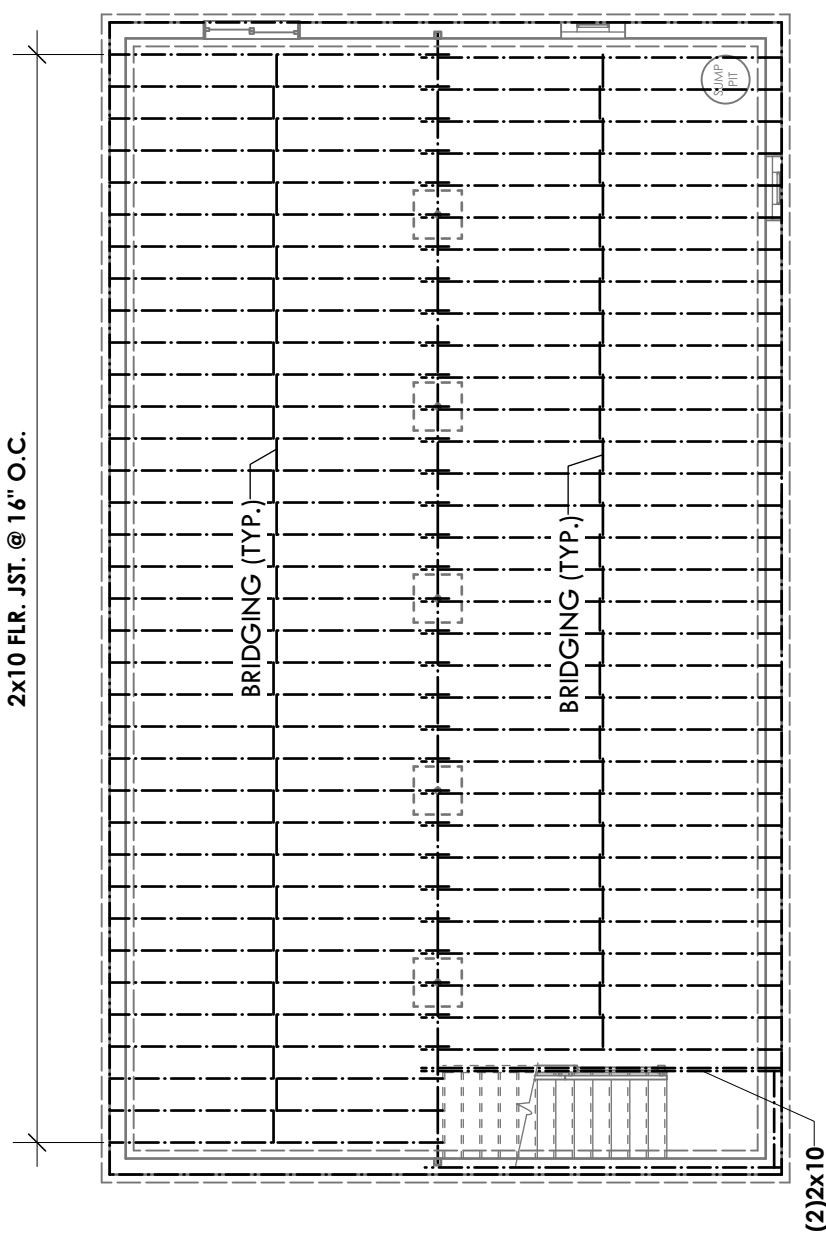
**eco logic** STUDIO

2495 MAIN ST.

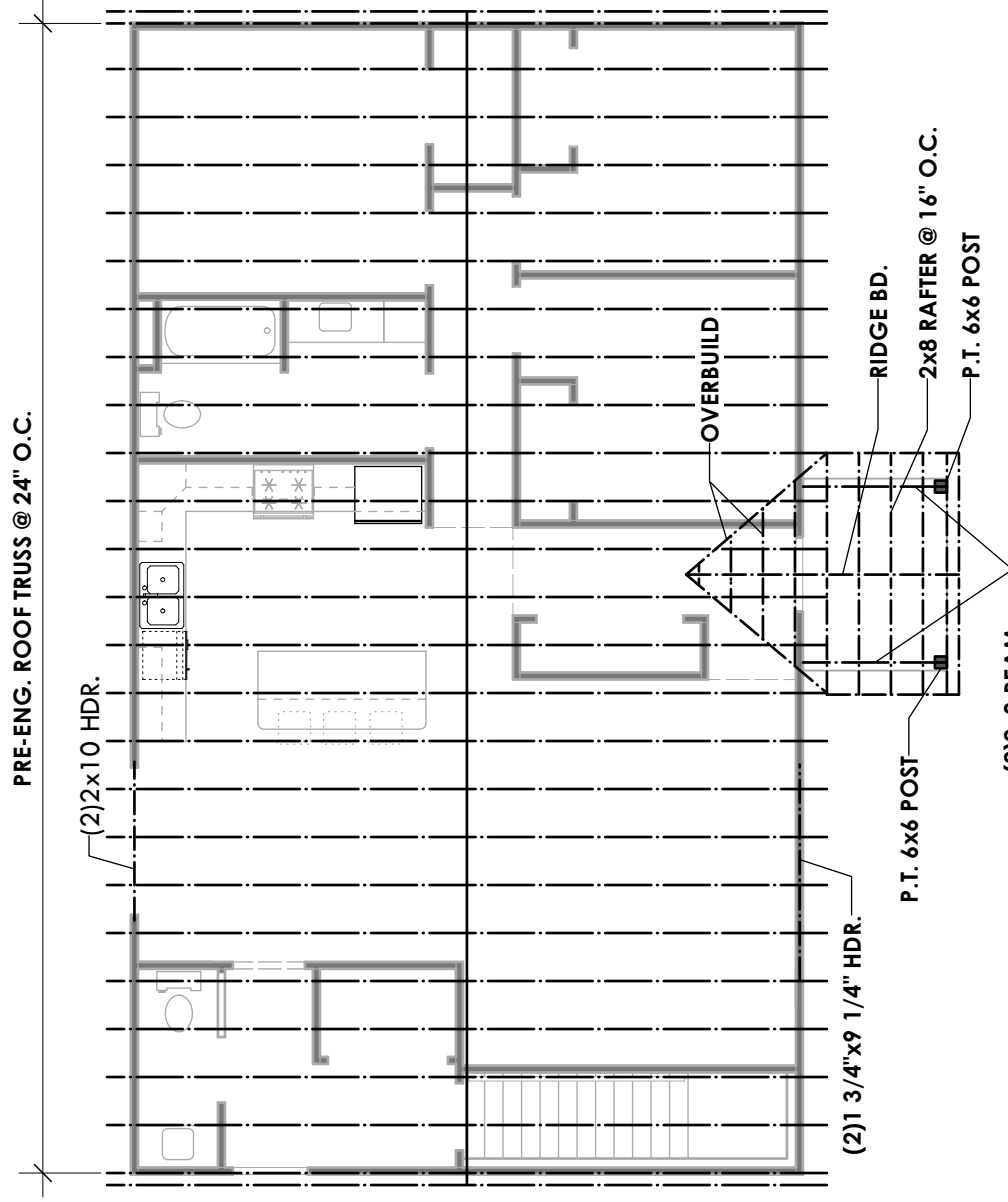
SUITE 431

BUFFALO, NY 14214

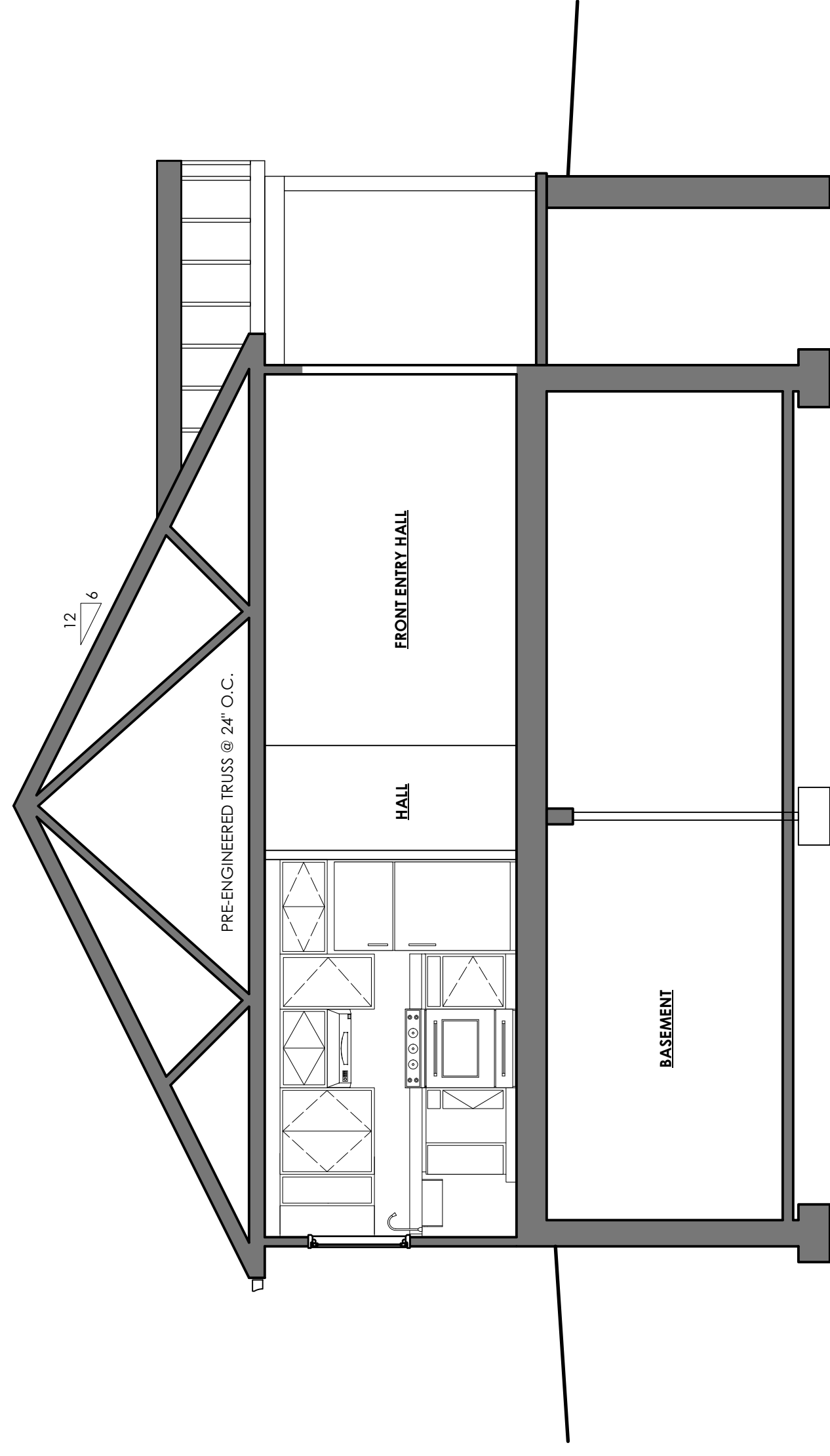
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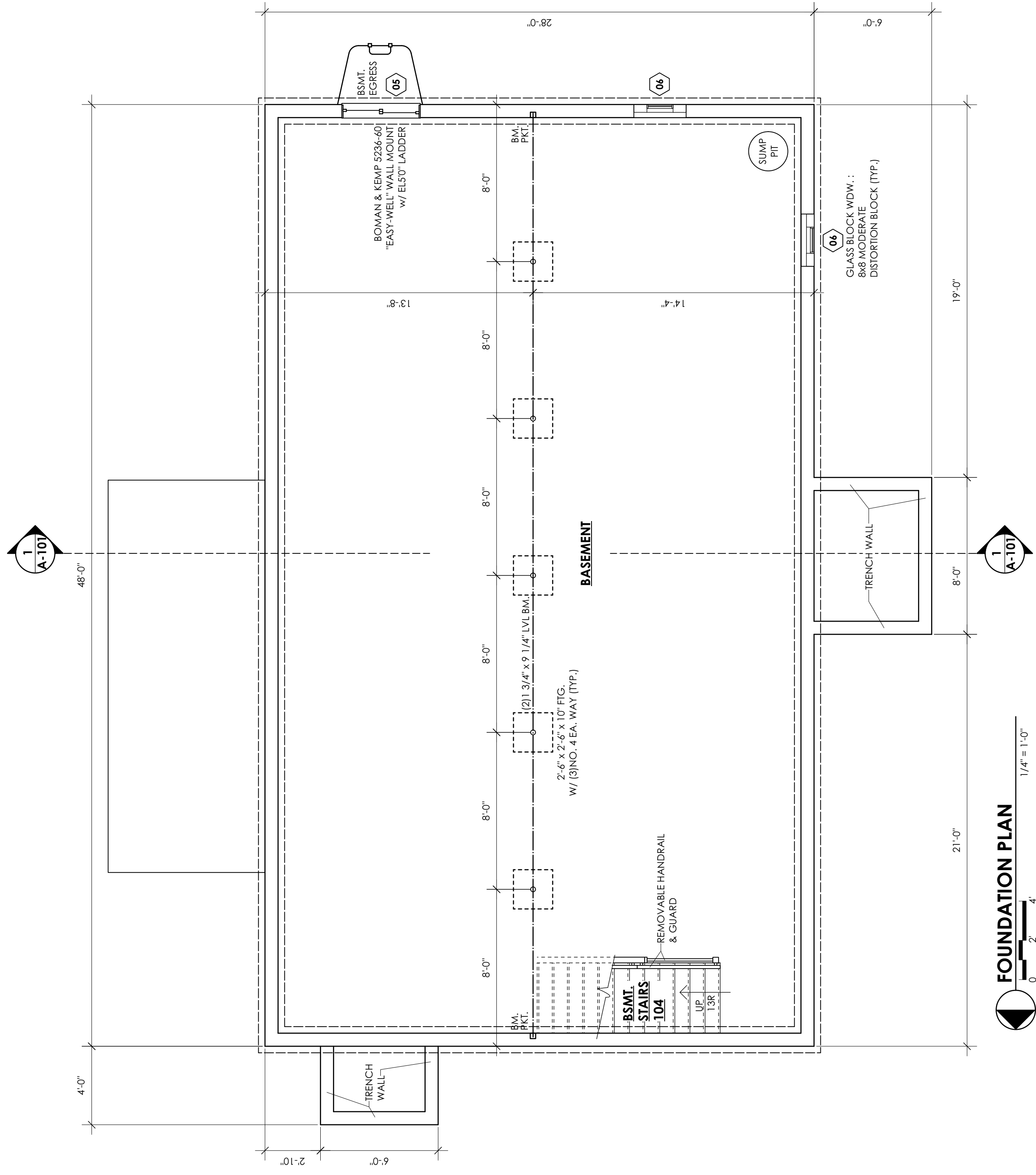
**FIRST FLOOR FRAMING PLAN**  
 1/8" = 1'-0"  
 0 4 8



**ROOF FRAMING PLAN**  
 1/8" = 1'-0"  
 0 4 8



**A BUILDING SECTION**  
 1/4" = 1'-0"  
 0 2 4



**FOUNDATION PLAN**  
 1/4" = 1'-0"  
 0 2 4

### ROOM FINISH SCHEDULE

RM. #	ROOM TITLE	FLOOR		BASE		WALL		CEILING		REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
101	SIDE ENTRY/HALL	CER. TILE	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
102	1/2 BATH	CER. TILE	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
103	LAUNDRY	CER. TILE	-	CER. TILE	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
104	BASEMENT STAIRS	WOOD	PAINT	-	-	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
105	DINING	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
106	KITCHEN	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
107	LIVING RM	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
108	CLOSET	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
109	FRONT ENTRY/HALL	CER. TILE	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
110	HALL	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
111	BATH RM.	CER. TILE	-	CER. TILE	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
112	BEDROOM 1	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
113	WALK-IN CLO.	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
114	CLOSET	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
115	BEDROOM 2	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
116	BEDROOM 3	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"

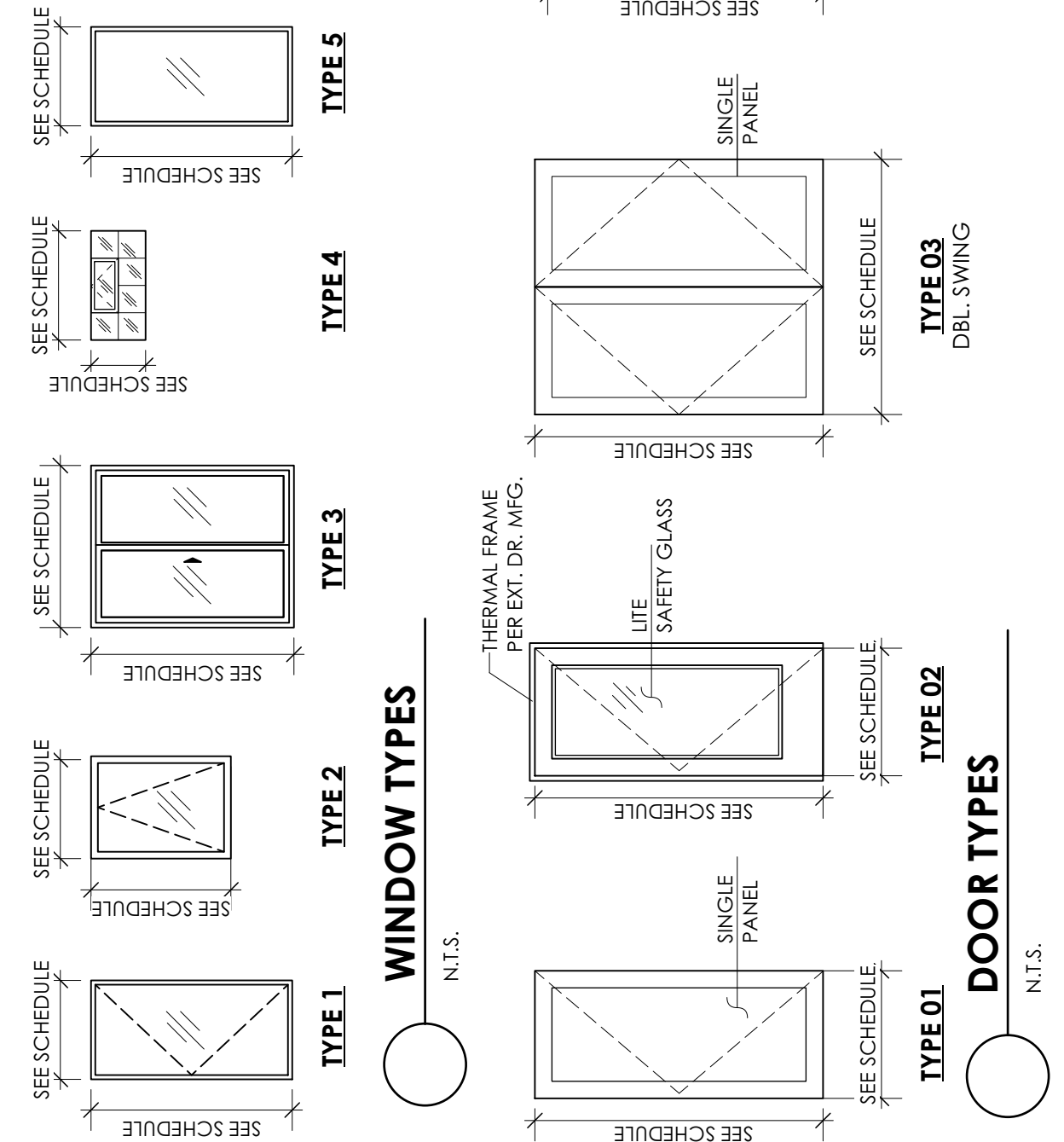
**KEY**  
 BD.: BOARD  
 CER.: CERAMIC  
 COMP.: COMPOSITE  
 ENG.: ENGINEERED  
 FLR.: FLOOR  
 GYP.: GYPSUM  
 L.V.P.: LUXURY VINYL PLANK  
 M.M.R.: MOLD & MOISTURE RESISTANT  
 P.C.: PREFINISHED  
 PT.: PAINT  
 TR.: TRIM  
 VAR.: VARNISH  
 WD.: WOOD

### DOOR SCHEDULE

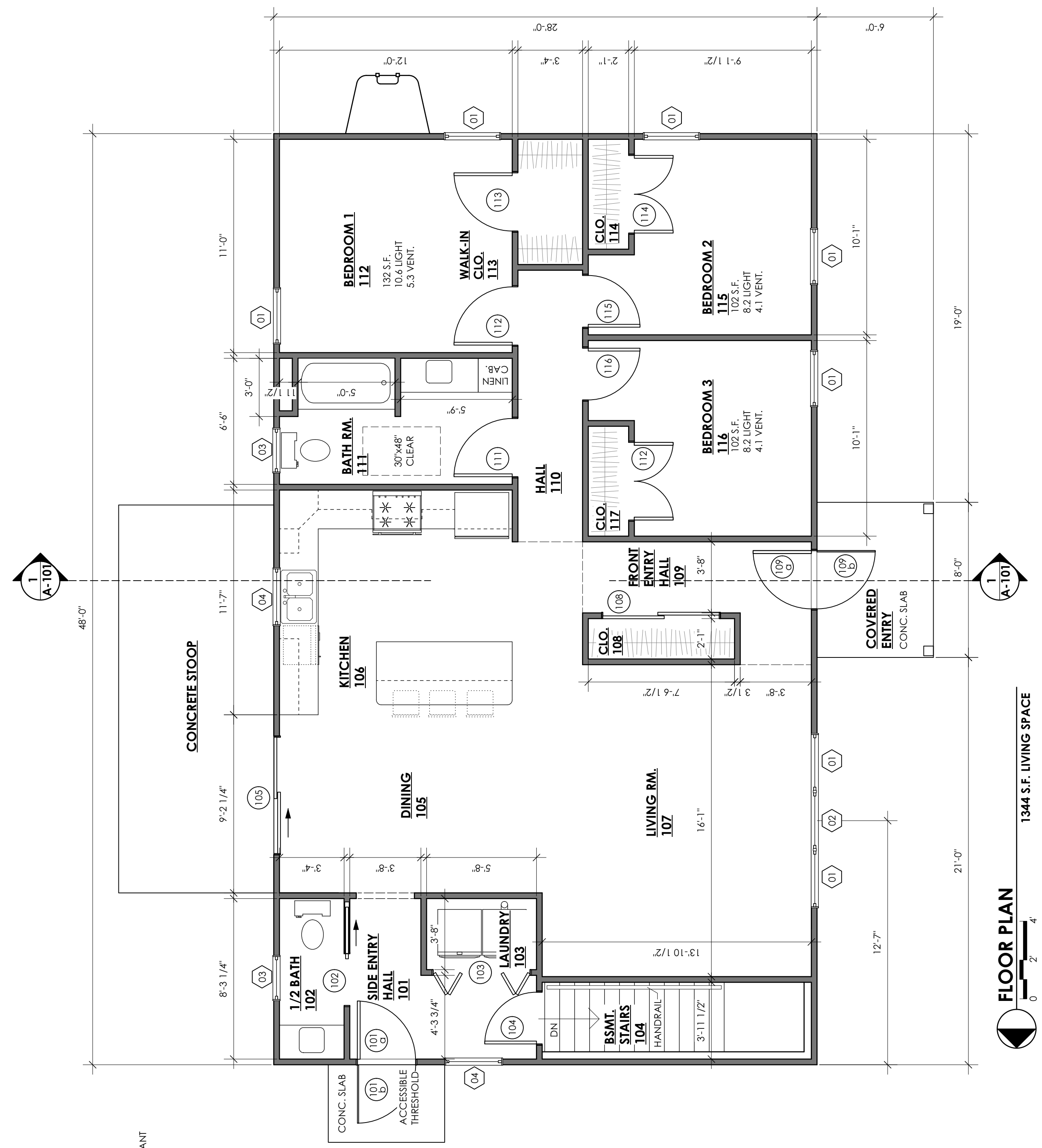
DOOR #	ROOM TITLE	DOOR		FRAME		GLASS		HARDWARE SET		REMARKS
		MATERIAL	TYPE	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	SET	
101a	SIDE ENTRY HALL	FIBERGLASS	02	36"	PAINT	Y	-	MFR.	-	WEATHERSTRIPPING
101b	SIDE ENTRY HALL	SCREEN & STL.	06	36"	PWDR-CT.	FG.	PWDR-CT.	MFR.	-	-
102	1/2 BATH	WD. COMP.	05	30"	PAINT	WD.	PAINT	MFR.	-	POCKET DOOR
103	LAUNDRY	WD. COMP.	04	60"	PAINT	WD.	PAINT	MFR.	-	DBL. BIFOLD LOUVERED FOR VENTILATION
104	BASEMENT STAIRS	WD. COMP.	01	80"	PAINT	WD.	PAINT	MFR.	-	-
105	DINING ROOM	WD. CLAD	07	72"	-	WD. CLAD	-	MFR.	-	ALUMINUM CLAD WOOD SLIDING GLASS DOOR
108	CLOSET	WD. COMP.	03	72"	PAINT	WD.	PAINT	MFR.	-	BY-PASS
109a	FRONT ENTRY HALL	FIBERGLASS	02	36"	PAINT	FG.	PAINT	MFR.	-	ACCESSIBLE THRESHOLD, WEATHERSTRIPPING
109b	FRONT ENTRY HALL	SCREEN & STL.	06	36"	PWDR-CT.	STL.	PWDR-CT.	MFR.	-	-
111	BATH RM.	WD. COMP.	01	36"	PAINT	WD.	PAINT	MFR.	-	-
112	BEDROOM 1	WD. COMP.	01	36"	PAINT	WD.	PAINT	MFR.	-	UNDERCUT
113	WALK-IN CLOSET	WD. COMP.	01	36"	PAINT	WD.	PAINT	MFR.	-	DOUBLE SWING
114	CLOSET	WD. COMP.	03	48"	PAINT	WD.	PAINT	MFR.	-	UNDERCUT
115	BEDROOM 2	WD. COMP.	01	32"	PAINT	WD.	PAINT	MFR.	-	UNDERCUT
116	BEDROOM 3	WD. COMP.	01	32"	PAINT	WD.	PAINT	MFR.	-	UNDERCUT
117	CLOSET	WD. COMP.	03	48"	PAINT	WD.	PAINT	MFR.	-	DOUBLE SWING

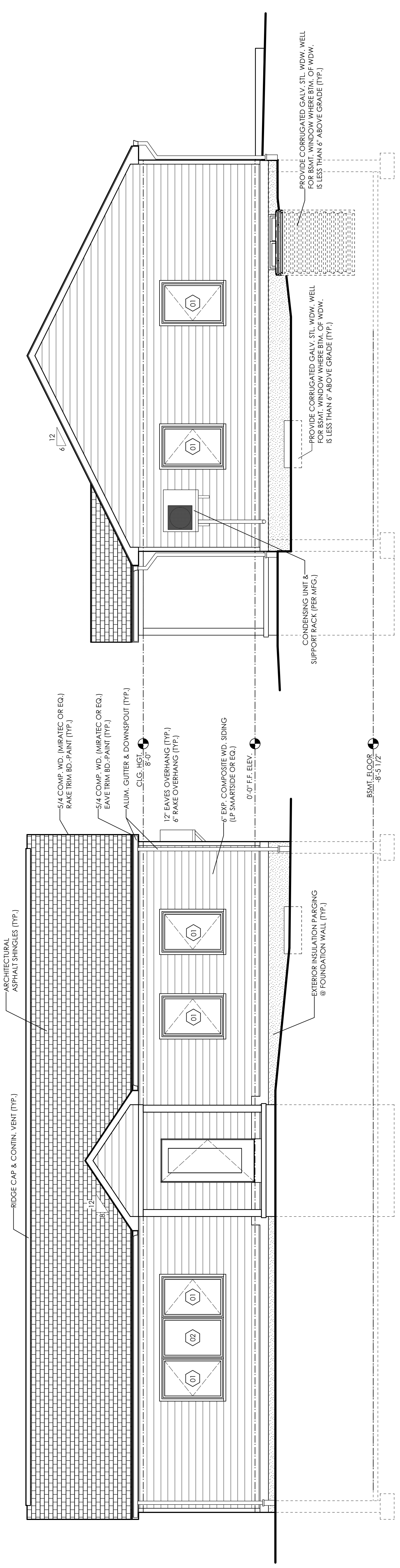
### WINDOW SCHEDULE

NO.	CALL NO.	TYPE	WINDOW FRAME SIZE		U-FACTOR	SHGC	EGRESS OPNG. S.F.	DAYLIGHT S.F.	OPERABLE	VENT AREA S.F.	MATERIAL	REMARKS
			WIDTH	HEIGHT								
01	3553	1	2'-11"	4'-5"	0.29	0.27	8.6	10.0	YES	9.3	ALUM CLAD WD. CASEMENT	PELLA LIFESTYLE SERIES OR EQ. UN.O.
02	3553	1	2'-11"	4'-5"	0.29	0.27	8.6	10.0	NO	-----	ALUM CLAD WD. FIXED CASEMENT	-
03	2929	2	2'-5"	2'-5"	0.29	0.27	-----	7.9	YES	3.7	ALUM CLAD WD. AWNING	-
04	3541	1	2'-11"	3'-5"	0.29	0.27	-----	4.0	YES	7.0	ALUM CLAD WD. CASEMENT	-
05	470-5/0	3	3'-11"	4'-11"	0.28	0.27	7.84	14.6	YES	7.8	FIBERGLASS	PELLA IMPERVIA ADVANCED COMFORT LOW-E
06	VENT GLS. BLK.	4	2'-7"	1'-5 1/2"	0.51	0.51	-----	3.0	YES	0.8	8'X8' GLASS BLOCK W/8" X 1.6" HOPPER WDW.	-



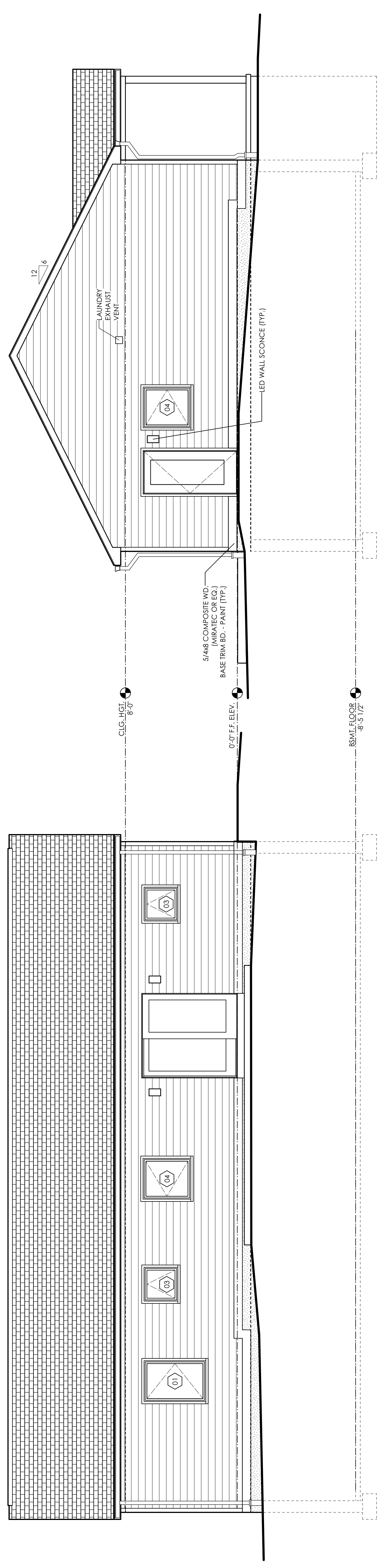
**NOTE:**  
 DIMENSIONS ARE TO ROUGH FRAMING  
 ALL EXTERIOR WALLS 2x4 @ 16" O.C.  
 ALL INTERIOR PARTITIONS 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE





**FRONT ELEVATION**  
 0 2 4

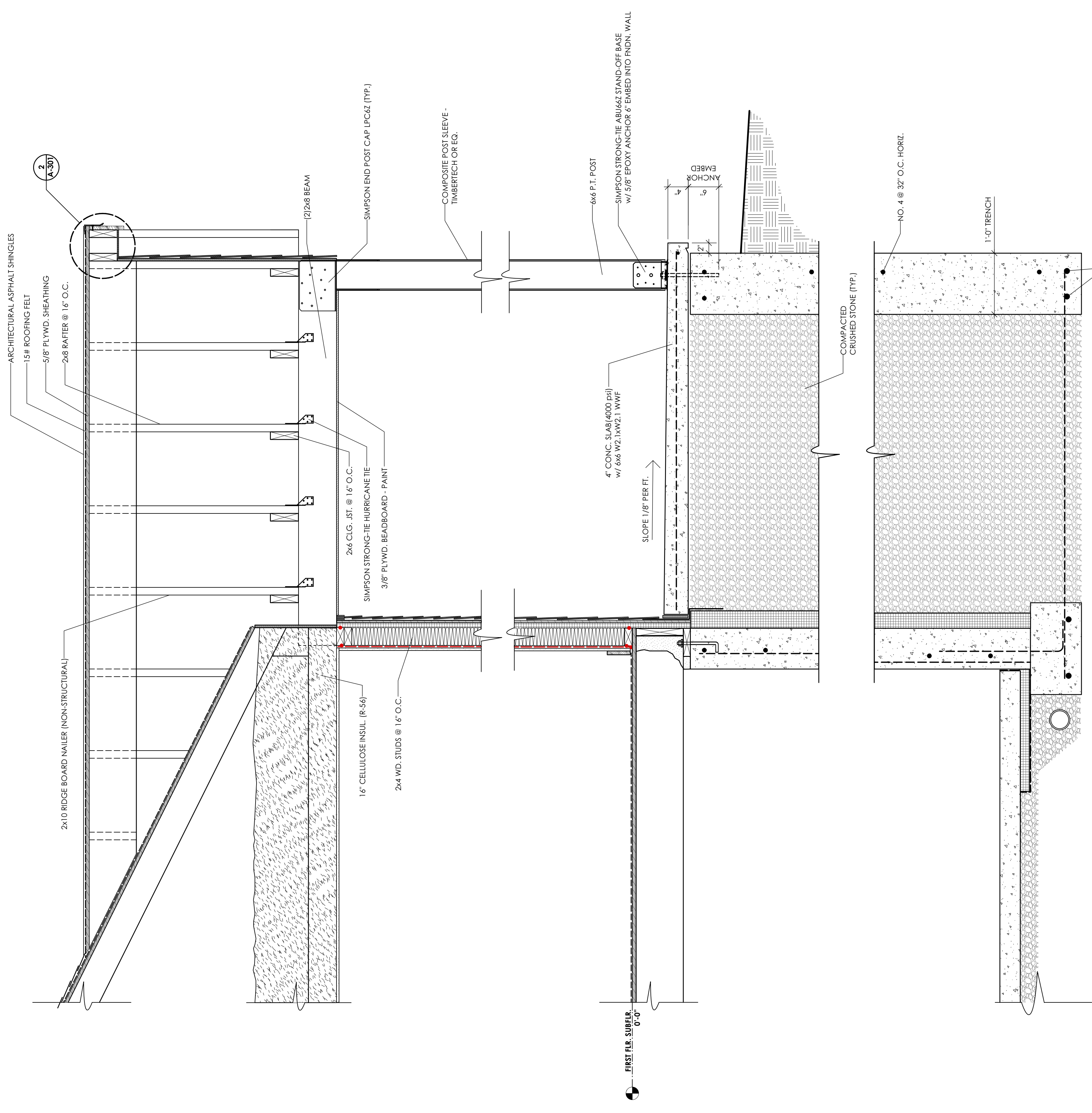
**RIGHT SIDE ELEVATION**  
 0 2 4



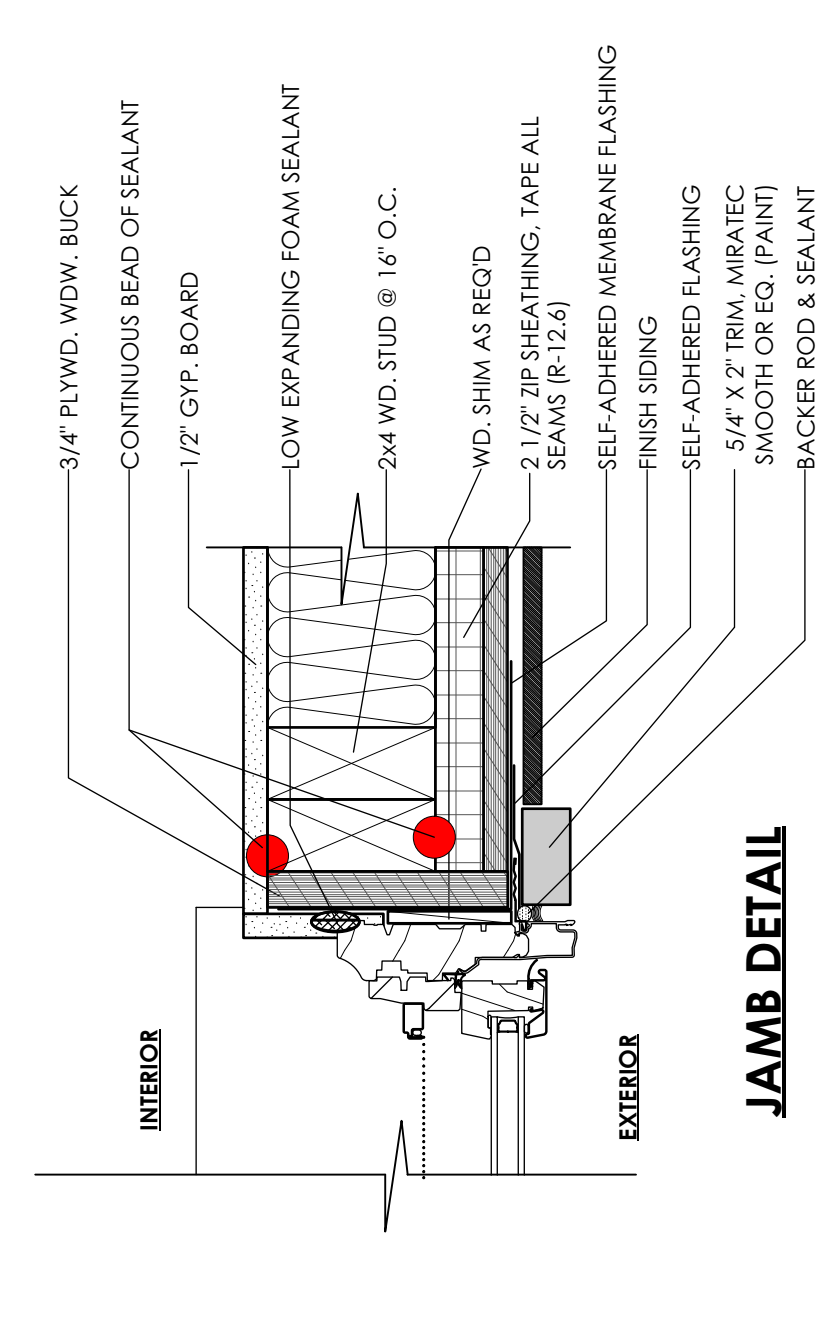
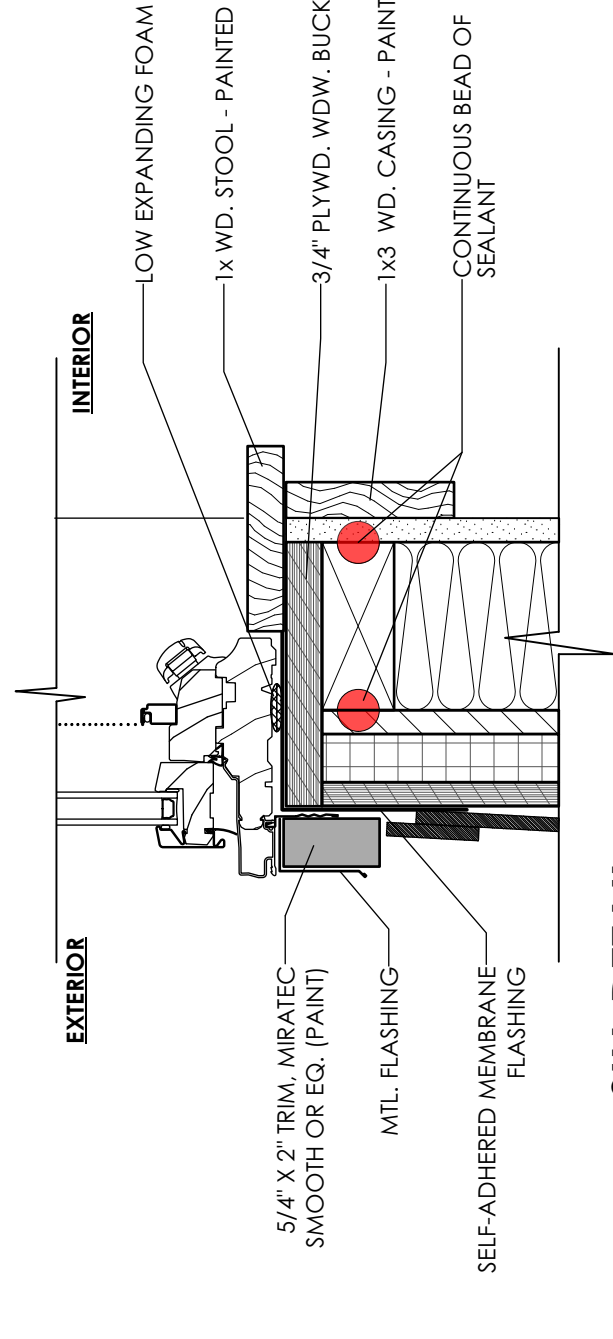
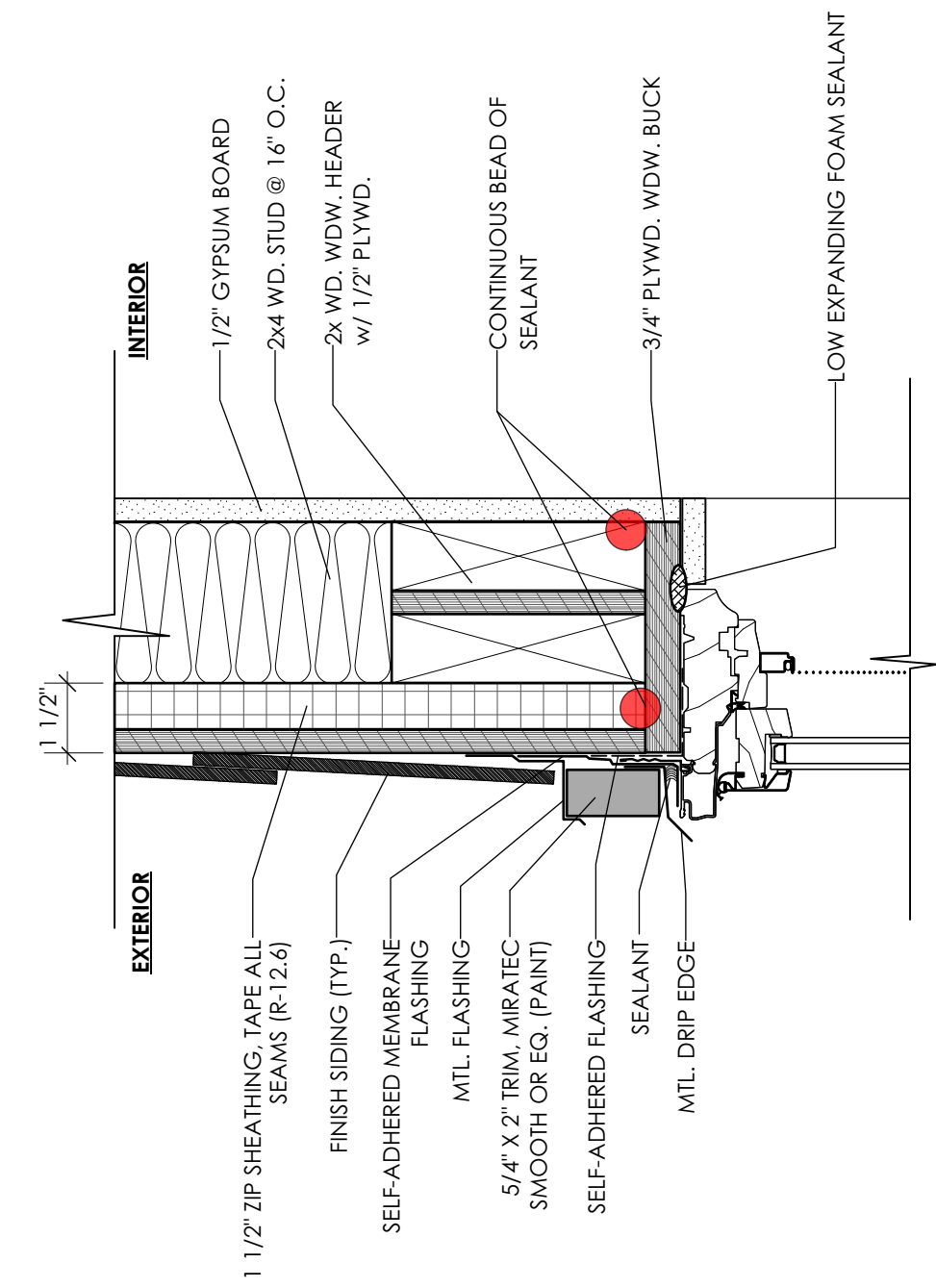
**REAR ELEVATION**  
 0 2 4

**LEFT SIDE ELEVATION**  
 0 2 4

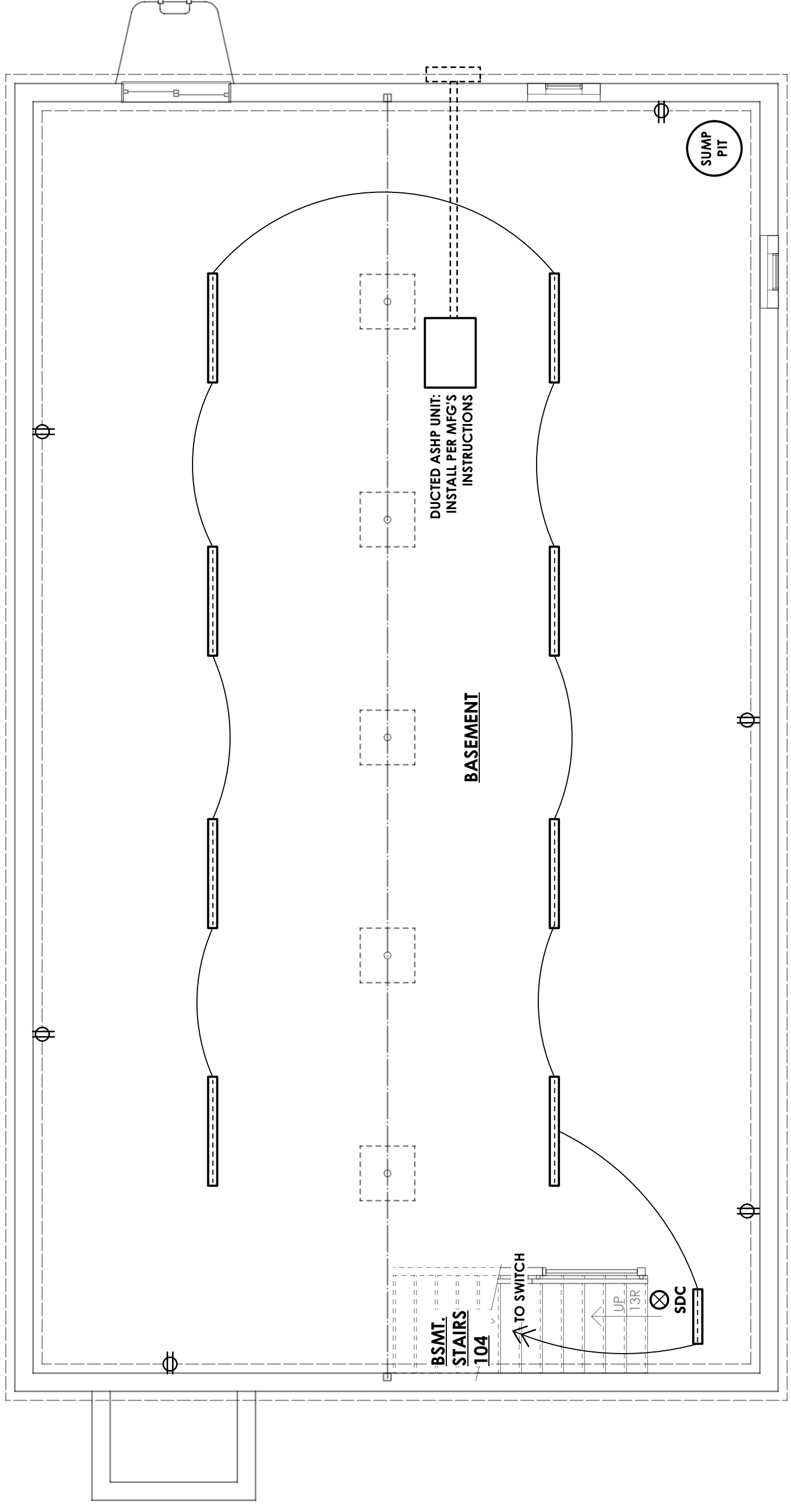




**1 TYPICAL PORCH SECTION**  
 1" = 1'-0"

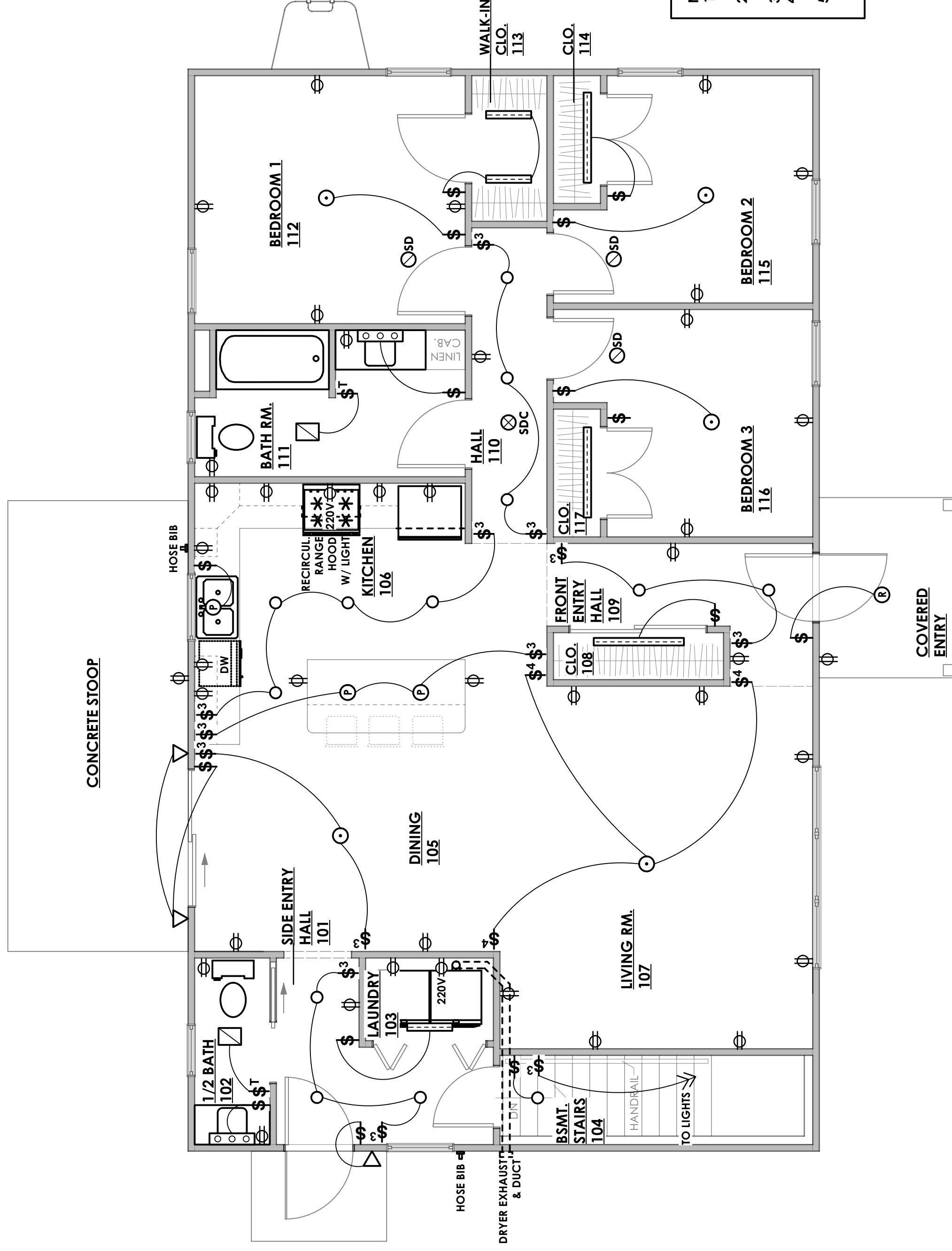


**WINDOW DETAILS**  
 3/8" = 1'-0"



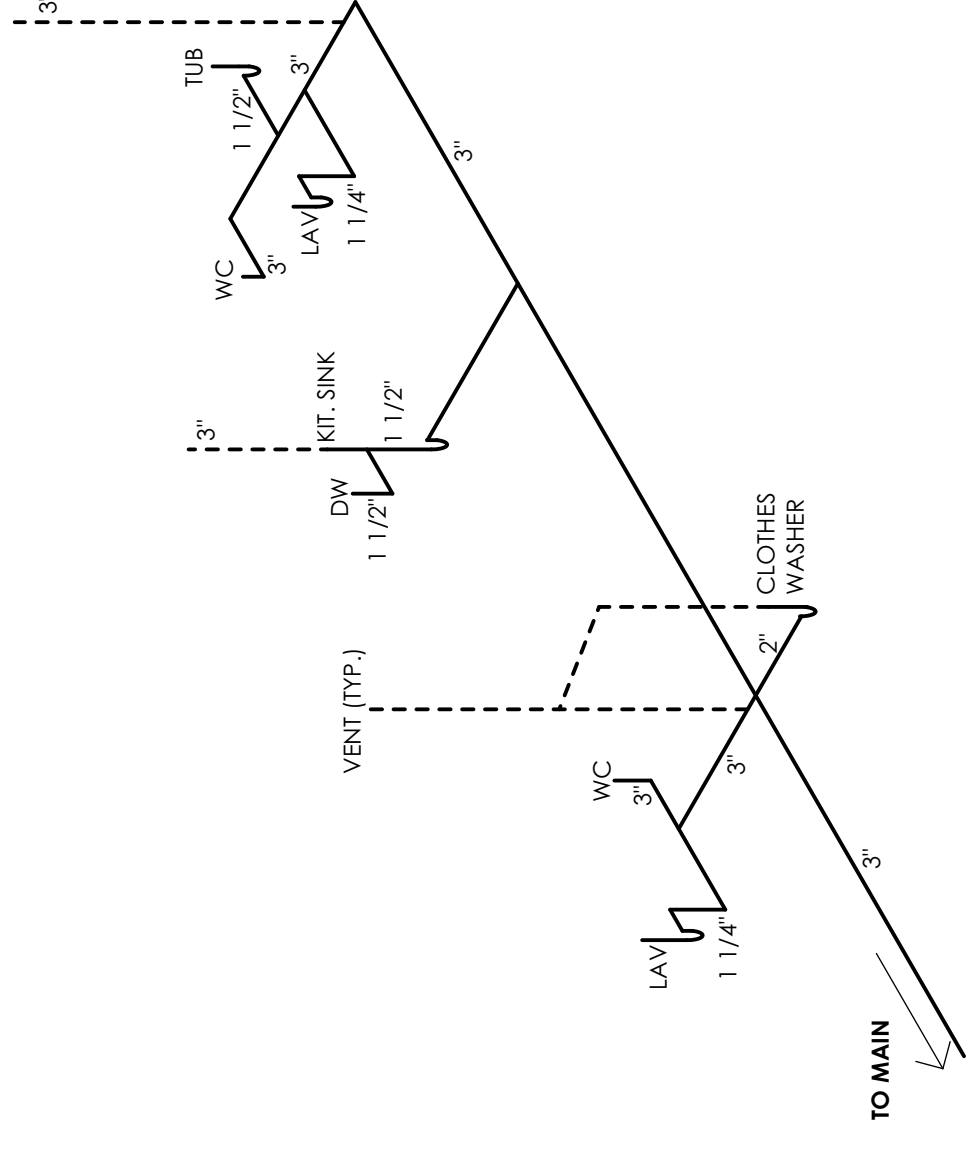
**BASEMENT SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN**

0 2 4



**MAIN FLOOR SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN**

0 2 4



**SCHEMATIC PLUMBING DIAGRAM**

N.T.S.

**ELECTRICAL LEGEND**

- ⊖ DUPLEX RECEPTACLE
- ⊖20V DUPLEX RECEPTACLE
- ⊖ SINGLE POLE SWITCH
- ⊖3 DOUBLE POLE SWITCH
- ⊖T TIMER SWITCH
- ⊖ LED SURFACE MOUNT FIXTURE
- ⊖ LED SURFACE MOUNT DOWNLIGHT FIXTURE
- ⊖ EXHAUST FAN & LIGHT
- ⊖ LED RECESSED LIGHT FIXTURE
- ⊖ LED PENDANT LIGHT FIXTURE
- ⊖SDC CEILING MOUNTED SMOKE & CARBON MONOXIDE ALARM (HARD WIRED INTERCONNECTED)
- ⊖SD CEILING MOUNTED SMOKE ALARM (HARD WIRED INTERCONNECTED)
- ⊖T LED MEDICINE CABINET LIGHTING
- ⊖ LED WALL SCONCE
- ⊖ LED Z LED STRIP LIGHT
- ⊖ LED 4 LED STRIP LIGHT
- ⊖ LED UNDER CABINET LED STRIP LIGHT

**MECHANICAL SPECIFICATIONS**

ALL MECHANICAL SYSTEMS SHALL BE IN ACCORDANCE WITH LOCAL CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED CONTRACTOR SHALL PERFORM ALL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BEING RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY MECHANICAL SYSTEM INSPECTIONS.

1. DUCTED ASHP UNIT TO G.E. H.P. 8KW HEATER W/ 45A BREAKER, MODEL # UA7EH 08A OR EQ.

**ELECTRICAL SPECIFICATIONS**

ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH LOCAL CODES, NEC, NFPA, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED ELECTRICIAN SHALL PERFORM ALL WORK. THE ELECTRICIAN SHALL APPLY FOR ALL NECESSARY ELECTRICAL PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMITS. THE ELECTRICIAN SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY ELECTRICAL INSPECTIONS.

1. ALL EXPOSED WIRING TO BE SHELD BY METAL CONDUIT AS APPROVED BY TOWN OF CHEEKTOWAGA.
2. FIXTURES AS SELECTED BY OWNER.
3. PROVIDE ADDITIONAL DOCUMENTATION OF ELECTRICAL SCOPE AND EQUIPMENT AS REQUIRED BY TOWN.
4. RECEPTACLES SHALL BE PROVIDED WITH GFCI AS REQUIRED BY NFPA 70 AS INDICATED.
5. PROVIDE LED LAMPS PER FIXTURE MANUFACTURER REQUIREMENTS.

**PLUMBING SPECIFICATIONS**

ALL PLUMBING SHALL BE IN ACCORDANCE WITH LOCAL CODES, AND 2020 RESIDENTIAL CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED PLUMBER SHALL PERFORM ALL WORK. THE PLUMBER SHALL APPLY FOR ALL NECESSARY PLUMBING PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMITS. THE PLUMBER SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY PLUMBING INSPECTIONS.

- NOTES:**
1. ALL RECEPTACLES IN KITCHEN, BATH ROOMS & BASEMENT TO BE GFCI
  2. PROVIDE SEPARATE CIRCUIT FOR EACH KITCHEN APPLIANCE
  3. LIGHT FIXTURES AS SELECTED BY OWNER
  4. ALL OUTDOOR RECEPTACLES TO BE GFCI & WATERPROOF
  5. ALL RECESSED LIGHTS IN INSULATED SPACES SHALL HAVE INSULATED COVERS



# CHEEKTOWAGA SINGLE FAMILY INFILL

## 305B HYLAND AVENUE CHEEKTOWAGA, NEW YORK 14043

### RESIDENTIAL (R)

#### LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:

THE FOLLOWING ARE MINIMUM LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:

- A. MINIMUM AREA OF LOT IN SQUARE FEET:  
 7,200 SF (INTERIOR LOT)  
 ACTUAL: 17,490 SF (TYP.)
- B. MINIMUM LOT WIDTH IN FEET:  
 INTERIOR LOT: 40'-0"  
 ACTUAL: 39'-25" (TYP.) \*
- D. MAXIMUM BUILDING HEIGHT IN FEET:  
 SINGLE OR TWO-FAMILY DWELLINGS: 30'  
 ACCESSORY BUILDINGS: ONE STORY < 12'  
 ACTUAL: 21'-6" (TYP.)
- E. MINIMUM FRONT YARD IN FEET:  
 25'  
 ACTUAL: 11'-10" (TYP.)
- F. MINIMUM SIDE YARD IN FEET:  
 10% LOT WIDTH (E.A. SIDE & 25% LOT WIDTH TOTAL; NOT MORE THAN 25' NECESSARY)  
 ACTUAL: 30'-10" NORTH SIDE, 34'-8" SOUTH SIDE (TYP.)
- G. MINIMUM REAR YARD IN FEET:  
 GREATER OF 25% OF LOT DEPTH (30'-9" & 25' MIN. = 55'-0")  
 ACTUAL: 45'-2" (TYP.)

\* NOTE: SEE SPECIAL PERMIT AND AREA VARIANCE  
 DATED: 09/18/2024 (APPROX.)

### GENERAL NOTES:

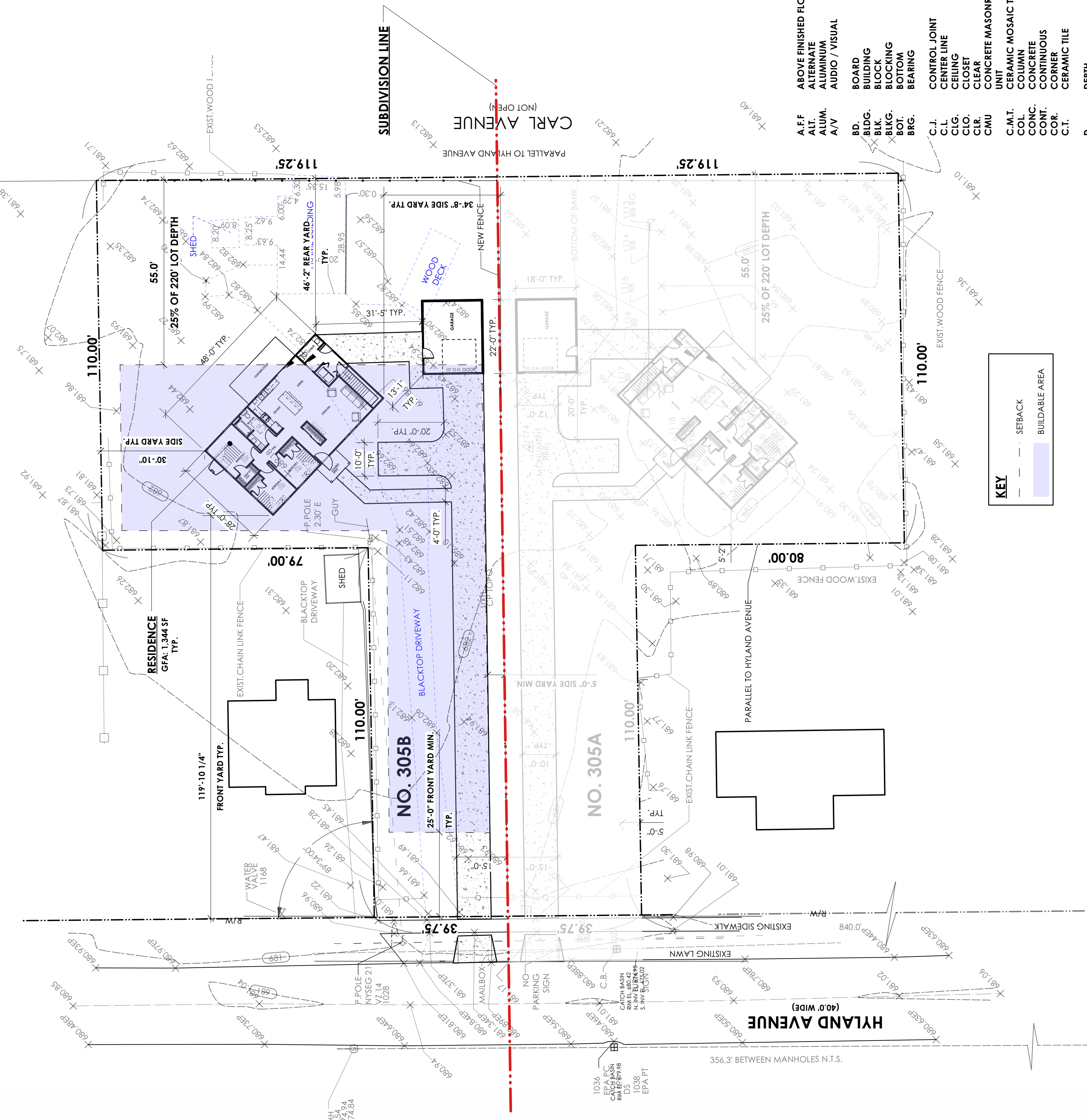
1. COMPLY WITH ALL LOCAL, STATE AND FEDERAL, CODES AND REGULATIONS.
2. MAINTAIN UNINTERRUPTED ACCESS AS REQUIRED BY NEW YORK STATE AND TOWN OF CHEEKTOWAGA.
3. OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
4. REVIEW AND VERIFY ALL EXISTING CONDITIONS AND THE SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
5. NO SUBSTITUTIONS WITHOUT AUTHORIZATION OF OWNER AND ARCHITECT.
6. PROVIDE ALL NECESSARY PERMITS, APPROVALS, WORK OR ENCLOSURE TO PROPERLY INSTALL AND COMPLETE THE WORK.
7. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS USED IN CONSTRUCTION WORK.



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<b>CHEEKTOWAGA        SINGLE FAMILY        INFILL</b>
305B Hyland Avenue Cheektowaga, NY 14043
<b>NEW CONSTRUCTION</b>
Project # 2414
DRAWN BY: slh, gq
12-Nov-24
<b>TITLE SHEET &amp; SITE PLAN</b>
DWG. NO. <b>T-100</b>



### SURVEY INFORMATION BY:

KHEOPS ARCHITECTURE ENGINEERING & SURVEY, DPC  
 392 PEARL STREET, BUFFALO, NEW YORK 14202  
 SURVEY DATE: 02/22/2024  
 JOB NO.: 24NY16.01  
 PART OF THE HOLLAND LAND COMPANY  
 LOT 7A TOWNSHIP 11, RANGE 7  
 TOWN OF CHEEKTOWAGA, COUNTY OF ERIE,  
 STATE OF NEW YORK

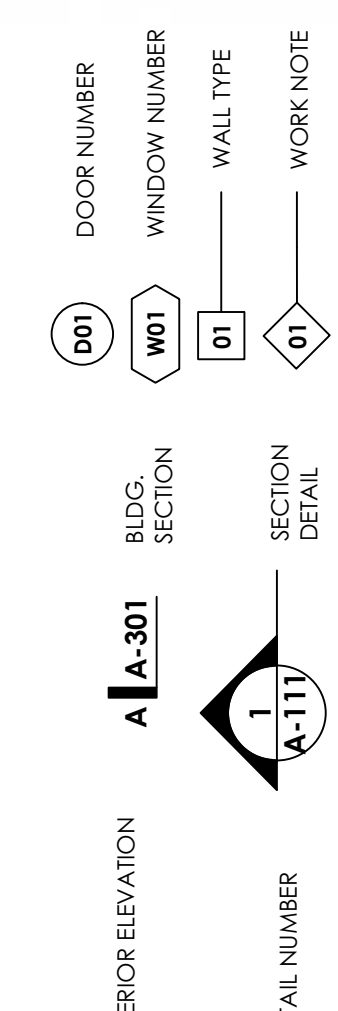
**KEY**

---	SETBACK
■	BUILDABLE AREA

### ABBREVIATION INDEX

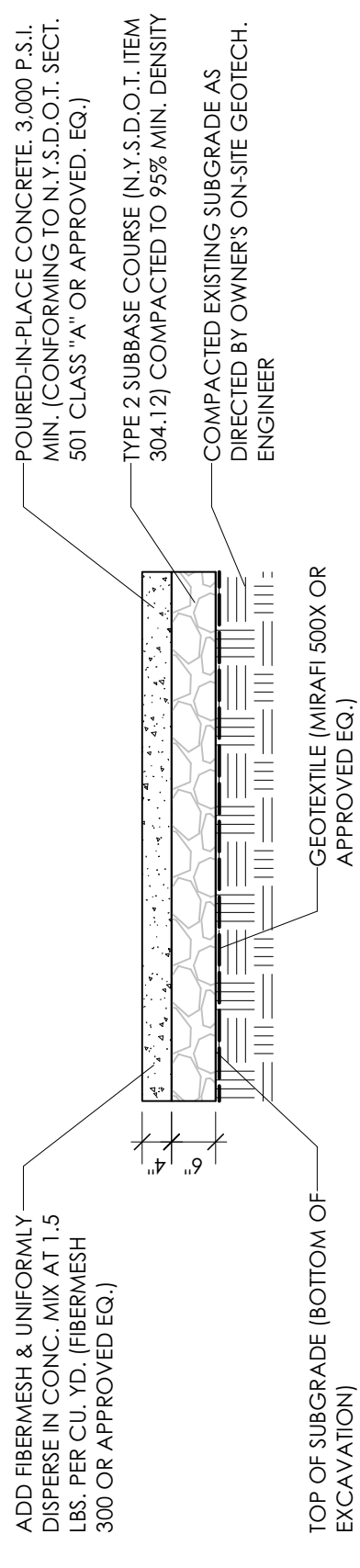
GALV. GYP.	GALVANIZED GYPSUM	REIN. REFR.	REINFORCED/ REINFORCING
HGT.	HEIGHT	RES.	RESILIENT
H.M.	HEIGHT OF INSTRUMENT	RM.	ROOM
H.P.	HOLLOW METAL	RMV.	REMOVE
HR.	HOUR	RUB.	RUBBER
INS.	INSULATION	SAN.	SANITARY
LIN.	LINEN CLOSET	SCH.	SCHEDULE
LOC.	LOCATED/LOCATIONS	SE.	SEWER
MAS.	MASONRY	STN.	STAINLESS STEEL
MEAS.	MEASURED	STL.	STEEL
MEZ.	MEZZANINE	SHT.	SHEET
M.H.	MAN HOLE	THK.	THICK
MIN.	MINIMUM	TR.	TRIM
MANFR.	MANUFACTURER	TYP.	TYPICAL
MTL.	METAL	T&B	TOP & BOTTOM
NOM.	NOMINAL	T&G	TONGUE & GROOVE
N.T.S.	NOT TO SCALE	UJM.	UNDERLAYMENT
O.C.	ON CENTER	UNL.	UNLESS NOTED
O.E.	OVERHEAD ELECTRIC	VAR.	VARNISH
O.H.	OVER HEAD	V.C.T.	VARIABLE
OPNG.	OPENING	V.C.T.	VINYL COMPOSITE TILE
PERF.	PERFORATED	V.F.	VERTICAL
PERIM.	PERIMETER	V.F.	VERIFY IN FIELD
PL.	PLATE	W.	WIDTH
PLYWD.	PLYWOOD	WD.	WOOD
P.L.	PROPERTY LINE	WDW.	WINDOW
PREP.	PREPARE	WWF.	WELED WIRE FABRIC
PROJ.	PROJECTION		
PAINT	PAINT		
P.T.	PRESSURE TREATED		
Q.T.	QUARRY TILE		

### SYMBOLS INDEX



### DRAWING LIST:

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1 CONCRETE PAVING SECTION

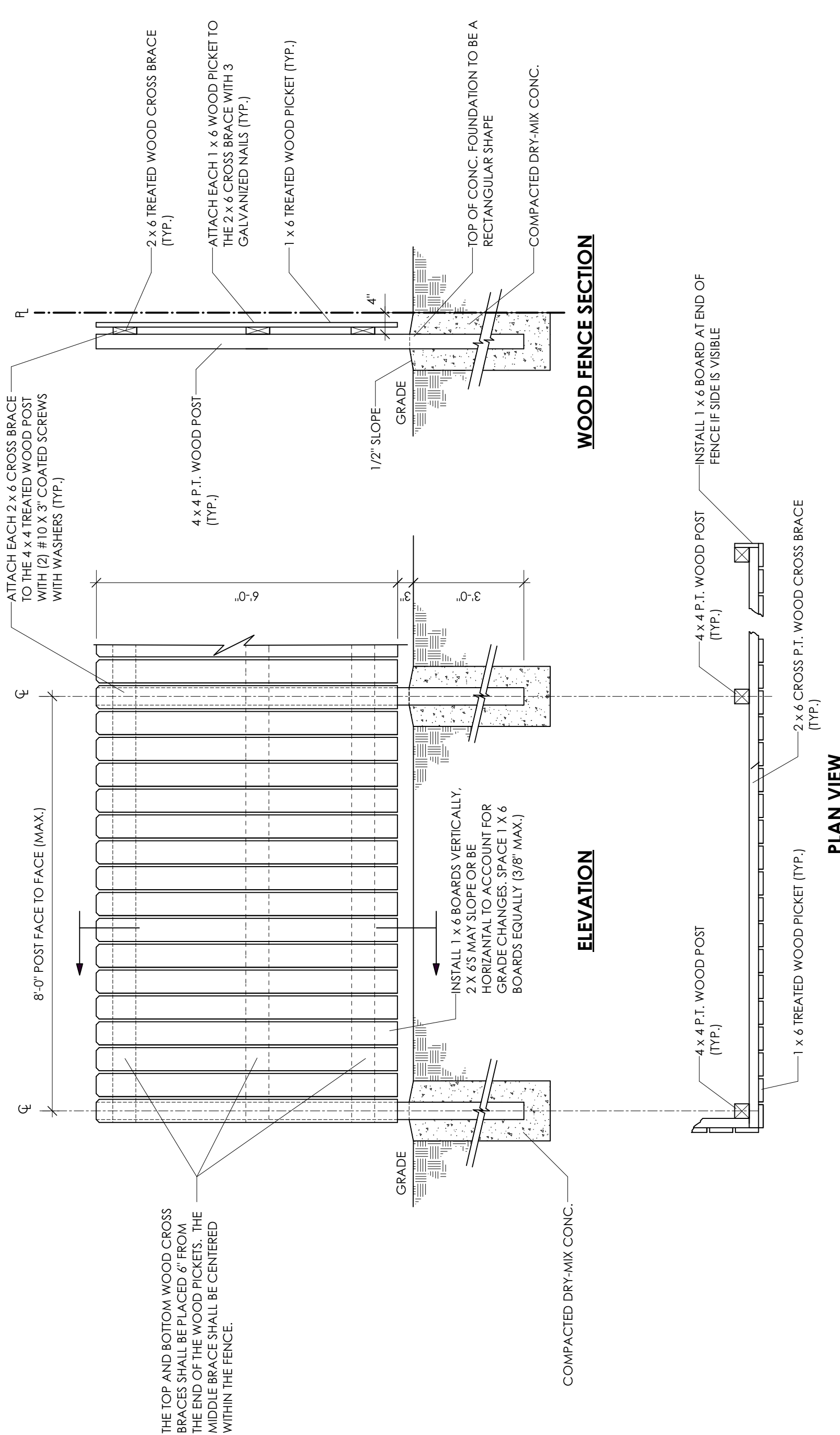
1/2" = 1'-0"

**NOTES:**

1. ALL CONCRETE FOR SIDEWALKS SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 501. CONSTRUCTION SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 608.3.
2. ALL CONCRETE DRIVEWAY AREAS SHALL BE SCORED 10' ON CENTER (OR AS NOTED ON SHEET T-100) WITH TOOLED CONTROL JOINTS 1" INCH DEEP, WHILE CONCRETE IS GREEN.
3. EXPANSION JOINTS IN CONCRETE AREAS SHALL BE NO MORE THAN 05' ON CENTER AND IT INTERFACES BETWEEN DRIVEWAYS, SIDEWALK SLABS, AND FOUNDATIONS. ALL SIDEWALK EDGES SHALL BE TOOLED WITH 1/2" RADIUS WITHIN 24 HOURS OF POURING CONCRETE. INSTALL FELT BOARD EXPANSION JOINT, SCORE FELT AND REMOVE TO DEPTH OF 1/2" BELOW SLAB. PROVIDE SEAL WITH 1/2" INCH PRE-MOLDED RESILIENT JOINT FILLER AT ALL EXPANSION JOINTS.
4. IN DRIVEWAY AREAS CONCRETE THICKNESS SHALL BE INCREASED TO 4" INCHES MINIMUM.
5. CONCRETE SHALL HAVE A SLUMP OF NO MORE THAN 5" AND AN AIR ENTRAINMENT OF 4-6%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN CONFORMANCE WITH ALL A.C.I. REQUIREMENTS.

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CONSTRUCTION DOCUMENTS	

<b>CHEEKTOWAGA SINGLE FAMILY INFILL</b>
305B Highland Avenue Cheektowaga, NY 14043
<b>NEW CONSTRUCTION</b>
Project # 2414
DRAWN BY: slh, gq
12-Nov-24
<b>SITE DETAILS</b>
DWG. NO. <b>C-101</b>



2 WOOD FENCE DETAILS

1/2" = 1'-0"

## GENERAL NOTES

- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
- THE CONTRACTOR IS TO MAINTAIN INSURANCES AS REQUIRED BY NEW YORK STATE AND THE TOWN OF CHEEKTOWAGA.
- BENLIC IS TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
- THE CONTRACTOR IS TO REVIEW AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- NO SUBSTITUTIONS ARE TO BE MADE WITHOUT THE AUTHORIZATION OF THE OWNER AND ARCHITECT.
- WORK BEHIND WALLS TO BE PROTECTED BY TEMPORARY SUPPORT OR ENCLOSURE TO PROTECT AND COMPLETE THE CONSTRUCTION & FINISH.
- PROPERLY DISPOSE OF AND REMOVE DEBRIS FROM THE WORK SITE DAILY OR STORE IN APPROPRIATE CONTAINER.
- COMPLY WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS.
- ALL COLORS AS INDICATED OR AS SELECTED BY ARCHITECT.
- TEMPORARY BRACING SHALL BE INSTALLED AS NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. THE CONTRACTOR IS TO REQUEST FINAL INSPECTION BY THE ARCHITECT PRIOR TO ISSUE OF FINAL CERTIFICATE TO BENIC FOR APPROVAL. THE CONTRACTOR IS TO REVIEW, COORDINATE AND VERIFY THAT SUBMITTALS MEET THE SPECIFIED REQUIREMENTS PRIOR TO SUBMISSION.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT UNITS AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS REQUIRED FOR THE WORK. COORDINATE TOWN W/BENIC INSPECTOR.
- THE CONTRACTOR IS TO REQUEST FINAL INSPECTION BY THE ARCHITECT PRIOR TO ISSUE OF FINAL CERTIFICATE TO BENIC FOR APPROVAL. THE CONTRACTOR WILL REQUEST A REINSPECTION BY THE ARCHITECT.
- THE CONTRACTOR IS TO SUPPLY THE OWNER WITH OPERATIONS AND MAINTENANCE MANUAL AND WARRANTIES OF ALL PRODUCTS AND SYSTEMS AT CLOSEOUT.
- THE CONTRACTOR IS TO SUBMIT A WRITTEN LIST OF ALL SUBCONTRACTORS PROPOSED FOR THE WORK. THE OWNER AND ARCHITECT RESERVE THE RIGHT TO REJECT THE USE OF A SUBCONTRACTOR.
- THE CONTRACTOR IS TO PROVIDE AND MAINTAIN TEMPORARY FENCING, BARRICADES, SIGNS, SAFETY LIGHTS, ETC. TO PROTECT THE WORK AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DOCUMENTATION OF THE CONSTRUCTION AT THE PROJECT SITE IN A PROFESSIONAL AND READABLE MANNER AND SUBMIT TO THE OWNER AT SUBSTANTIAL COMPLETION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITIES AND FACILITIES TO PERFORM THE WORK.
- THE CONTRACTOR SHALL COORDINATE ALL TRADES AND SEQUENCE OF CONSTRUCTION TO ENSURE CONTINUITY OF THE AIR BARRIER SYSTEM. COORDINATE WITH OWNER'S INDEPENDENT TESTING AGENCY FOR INSPECTION OF THE AIR BARRIER SYSTEM. CONTRACTOR TO REMEY ALL CONDITIONS OUT OF COMPLIANCE WITH AIR BARRIER SYSTEM. CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED.

## ARCHITECTURAL SPECIFICATIONS

### SITE WORK

- CONTRACTOR TO PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT EXISTING UTILITIES AND FACILITIES.
- CONTRACTOR TO PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY WORK AT NO COST TO OWNER. MATCH EXIST.
- CONTRACTOR TO REMOVE ANY AND ALL MISCELLANEOUS DEBRIS.
- CONCRETE PAVING TO HAVE BROOM FINISH. PROVIDE REINFORCING AS INDICATED.
- CONTRACTOR TO PROVIDE OWNER WITH WRITTEN INSTRUCTIONS FOR MAINTENANCE OF LANDSCAPE WORK.
- DOOR FRAME KIT TO BE 18" X 22" W/ 10" W X 8" H. METAL O.H. DOOR & ELEC. OPERATOR. GARAGE SIDING TO MATCH HOUSE.

### WOOD, PLASTIC, & COMPOSITES

- WOOD FRAMING MEMBERS NOT IN CONTACT WITH CONCRETE OR MASONRY TO BE SFR NO. 2 GRADE OR BETTER. UNLESS OTHERWISE SPECIFIED, ALL WOOD MEMBERS SHALL BE DRY KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 19%.
- ALL WOOD MEMBERS IN CONTACT WITH CONCRETE/MASONRY SHALL BE PRESSURE TREATED WITH AMERICAN WOOD PRESERVERS BUREAU LP-2 SOFTWOOD LUMBER AND PLYWOOD PRESSURE TREATED WITH WATERBORNE SALT PRESERVATIVES FOR USE ABOVE GROUND.
- INSULATED SHEATHING WITH INTEGRAL WEATHER RESISTIVE AND AIR BARRIER TO BE ZIP R SHEATHING BY HUBER ENGINEERED WOODS OR APPROVED EQUAL. PROVIDE MANUFACTURER'S RECOMMENDED SEAM AND FLASHING TAPE OR SEALANT.
- ROOF SHEATHING TO APA RATED PLYWOOD STRUCTURAL SHEATHING WITH EXPOSURE 1 CLASSIFICATION.

### THERMAL & MOISTURE

- ARCH. SHINGLES TO BE CERTAINTED LANDMARKPRO OR EQ. UNDERLAYMENT TO BE GRACE VYCOR ICE & WATER SHIELD AND ROOF RUNNERS SYNTHETIC UNDERLAYMENT OR EQ.
- 2x6 FR. PROVIDE IN THICKNESSES INDICATED. WHERE MULTIPLE LAYERS ARE USED STAGGER JOINTS. PROVIDE FOAM CONTROL 250 BY THERMAL FOAMS OR APPROVED EQUAL.
- INTERIOR AIR MEMBRANE TO BE SIGA MAJREX OR APPROVED EQUAL. PROVIDE ASSOCIATED TAPES, PRIMERS, AND SEALANTS REQUIRED FOR INSTALLATION PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- SILL GASKET TO BE CONSERVATION TECH. (EPDM BG65) BULB TYPE.
- PARGE COAT TO BE QUIKCREET FOAM COAT WITH FIBERGLASS RENF. MESH.

### OPENINGS

- DOOR TYPES SOLID CORE MASONITE OR THERMA-TRU INSUL.
- PROVIDE DOOR HARDWARE IN ACCORDANCE WITH BHMA A156. COORDINATE WITH OWNER ON KEYING.
- WINDOWS SHALL BE EQUAL TO PELLA LIFESTYLE METAL CLAD WOOD:
  - UNIT TYPE: SEE ELEVATIONS & SCHEDULE
  - EXTERIOR FINISH: WHITE OR BEIGE
  - GLASS: CLEAR
  - GLASS INFORMATION: I.G. LOW E2, WIAGRON, 95% UV BLOCKAGE
  - HARDWARE TYPE: PELLA STD. COLOR AS SELECTED BY THE ARCHITECT.

### FINISHES

- PROVIDE SEALANT AT INTERSECTION OF ALL DIVERSIAR MATERIALS. ALL ADHESIVES & SEALANTS THAT ARE INSIDE THE WEATHERPROOFING SYSTEM SHALL COMPLY WITH THE FOLLOWING VOC CONTENT LIMITS WHEN CALCULATED ACCORDING TO 40 CFR 59. SUBPART D (EPA METHOD 24):
  - METAL TO METAL ADHESIVES: 30 g/L
  - ADHESIVES FOR FIBROUS MATERIALS (EXCEPT WOOD): 50 g/L
  - SUBFLOOR ADHESIVES: 50 g/L
  - PLASTIC FLOOR ADHESIVES: 50 g/L
  - BOISER TILE ADHESIVES: 50 g/L
  - BOISER TILE ADHESIVES: 50 g/L
  - CERAMIC TILE ADHESIVES: 65 g/L
  - GYPSSUM BOARD AND PANEL ADHESIVES: 50 g/L
  - GYPSSUM BOARD AND PANEL ADHESIVES: 65 g/L
  - MULTI-PURPOSE CONSTRUCTION ADHESIVES: 70 g/L
  - FIBERGLASS ADHESIVES: 80 g/L
  - CONTACT ADHESIVE: 80 g/L
  - STRUCTURAL GLAZING ADHESIVES: 100 g/L
  - STRUCTURAL GLAZING ADHESIVES: 100 g/L
  - STRUCTURAL WOOD MEMBER ADHESIVE: 140 g/L
  - STRUCTURAL WOOD MEMBER ADHESIVE: 140 g/L
  - SINGLE PLY ROOF MEMBRANE ADHESIVE: 250 g/L
  - COVERED BOARD, METAL UNSUPPORTED VINYL RUBBER, OR WOOD VENEER 1/16 INCH OR LESS IN THICKNESS TO ANY SURFACE: 250 g/L
  - TOP AND TRIM ADHESIVE: 250 g/L
  - PLASTIC CEMENT WELDING COMPOUNDS: 250 g/L
  - PLASTIC WELDING COMPOUNDS: 250 g/L
  - CPVC WELDING COMPOUNDS: 450 g/L
  - PVC WELDING COMPOUNDS: 510 g/L
  - ADHESIVE PRIMER FOR PLASTIC: 550 g/L
  - SHEET-APPLIED RUBBER LINING ADHESIVE: 850 g/L
  - AEROSOL ADHESIVE, GENERAL PURPOSE MIST SPRAY: 65 PERCENT BY WEIGHT.
  - AEROSOL ADHESIVE, GENERAL PURPOSE WEB SPRAY: 55 PERCENT BY WEIGHT.
  - SPECIAL PURPOSE AEROSOL ADHESIVE (ALL TYPES): 70 PERCENT BY WEIGHT.
  - ARCHITECTURAL SEALANTS: 250 g/L
  - NONMEMBRANE ROOF SEALANTS: 300 g/L
  - SINGLE PLY ROOF MEMBRANE SEALANTS: 450 g/L
  - OTHER SEALANTS: 420 g/L
  - SEALANT PRIMERS FOR NONPOROUS SUBSTRATES: 250 g/L
  - SEALANT PRIMERS FOR POROUS SUBSTRATES: 775 g/L
  - MODIFIED BITUMINOUS SEALANT PRIMERS: 300 g/L
  - FLAT PAINTS & COATINGS THAT ARE INSIDE THE WEATHERPROOFING SYSTEM SHALL COMPLY WITH THE FOLLOWING VOC CONTENT LIMITS WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D (EPA METHOD 24):
    - FLAT PAINTS AND COATINGS: VOC NOT MORE THAN 50 g/L
    - NON-FLAT PAINTS AND COATINGS: VOC NOT MORE THAN 150 g/L
    - DRY-FOG COATINGS: VOC NOT MORE THAN 400 g/L
    - PRIMERS, SEALERS, AND UNDERCOATERS: VOC NOT MORE THAN 200 g/L
    - CORROSIVE AND ANTI-RUST PAINTS APPLIED TO FERROUS METALS: VOC NOT MORE THAN 250 g/L
    - ZINC-RICH INDUSTRIAL MAINTENANCE PRIMERS: VOC NOT MORE THAN 340 g/L
    - PRETREATMENT WASH PRIMERS: VOC NOT MORE THAN 420 g/L
    - CLEAR WOOD FINISHES, VARNISHES: VOC NOT MORE THAN 350 g/L
    - CLEAR WOOD FINISHES, LACQUERS: VOC NOT MORE THAN 530 g/L
    - FLOOR COATINGS: VOC NOT MORE THAN 100 g/L
    - SHELLAC: CLEAR: VOC NOT MORE THAN 200 g/L
    - STAINS: VOC NOT MORE THAN 250 g/L
    - STAINS: VOC NOT MORE THAN 330 g/L
- GYPSSUM BOARD TO COMPLY WITH ASTM C 1396/C 1396M. MOISTURE AND MOLD RESISTANCE GYPSUM BOARD TO HAVE A MOLD RESISTANCE SCORE OF 10 COMPLYING WITH ASTM D 3723. GYPSUM BOARD APPLICATION AND FINISHING TO COMPLY WITH STANDARDS SET FORTH BY ASTM C 840 AND GA 216.
- PAINT TYPE, FINISH, AND COLOR AS SELECTED BY ARCHITECT.
- APPLY PAINT IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS. APPLY ADDITIONAL COATS AS NECESSARY TO PRODUCE A UNIFORM FINISH, COLOR, AND APPEARANCE.

### SPECIALTIES

- PROVIDE ALUMINUM WINDOW BLINDS (TYPICAL)

## STRUCTURAL SPECIFICATIONS

### FOUNDATIONS

- EXPOSED SUBGRADE SOILS MAY BE SENSITIVE TO DISTURBANCE AND A REDUCTION IN STRENGTH WHEN IN CONTACT WITH MOISTURE. CONTROL SUBGRADES AND CIRCUMDRAINAGE BY APPROPRIATE MEANS AND AVOID CONSTRUCTION TRAFFIC OVER EXPOSED SUBGRADES.
- FOUNDATIONS SHALL BE PLACED CLEANED, LEVEL SOIL AT THE ELEVATIONS NOTED ON PLAN. IN NO CASES SHALL EXTERIOR CONSTRUCTION BEAR AT AN ELEVATION OF LESS THAN FOUR FEET BELOW EXTERIOR FINISHED GRADE.
- ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND. COMPACT FOOTING SUBGRADES TO A MINIMUM OF 95% OPTIMUM DENSITY AS MEASURED BY ASTM D1557. CONCRETE FOR FOOTINGS SHALL BE PLACED THE DAY BEFORE POURING. PROVIDE PROTECTION OR PROTECT SUBGRADE BY IMMEDIATELY PLACING A THREE INCH THICK LEAN CONCRETE PAD AT THE BOTTOM OF EXCAVATION.
- ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED BEFORE BACKFILLING. BACKFILL SHALL BE UNIFORMLY PLACED AND COMPACTED ON BOTH SIDES OF WALLS AT THE SAME TIME.
- SHOULD OBSTRUCTIONS OR OTHERWISE UNDESIRABLE SOILS CONDITIONS BE ENCOUNTERED, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

### SUBBASE

- THE SUBBASE FOR THE SLAB ON GRADE SHALL CONSIST OF AN EIGHT INCH THICK #2 CRUSHED STONE OR CRUSHER RUN STONE COMPLYING WITH NYSDOT ITEM 304.03 THOROUGHLY COMPACTED TO 95% OPTIMUM DENSITY (MODIFIED PROCTOR ASTM D-1557). PRIOR TO PLACEMENT, SUBGRADE SHALL BE THOROUGHLY PROOF-ROLLED USING A MINIMUM 20-TON VIBRATORY ROLLER.
- THE CONTRACTOR SHALL HAVE COMPACTION TESTS TAKEN TO ENSURE PROPER COMPACTION OF FILL.

### CONCRETE

- CONCRETE SHALL BE THE STANDARD DESIGN MIX OF ANY OF THE LOCAL READY-MIX SUPPLIERS APPROVED BY THE NY S.D.O.T. AND MEETING THE FOLLOWING MINIMUM REQUIREMENTS (DESIGN MIXES TO BE SUPPLIED TO THE ARCHITECT FOR APPROVAL):
  - 4000 PSI, 3' SLUMP, 6% ENTRAINED, 0.45 MAX W/C RATIO
- INTERIOR SLABS
  - 4.000 PSI, 3' SLUMP, ENTRAINED AIR, 0.45 MAX W/C RATIO
- THE CONTRACTOR SHALL TAKE FOUR (4) STANDARD CYLINDERS FOR EACH 50 CU.YD. OF CONCRETE POURED AND 28-DAY CYLINDERS. THE TESTING LABORATORY SHALL PERFORM THE STANDARD 7-DAY (TWO CYLINDER) AND 28-DAY (TWO CYLINDER) TESTS.
- PROTECTION FOR REINFORCING IN CONCRETE:
  - FOOTINGS = 3" COVER BOTTOM AND SIDES
  - WALLS AND GRADE BEAMS = 2" SIDES AND 3" BOTTOM PIERS = 2" SIDES
  - FLOOR SLABS = 1" TOP AND BOTTOM
  - ALL CONCRETE REINFORCEMENT SHALL BE DETAILED AND PLACED IN FULL ACCORDANCE WITH THE ACI CODE OF PRACTICE.
  - MINIMUM REINFORCEMENT LAYS = 36-DIA. FOR BARS AND 6" BEYOND FIRST INTACT CROSS WIRES FOR WELDED WIRE MESH.
  - WELDED WIRE MESH TO BE PLACED IN UPPER 1/3RD OF SLAB TYPICALLY.
  - BARS MARKED CONTINUOUS SHALL BE RUN CONTINUOUS THROUGH THE WALLS, AROUND CORNERS, LAPPED AT NECESSARY SPLICES AND HOOKED AT ENDS. REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
  - PROVIDE LIPS/RS CONTINUOUS TOP AND BOTTOM OF ALL CONCRETE WALLS AND GRADE BEAMS, UNLESS OTHERWISE SPECIFIED. LONG PLACED DIAGONALLY ACROSS EACH REINTEGRANT CORNER OF SLABS AND WALLS.
  - SUPPORT REINFORCING BARS IN ACCORDANCE WITH THE ACI CODE OF STANDARD PRACTICE. USE GALVANIZED OR STAINLESS STEEL EXCEPT WHERE BAR SUPPORTS ARE IN CONTACT WITH EXPOSED SURFACES, IN WHICH CASE THEY SHALL BE GALVANIZED AND PLASTIC TIPPED.

### PREFABRICATED ROOF TRUSS UNITS

- SUBMIT PRODUCT DATA FOR LUMBER, METAL CONNECTOR PLATES, HARDWARE, FABRICATION PROCESS, FASTENERS AND METAL FRAMING ANCHORS, SHOP DRAWINGS INDICATING SPECIES GROUP, SIZES AND STRESS GRADES OF LUMBER TO BE USED: PITCH, SPAN, CAMBER, CONFIGURATION AND SPACING FOR TRUSSES. PROVIDE ALL DESIGN INFORMATION INCLUDING DESIGN VALUES, AND LOCATION OF METAL CONNECTOR PLATES, BEARING ANCHORAGE DETAILS.
- THE DESIGN OF THESE PREFABRICATED BUILDING COMPONENTS, FOR THE FLOOR AND ROOF LOADS LOADING, SHALL BE THE RESPONSIBILITY OF THE FABRICATOR. INCLUDE DESIGN ANALYSIS INDICATING ALLOWABLE STRESSES OF MATERIALS USED, STRESS DIAGRAMS AND CALCULATIONS, AND OTHER INFORMATION NEEDED FOR REVIEW THAT HAVE BEEN SIGNED AND SEALED BY A QUALIFIED ENGINEER, LICENSED TO PRACTICE IN THE JURISDICTION WHERE THE PREFABRICATED WOOD UNITS WILL BE INSTALLED, RESPONSIBILITY FOR THEIR PREPARATION SHALL REST WITH THE FABRICATOR'S ENGINEER(S).

MINIMUM DESIGN LOADINGS	PREFABRICATED ROOF TRUSSES
TOP CHORDS	LL = 55 PSF, 10 PSF DL
BOTTOM CHORDS	DL = 5 PSF,
WIND LOAD	WL = 10 PSF UP/LIFT

ROOF CONSTRUCTION WHERE TRUSSES ARE BUILT OVER TRUSSES AS INDICATED ON THE PLANS SHALL BE DESIGNED WITH THE ADDITIONAL DEAD LOAD OF THE TRUSSES AND THE TOP CHORD SHALL BE DIRECTLY ON THE TRUSS BEARING JOINTS. THE TRUSS BEARING JOINTS SHALL BE DIRECTLY ON THE TRUSS BEARING JOINTS.

- PREFABRICATED TRUSSES INCLUDE PLANAR STRUCTURAL UNITS CONSISTING OF HIGH QUALITY CHORD AND WEB COMPONENTS METAL PLATE CONNECTED MEMBERS WHICH HAVE BEEN CUT AND ASSEMBLED PRIOR TO DELIVERY TO THE JOB SITE.
- COMPLY WITH APPLICABLE REQUIREMENTS OF NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, PUBLISHED BY NATIONAL FOREST ASSOCIATION (N.F.P.A.). COMPLY WITH PS 20 AND WITH APPLICABLE RULES OF THE RESPECTIVE GRADING/INSPECTION AGENCIES FOR SPECIES GRADE OF LUMBER AND TRUSS DESIGN. THE DESIGN OF THESE PREFABRICATED BUILDING COMPONENTS, FOR THE FLOOR AND ROOF LOADS LOADING, SHALL BE THE RESPONSIBILITY OF THE FABRICATOR. INCLUDE DESIGN ANALYSIS INDICATING ALLOWABLE STRESSES OF MATERIALS USED, STRESS DIAGRAMS AND CALCULATIONS, AND OTHER INFORMATION NEEDED FOR REVIEW THAT HAVE BEEN SIGNED AND SEALED BY A QUALIFIED ENGINEER, LICENSED TO PRACTICE IN THE JURISDICTION WHERE THE PREFABRICATED WOOD UNITS WILL BE INSTALLED, RESPONSIBILITY FOR THEIR PREPARATION SHALL REST WITH THE FABRICATOR'S ENGINEER(S).
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- ERECT AND BRACE UNITS TO COMPLY WITH APPLICABLE REQUIREMENTS OF REFERENCED TRF STANDARDS. WHERE UNITS DO NOT FIT, RETURN THEM TO THE FABRICATOR AND REPLACE WITH UNITS OF CORRECT SIZE. DO NOT ALTER UNITS IN FIELD. ERECT UNITS WITH PLANE OR TRUSS WEBS VERTICAL (PLUMB) AND PARALLEL TO EACH OTHER, LOCATED ACCURATELY AT DESIGN SPACINGS INDICATED. JOIST UNITS IN PLACE BY MEANS OF JOINTS BY OUT-OF-PLANE BENDING OR OTHER CAUSES. ANCHOR UNITS SECURELY AT ALL BEARING POINTS TO COMPLY WITH METHODS AND DETAILS INDICATED. INSTALL PERMANENT BRACING AND RELATED COMPONENTS TO ENABLE UNITS TO MAINTAIN DESIGN SPACING, WITH STAND LIVE AND DEAD LOADS INCLUDING LATERAL LOADS, AND COMPLY WITH OTHER INDICATED REQUIREMENTS. DO NOT CUT OR REMOVE TRUSS OR JOIST MEMBERS.
- MEMBERS MUST BE HELD STRAIGHT AND PLUMB AT THEIR DESIGN SPACING WHILE ALL BRACING IS APPLIED. LATERAL BRACING SHOULD BE INSTALLED AS SPECIFIED BY MANUFACTURER AT SUPPORT LOCATIONS. BRACING SHOULD BE INSTALLED AS SPECIFIED BY MANUFACTURER AT SUPPORT LOCATIONS. BRACING SHOULD NOT CUT OR REMOVE ANY PORTION OF MEMBERS' CHORDS OR WEBS. NAILING GUIDELINES FOLLOW.
- APA RECOMMENDATIONS FOR NAILING SHEATHING TO TOP CHORDS OF TRUSSES: 8D BOX, 4D COMMON OR 4D DEFORMED SHANK NAILS MAY BE USED TO NAIL PLYWOOD TO TOP CHORD. STAGGER NAILS TO PREVENT SPLITTING OF THE CHORD. SPACE NAILS 1-1/2" FROM END AND 4" TO 8" APART.
- NAIL UNITS TO BEARING WITH ONE 8D BOX NAIL THROUGH THE BOTTOM CHORD ON EACH SIDE OF THE WEB. PROVIDE MINIMUM OF 3" BEARING. CONCENTRATED LOADS IN EXCESS OF 30 POUNDS SHOULD NOT BE HUNG FROM BOTTOM CHORDS.

### GENERAL STRUCTURAL CRITERIA

- PRINCIPAL DESIGN LOADS:
  - A. SEI/ASCE 7-05
  - B. 2020 BUILDING CODE OF NYS
- DESIGN LOADS

FLOOR LIVE LOAD = 100 PSF LOBBY/CORRIDORS/PUBLIC
ROOF SNOW LOAD = DRIFT IN ACCORDANCE WITH ASCE7
Fg = 50 PSF
Ce = 55 PSF
Cd = 1.0
Is = 1.0
Ct = 1.0
WIND LOAD
BASING WIND SPEED = 115 MPH
EXPOSURE "B"
Iw = 1.00

## MECHANICAL SPECIFICATIONS SEE DWG MEP-101

## ELECTRICAL SPECIFICATIONS SEE DWG MEP-101



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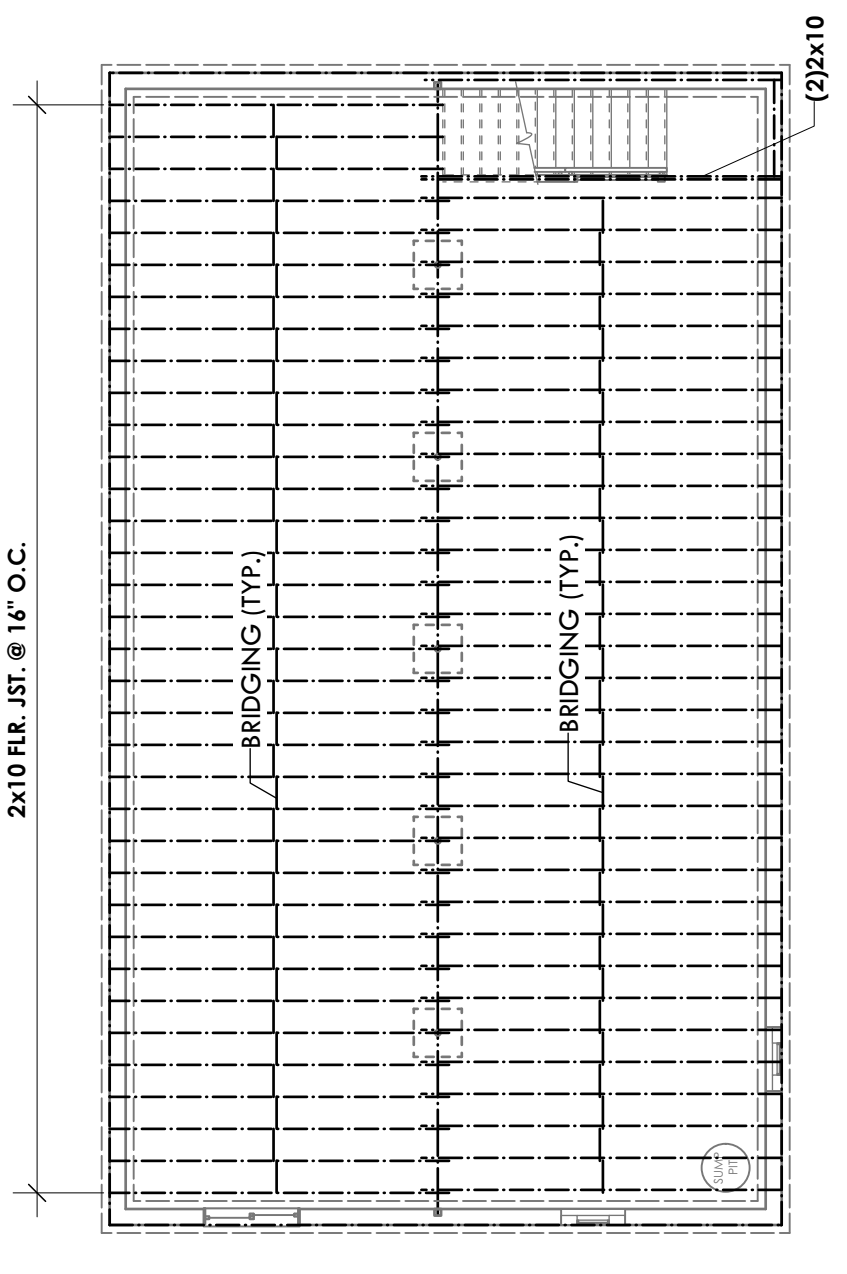
<b>CHEEKTOWAGA SINGLE FAMILY INFILL</b>
305B Hyland Avenue Cheektowaga, NY 14043
<b>NEW CONSTRUCTION</b>
Project # 2414
DRAWN BY: slh, gq
12-Nov-24
<b>GENERAL NOTES &amp; SPECIFICATIONS</b>
DWG. NO. <b>A-100</b>

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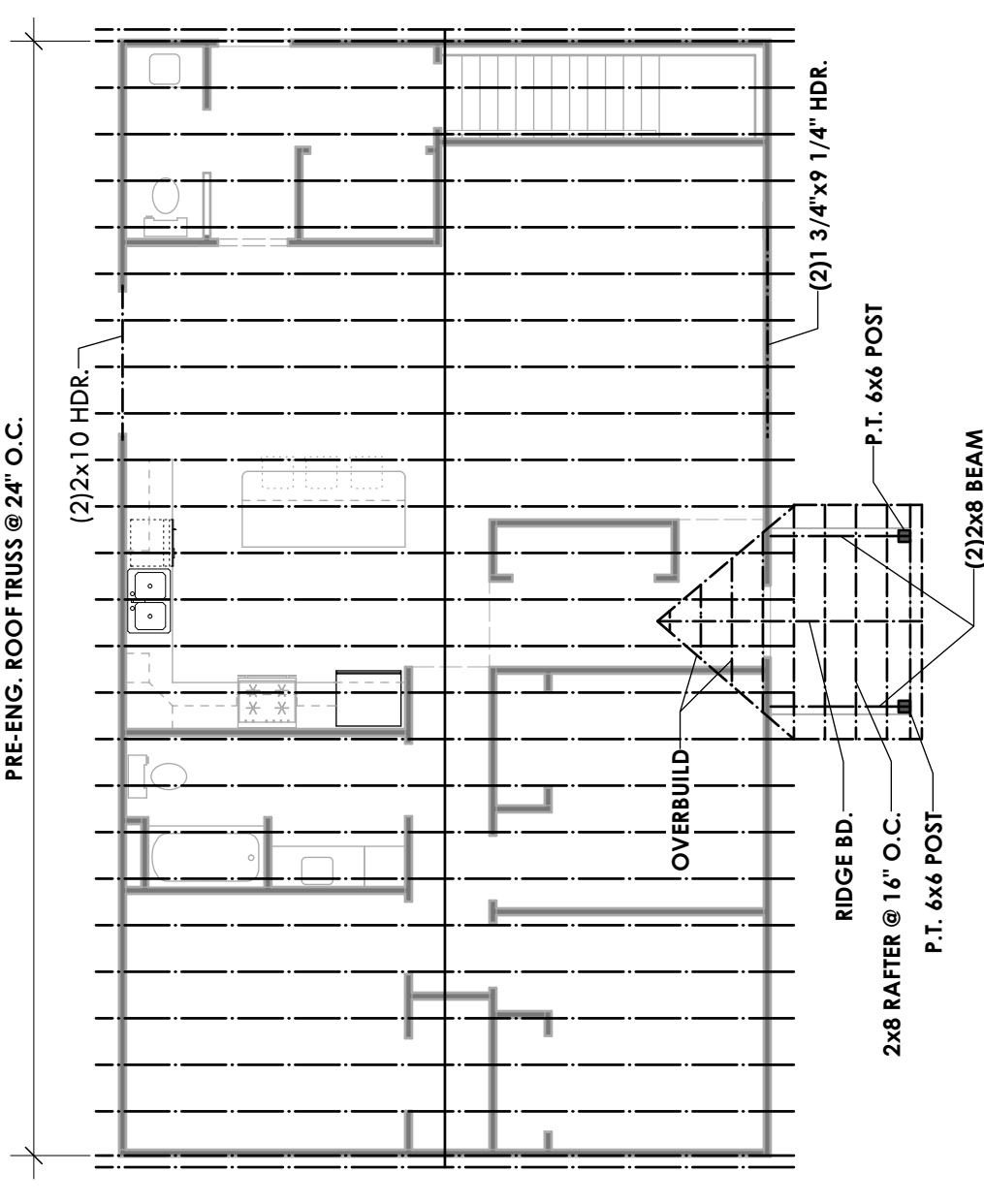
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 SUBDIVISION 2, IS ILLEGAL.

CONSTRUCTION DOCUMENTS

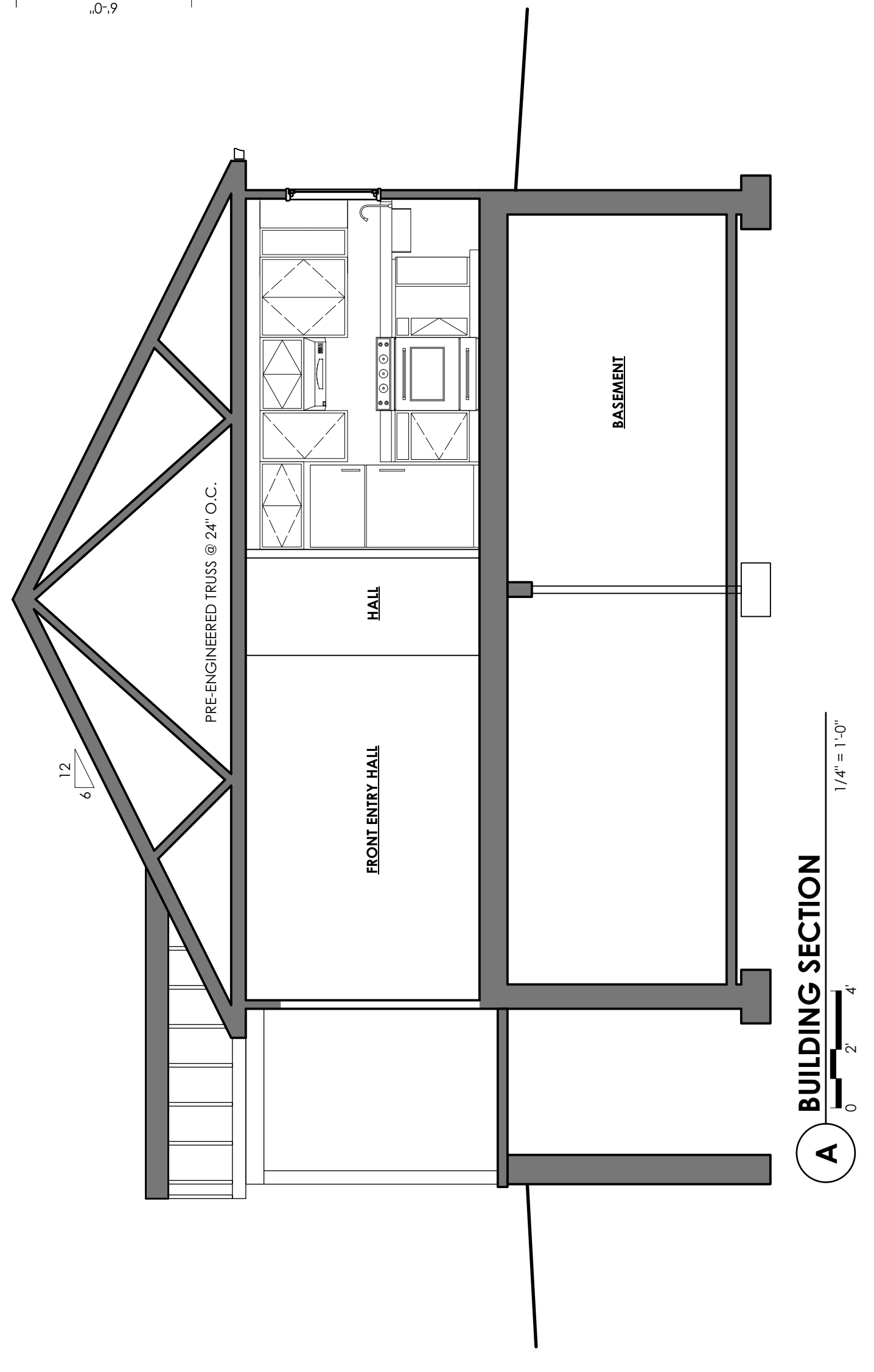
**BENLIC  
 CHEEKTOWAGA  
 INFILL**  
 3055 Highland Ave.  
 Cheektowaga, NY 14043  
**NEW CONSTRUCTION**  
 Project # 2414  
 DRAWN BY: slh  
 12-Nov-24  
**FOUNDATION PLAN &  
 FRAMING PLANS**  
 DWG. NO. **A-101**



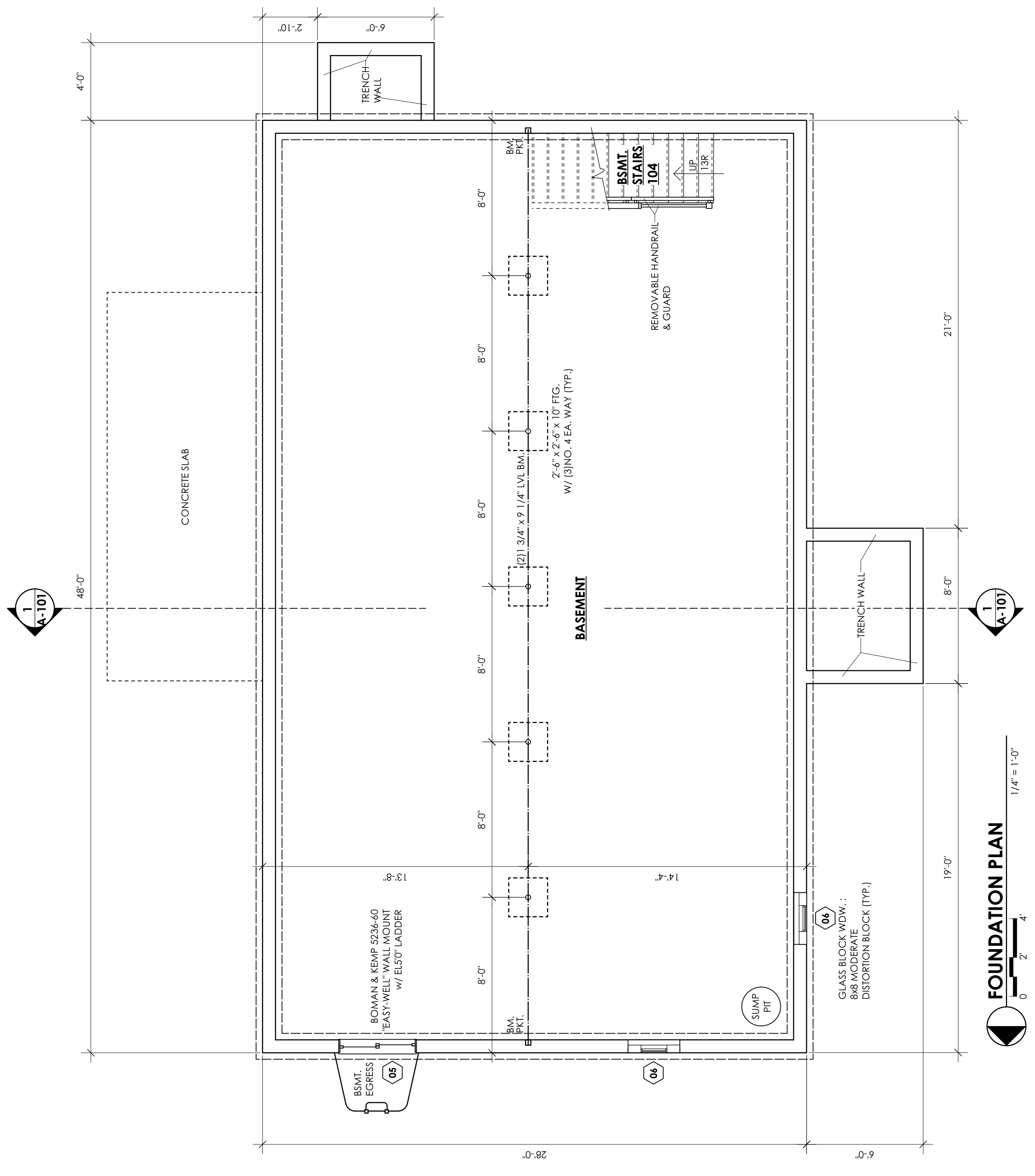
**FIRST FLOOR FRAMING PLAN**  
 1/8" = 1'-0"  
 0 4 8



**ROOF FRAMING PLAN**  
 1/8" = 1'-0"  
 0 4 8



**A BUILDING SECTION**  
 1/4" = 1'-0"  
 0 2 4



**FOUNDATION PLAN**  
 1/4" = 1'-0"  
 0 2 4

**ROOM FINISH SCHEDULE**

RM. #	ROOM TITLE	FLOOR		BASE		WALL		CEILING		REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
101	SIDE ENTRY/HALL	CER. TILE	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
102	1/2 BATH	CER. TILE	-	CER. TILE	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
103	LAUNDRY	CER. TILE	-	CER. TILE	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
104	BASEMENT STAIRS	WOOD	PAINT	-	-	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
105	DINING	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
106	KITCHEN	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
107	LIVING RM	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
108	CLOSET	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
109	FRONT ENTRY/HALL	CER. TILE	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
110	HALL	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
111	BATH RM.	CER. TILE	-	CER. TILE	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
112	BEDROOM 1	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
113	WALK-IN CLO.	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
114	CLOSET	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
115	BEDROOM 2	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
116	BEDROOM 3	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
117	CLOSET	WD. COMP.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"

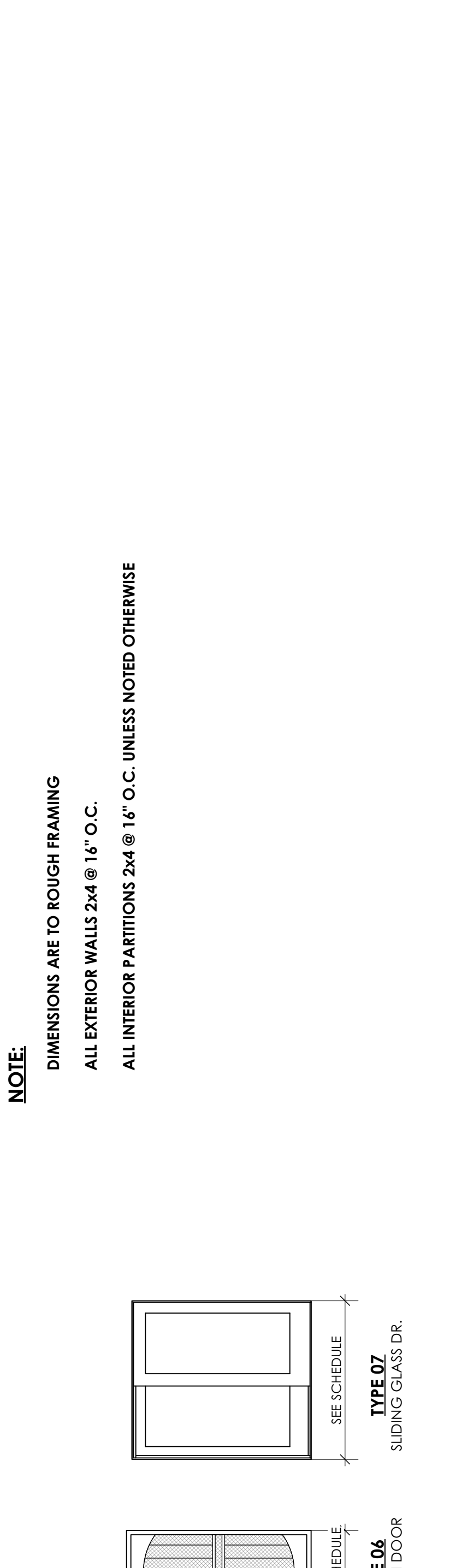
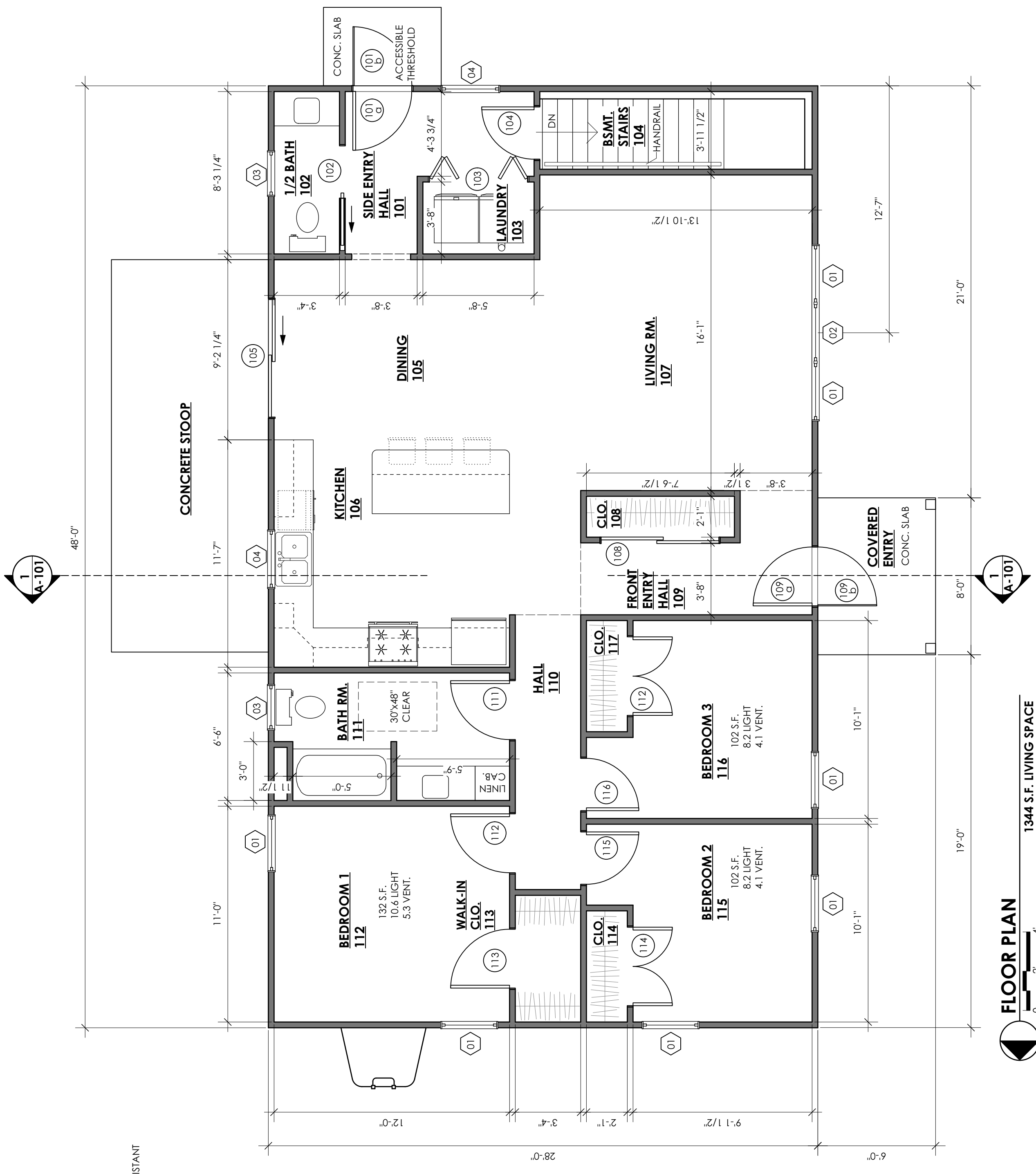
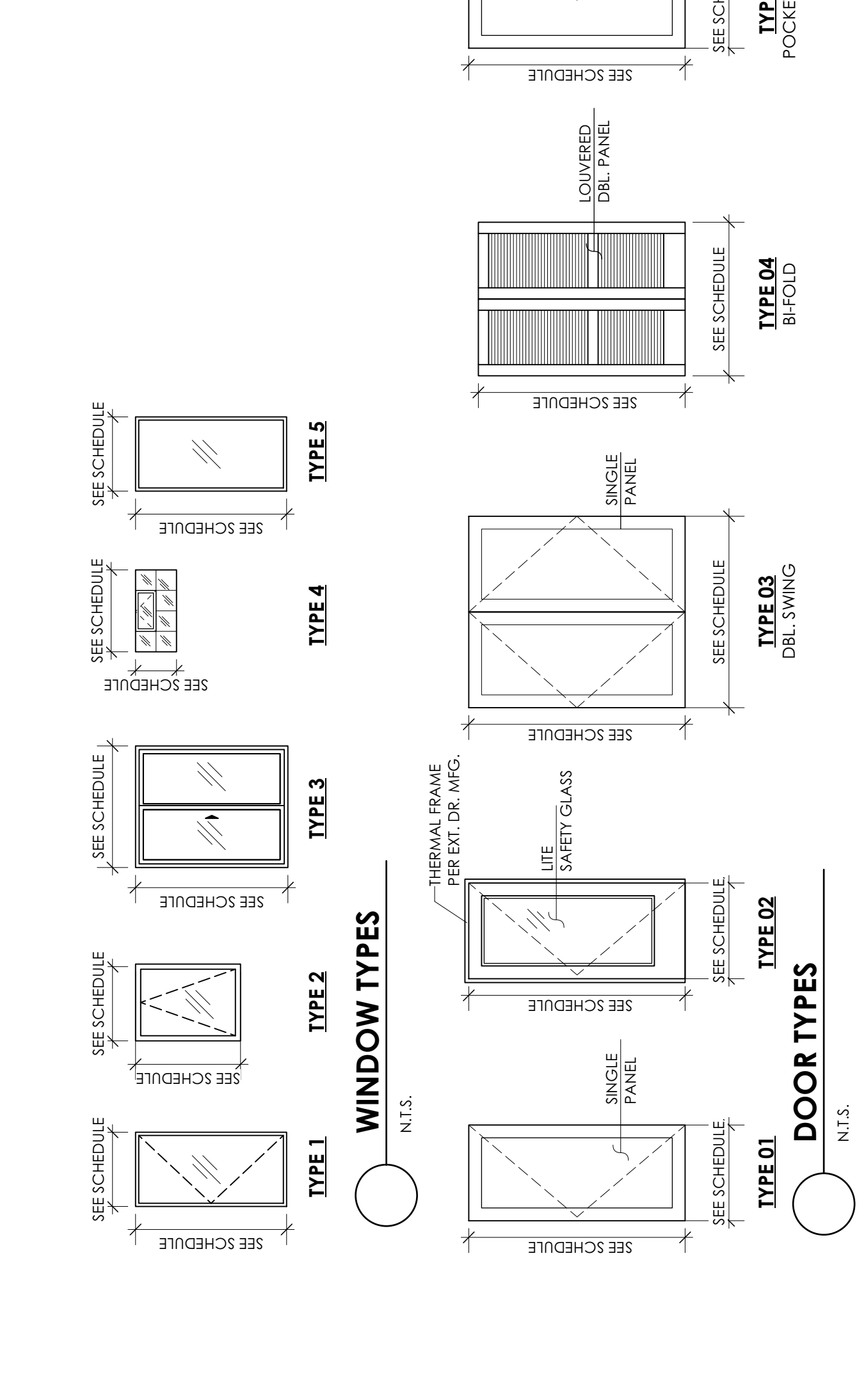
**KEY**  
 BD.: BOARD  
 CER.: CERAMIC  
 COMP.: COMPOSITE  
 ENG.: ENGINEERED  
 FLR.: FLOOR  
 GYP.: GYPSUM  
 L.V.P.: LUXURY VINYL PLANK  
 M.M.R.: MOLD & MOISTURE RESISTANT  
 MFR.: MANUFACTURER  
 PT.: PAINT  
 TR.: TRIM  
 VAR.: VARNISH  
 WD.: WOOD

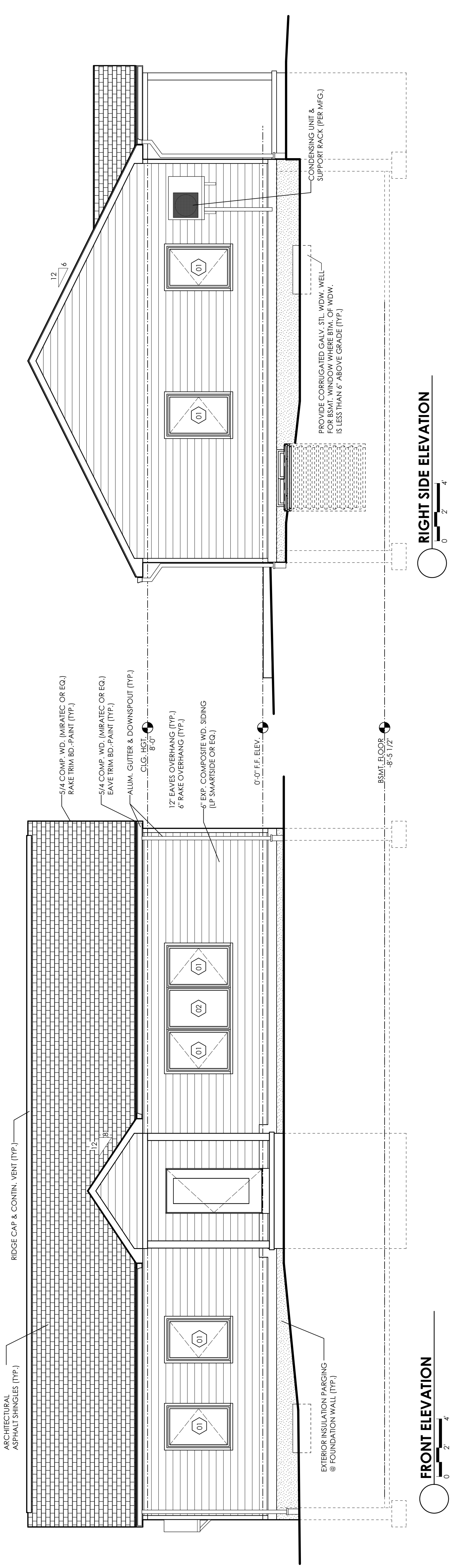
**DOOR SCHEDULE**

DOOR #	ROOM TITLE	DOOR		GLASS		FRAME		HARDWARE SET		REMARKS
		MATERIAL	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	MATERIAL	FINISH	
101a	SIDE ENTRY HALL	FIBERGLASS	02	36"	80"	FG.	PAINT	Y	MFR.	WEATHERSTRIPPING
101b	SIDE ENTRY HALL	SCREEN & STL.	06	36"	80"	PWDR-CT.	STL.	-	MFR.	
102	1/2 BATH	WD. COMP.	05	30"	80"	WD.	PAINT	-	MFR.	POCKET DOOR
103	LAUNDRY	WD. COMP.	04	60"	80"	WD.	PAINT	-	MFR.	DBL. BIFOLD LOUVERED FOR VENTILATION
104	BASEMENT STAIRS	WD. COMP.	01	80"	80"	WD.	PAINT	-	MFR.	
105	DINING ROOM	WD. CLAD	07	72"	80"	WD. CLAD	-	Y	MFR.	ALUMINUM CLAD WOOD SLIDING GLASS DOOR
108	CLOSET	WD. COMP.	03	72"	80"	WD.	PAINT	-	MFR.	BY-PASS
109a	FRONT ENTRY HALL	FIBERGLASS	02	36"	80"	FG.	PAINT	Y	MFR.	ACCESSIBLE THRESHOLD, WEATHERSTRIPPING
109b	FRONT ENTRY HALL	SCREEN & STL.	06	36"	80"	PWDR-CT.	STL.	-	MFR.	
111	BATH RM.	WD. COMP.	01	36"	80"	WD.	PAINT	-	MFR.	
112	BEDROOM 1	WD. COMP.	01	36"	80"	WD.	PAINT	-	MFR.	UNDERCUT
113	WALK-IN CLOSET	WD. COMP.	01	36"	80"	WD.	PAINT	-	MFR.	DOUBLE SWING
114	CLOSET	WD. COMP.	03	48"	80"	WD.	PAINT	-	MFR.	UNDERCUT
115	BEDROOM 2	WD. COMP.	01	32"	80"	WD.	PAINT	-	MFR.	UNDERCUT
116	BEDROOM 3	WD. COMP.	01	32"	80"	WD.	PAINT	-	MFR.	UNDERCUT
117	CLOSET	WD. COMP.	03	48"	80"	WD.	PAINT	-	MFR.	DOUBLE SWING

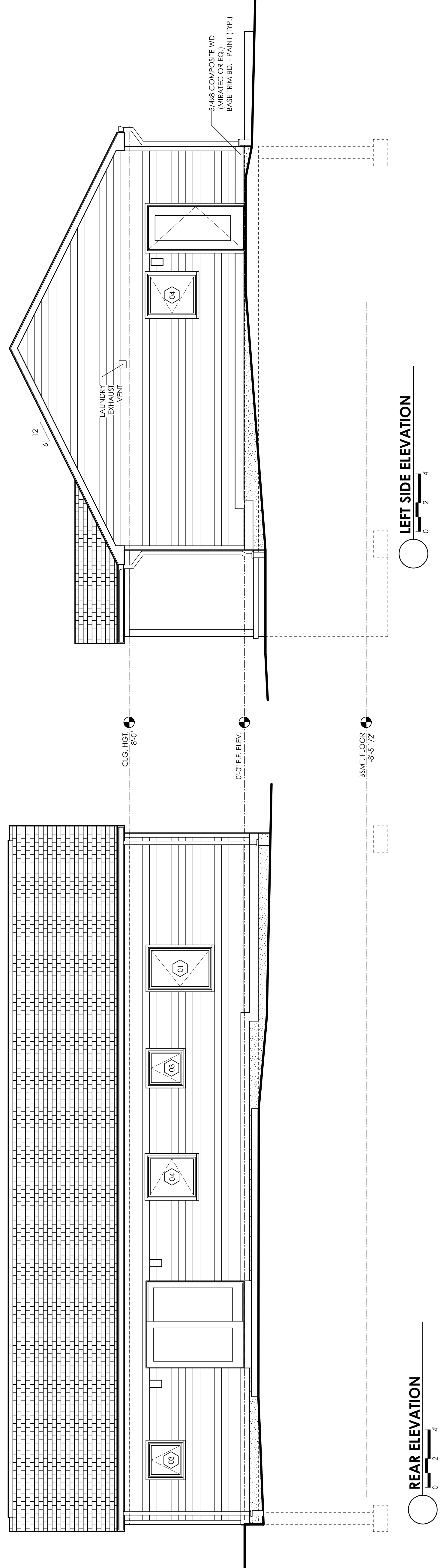
**WINDOW SCHEDULE**

NO.	CALL NO.	TYPE	WINDOW FRAME SIZE		U-FACTOR	SHGC	EGRESS OPNG. S.F.	DAYLIGHT S.F.	OPERABLE	VENT AREA S.F.	MATERIAL	REMARKS
			WIDTH	HEIGHT								
01	3553	1	2'-11"	4'-5"	0.29	0.27	8.6	10.0	YES	9.3	ALUM CLAD WD. CASEMENT	PELLA LIFESTYLE SERIES OR EQ. UN.O.
02	3553	1	2'-11"	4'-5"	0.29	0.27	8.6	7.9	NO	-----	ALUM CLAD WD. FIXED CASEMENT	
03	2929	2	2'-5"	2'-5"	0.29	0.27	-----	4.0	YES	3.7	ALUM CLAD WD. AWNING	
04	3541	1	2'-11"	3'-5"	0.29	0.27	-----	7.5	YES	7.0	ALUM CLAD WD. CASEMENT	
05	470-5/0	3	3'-11"	4'-11"	0.28	0.27	7.84	14.6	YES	7.8	FIBERGLASS	PELLA IMPERVIA ADVANCED COMFORT LOW-E
06	VENT GLS. BLK.	4	2'-7"	1'-5 1/2"	0.51	0.51	-----	3.0	YES	0.8	8'X8' GLASS BLOCK W/8" X 1.6" HOPPER WDW.	

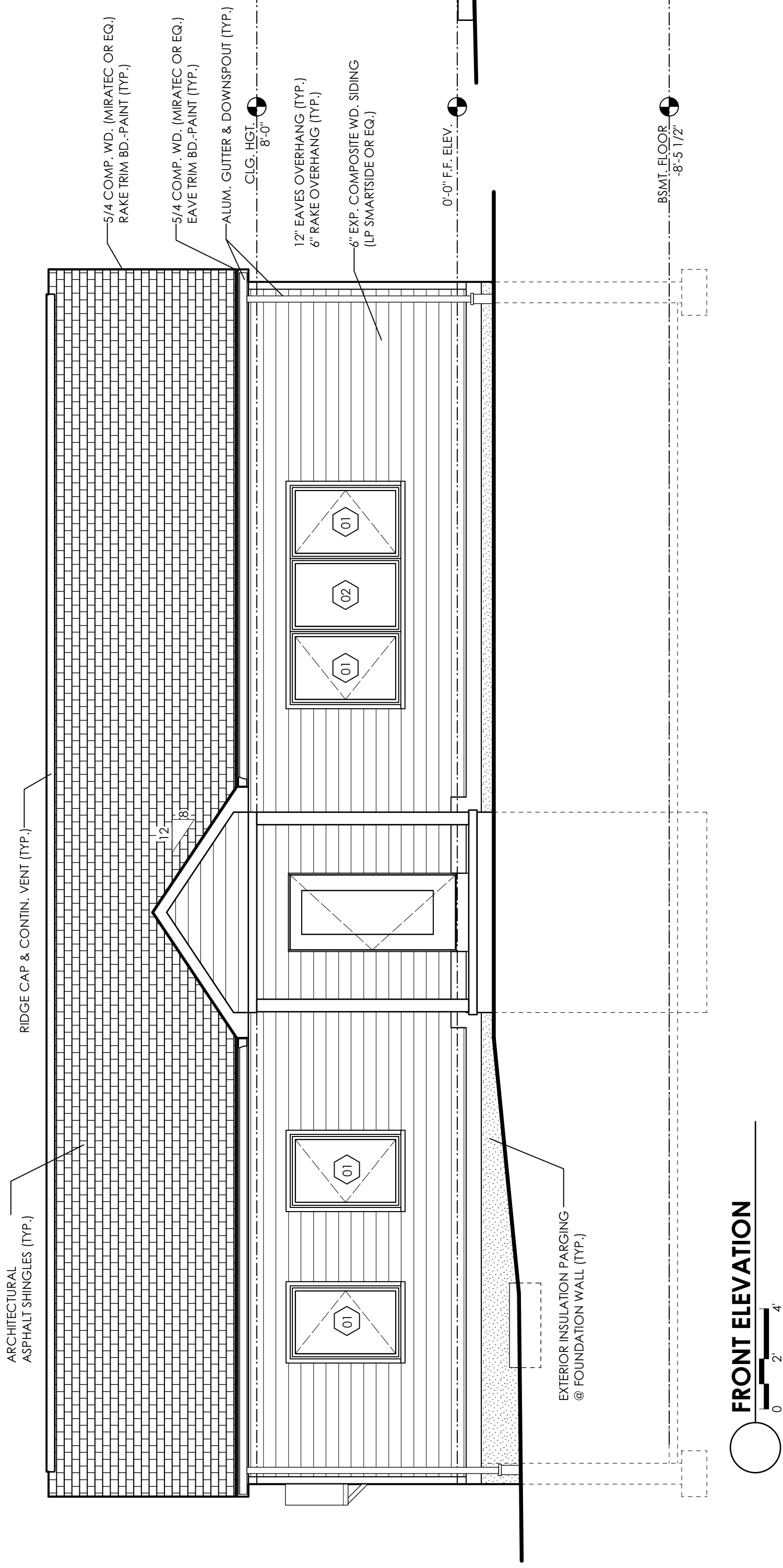




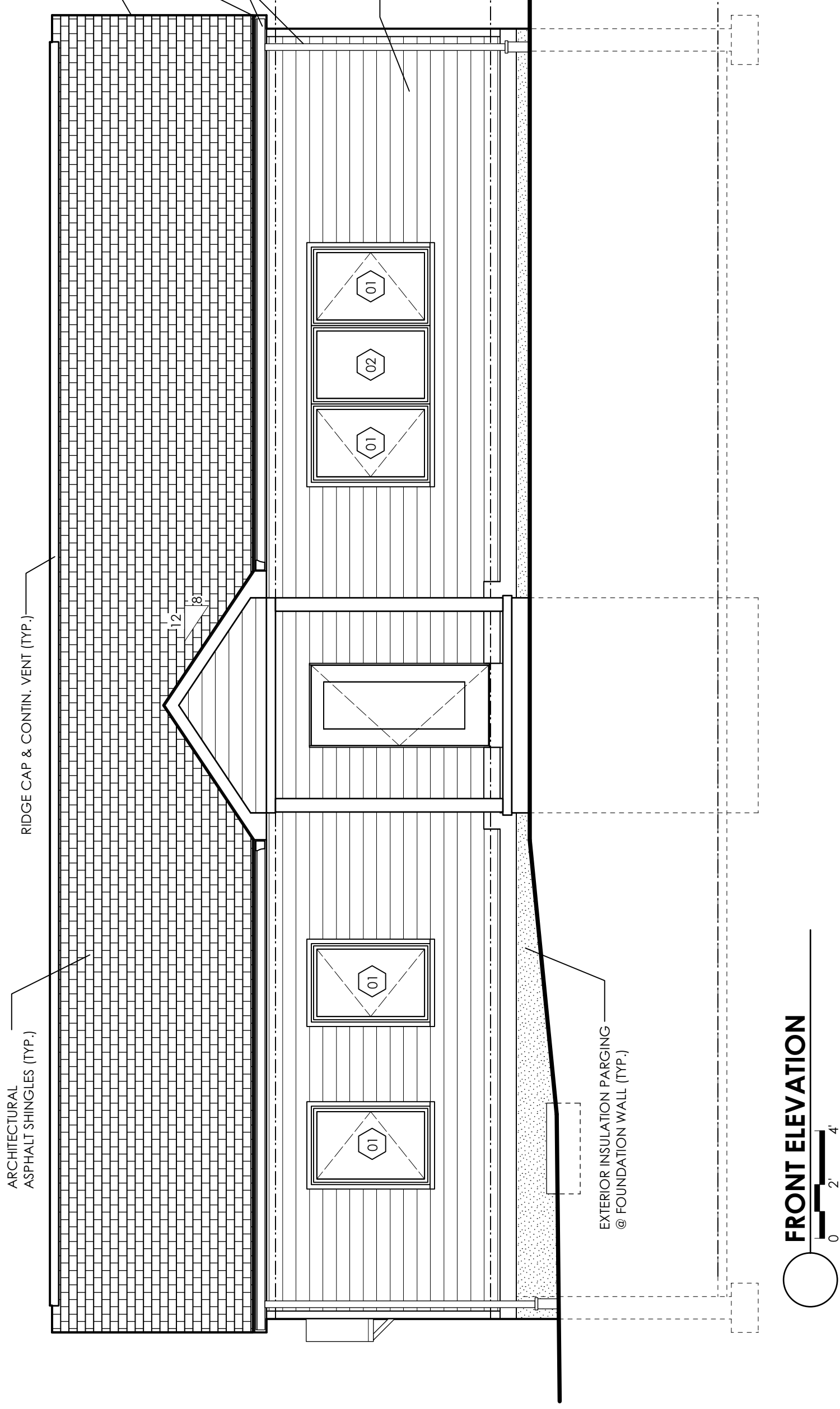
**FRONT ELEVATION**



**RIGHT SIDE ELEVATION**

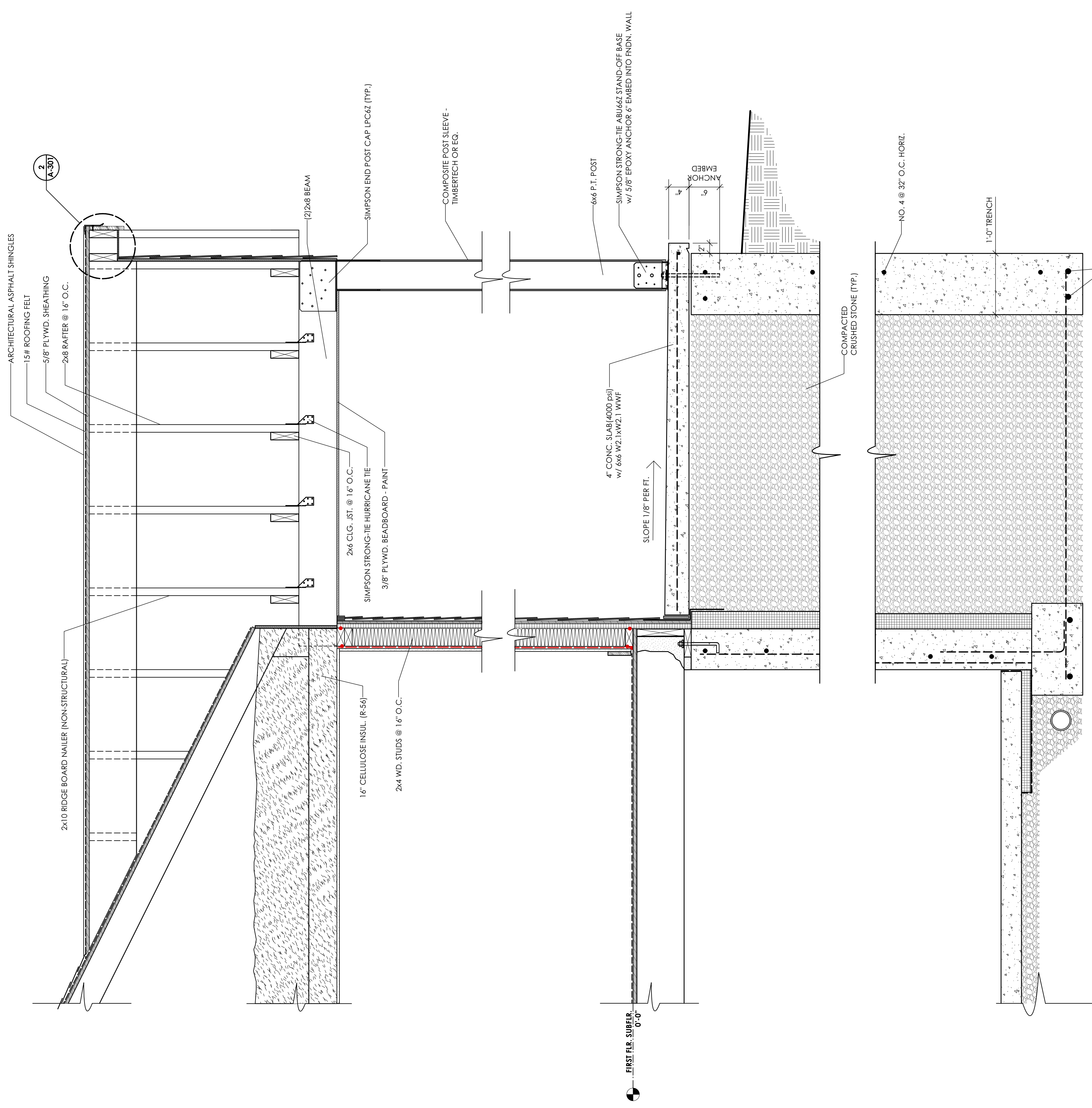


**LEFT SIDE ELEVATION**

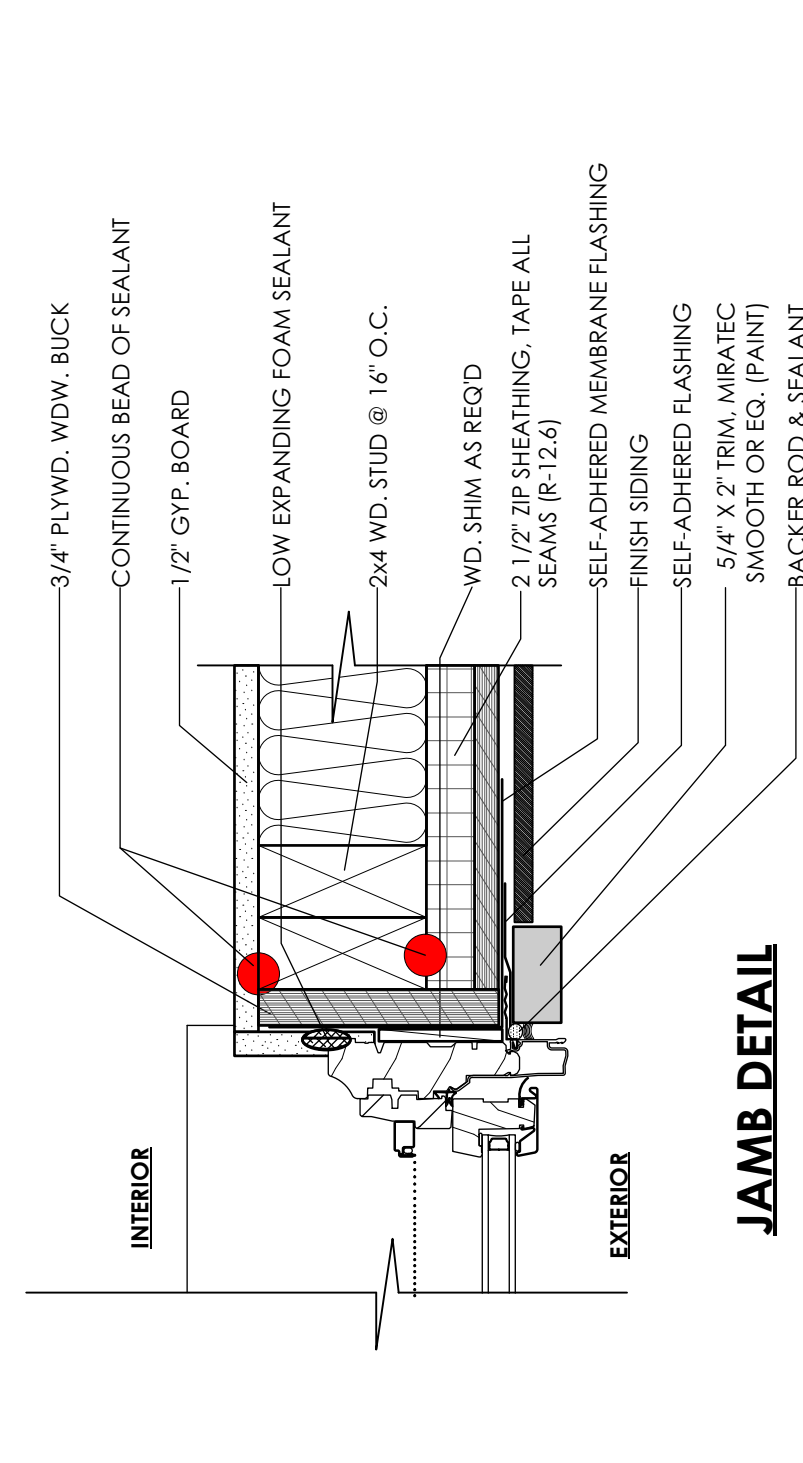
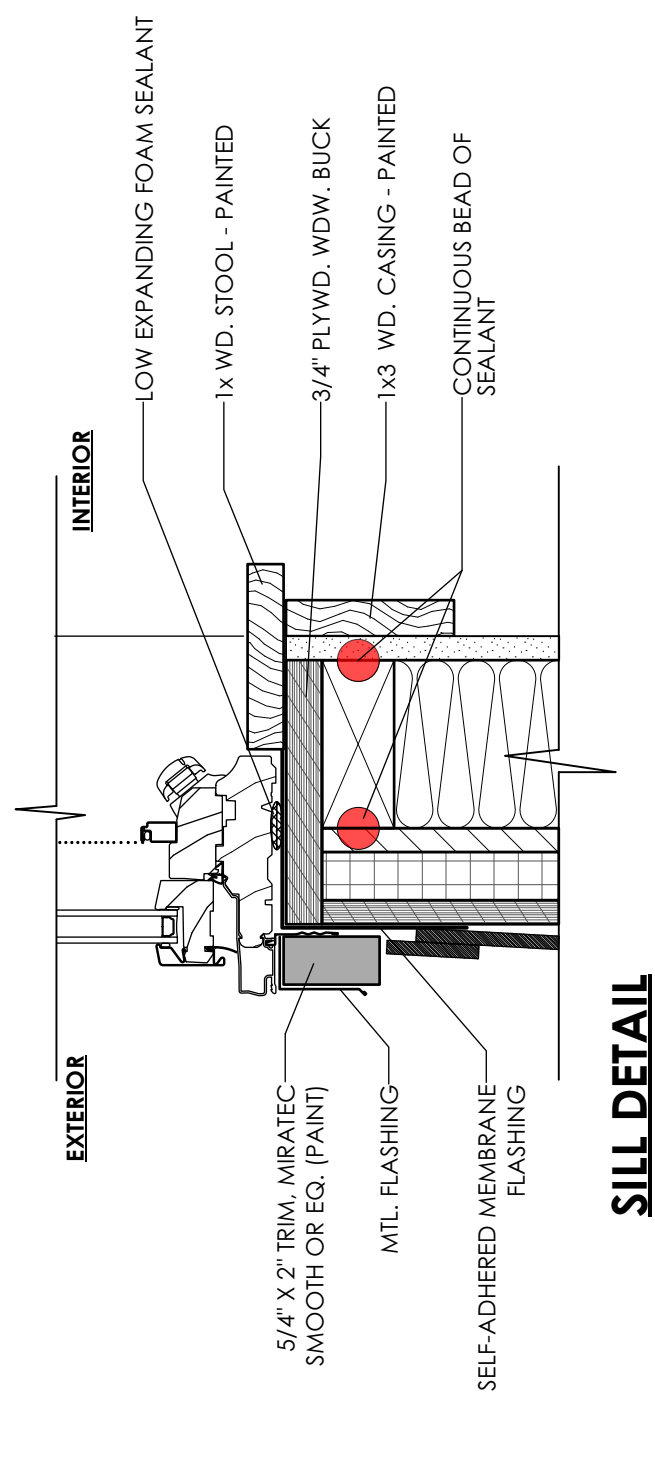
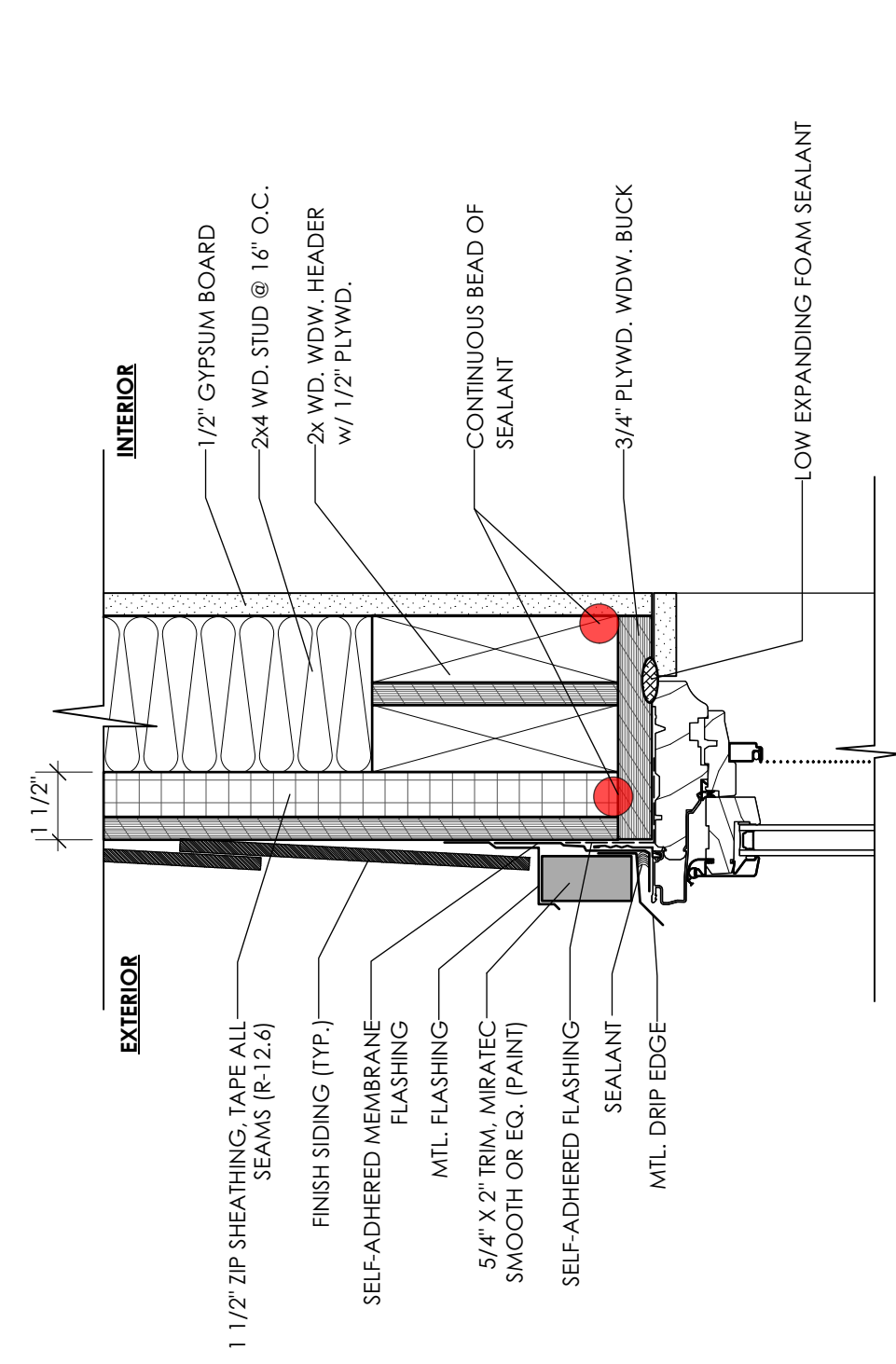


**REAR ELEVATION**



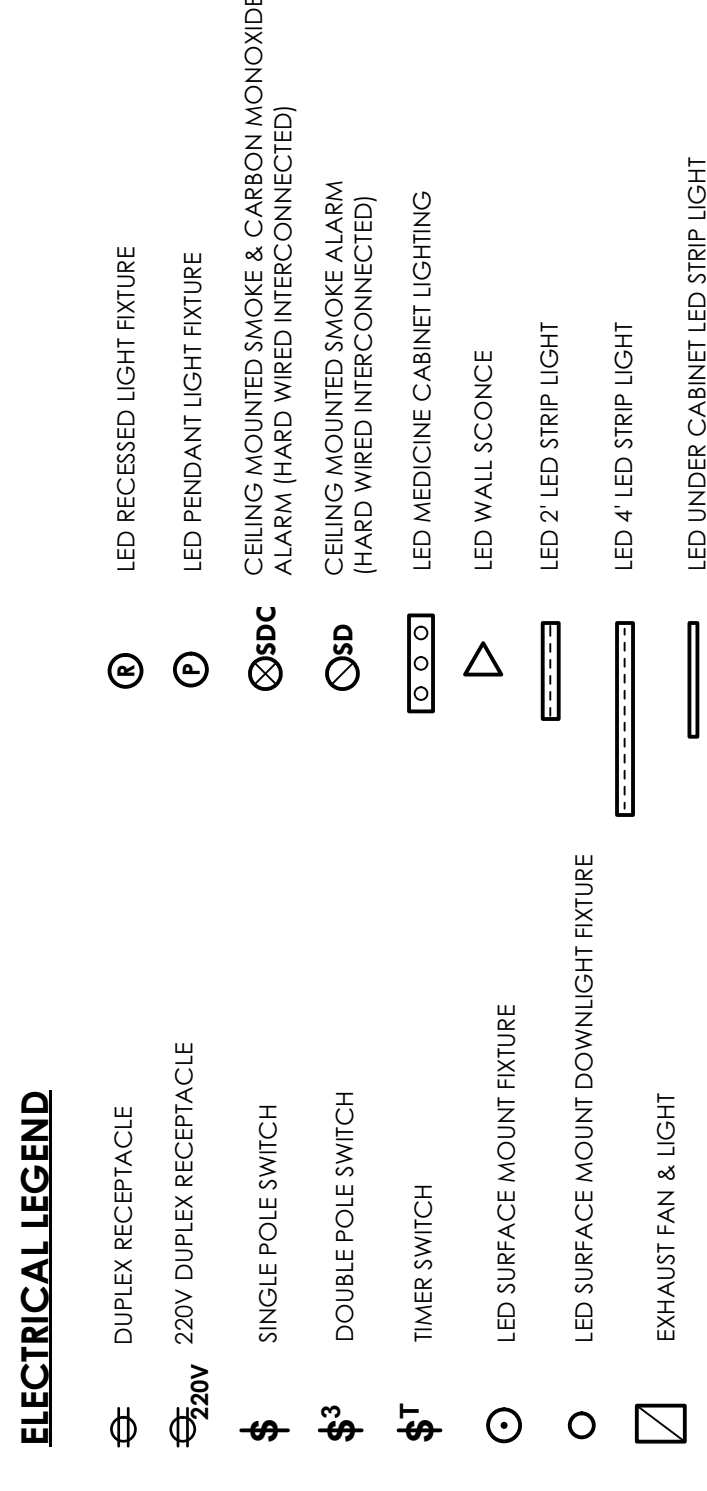
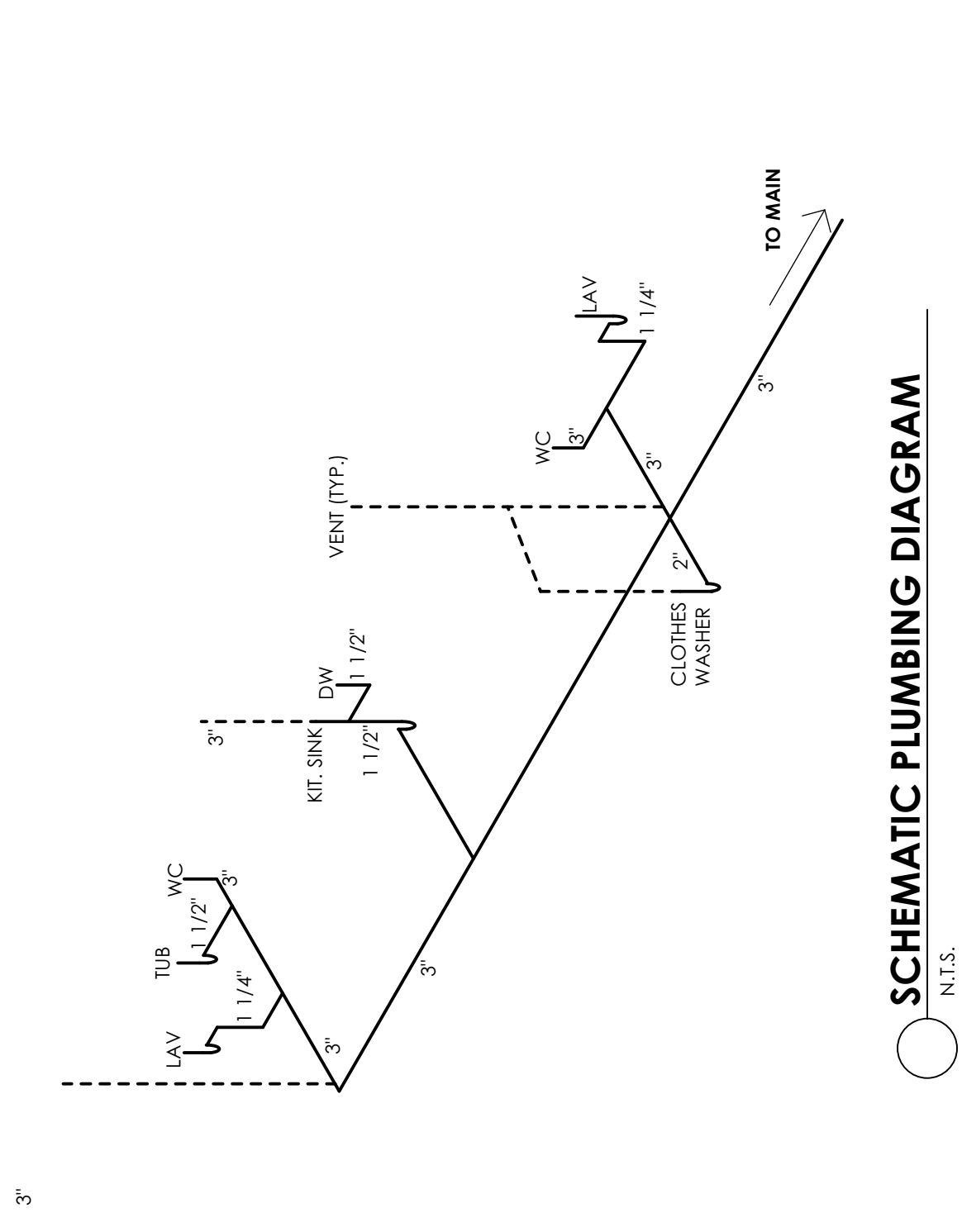


**1 TYPICAL PORCH SECTION**  
 1" = 1'-0"



**WINDOW DETAILS**  
 0 3"





**MECHANICAL SPECIFICATIONS**

ALL MECHANICAL SYSTEMS SHALL BE IN ACCORDANCE WITH LOCAL CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED CONTRACTOR SHALL PERFORM ALL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BEING RESPONSIBLE FOR SCHEDULING ALL NECESSARY MECHANICAL SYSTEM INSPECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY MECHANICAL SYSTEM INSPECTIONS.

- DUCTED ASHP UNIT TO G.E. H.P. 8KW HEATER W/ 45A BREAKER, MODEL # UA7EH 08A OR EQ.

**ELECTRICAL SPECIFICATIONS**

ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH LOCAL CODES, NEC, NFPA, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED ELECTRICIAN SHALL PERFORM ALL WORK. THE ELECTRICIAN SHALL APPLY FOR ALL NECESSARY ELECTRICAL PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMITS). THE ELECTRICIAN SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY ELECTRICAL INSPECTIONS.

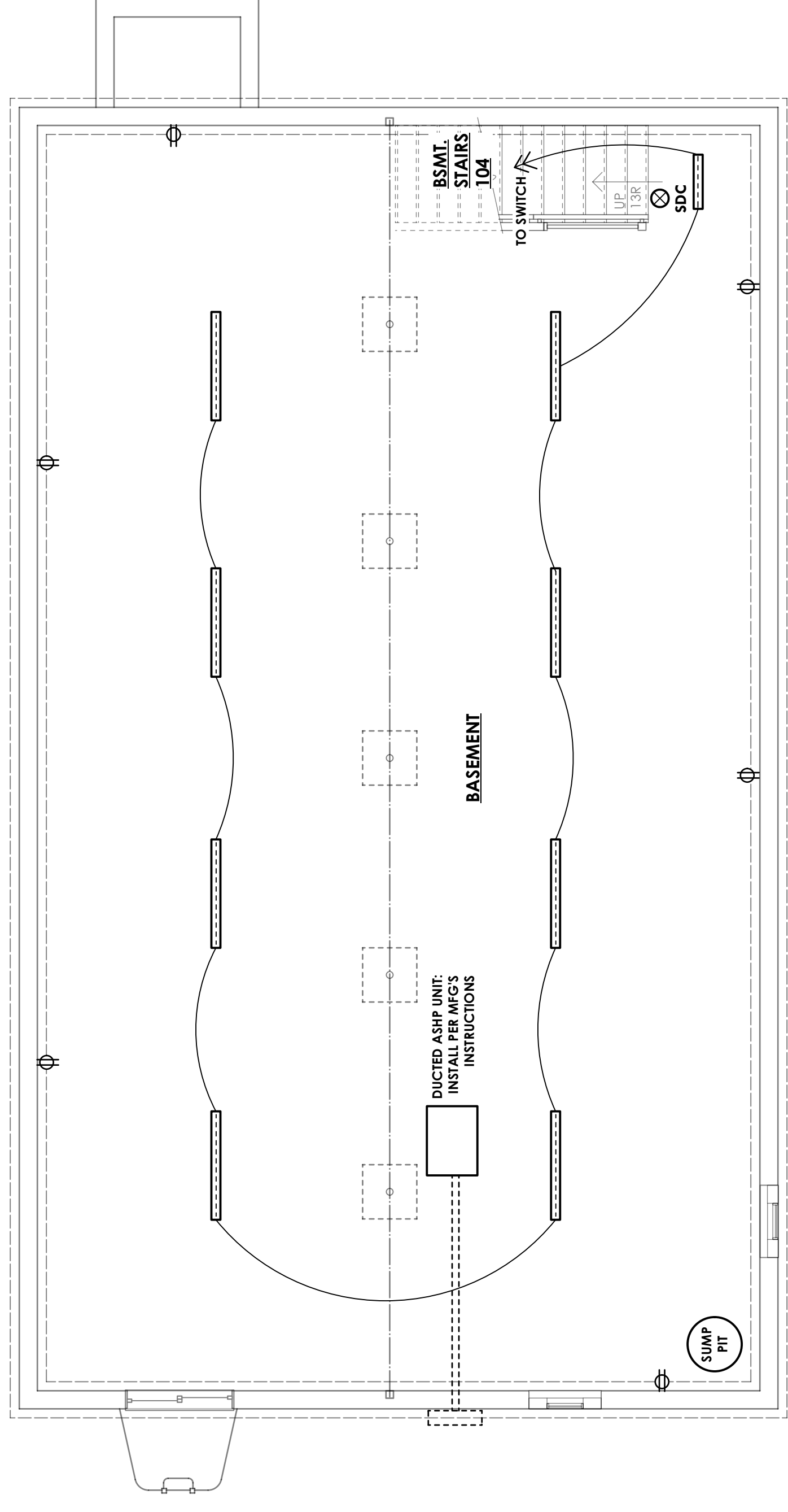
- ALL EXPOSED WIRING TO BE SHELD BY METAL CONDUIT AS APPROVED BY TOWN OF CHEEKTOWAGA.
- FIXTURES AS SELECTED BY OWNER.
- PROVIDE ADDITIONAL DOCUMENTATION OF ELECTRICAL SCOPE AND EQUIPMENT AS REQUIRED BY TOWN.
- RECEPTACLES SHALL BE PROVIDED WITH GFCI AS REQUIRED BY NFPA, 70 AS INDICATED.
- PROVIDE LED LAMPS PER FIXTURE MANUFACTURER REQUIREMENTS.

**PLUMBING SPECIFICATIONS**

ALL PLUMBING SHALL BE IN ACCORDANCE WITH LOCAL CODES, AND 2020 RESIDENTIAL CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED PLUMBER SHALL PERFORM ALL WORK. THE PLUMBER SHALL APPLY FOR ALL NECESSARY PLUMBING PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMITS). THE PLUMBER SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY PLUMBING INSPECTIONS.

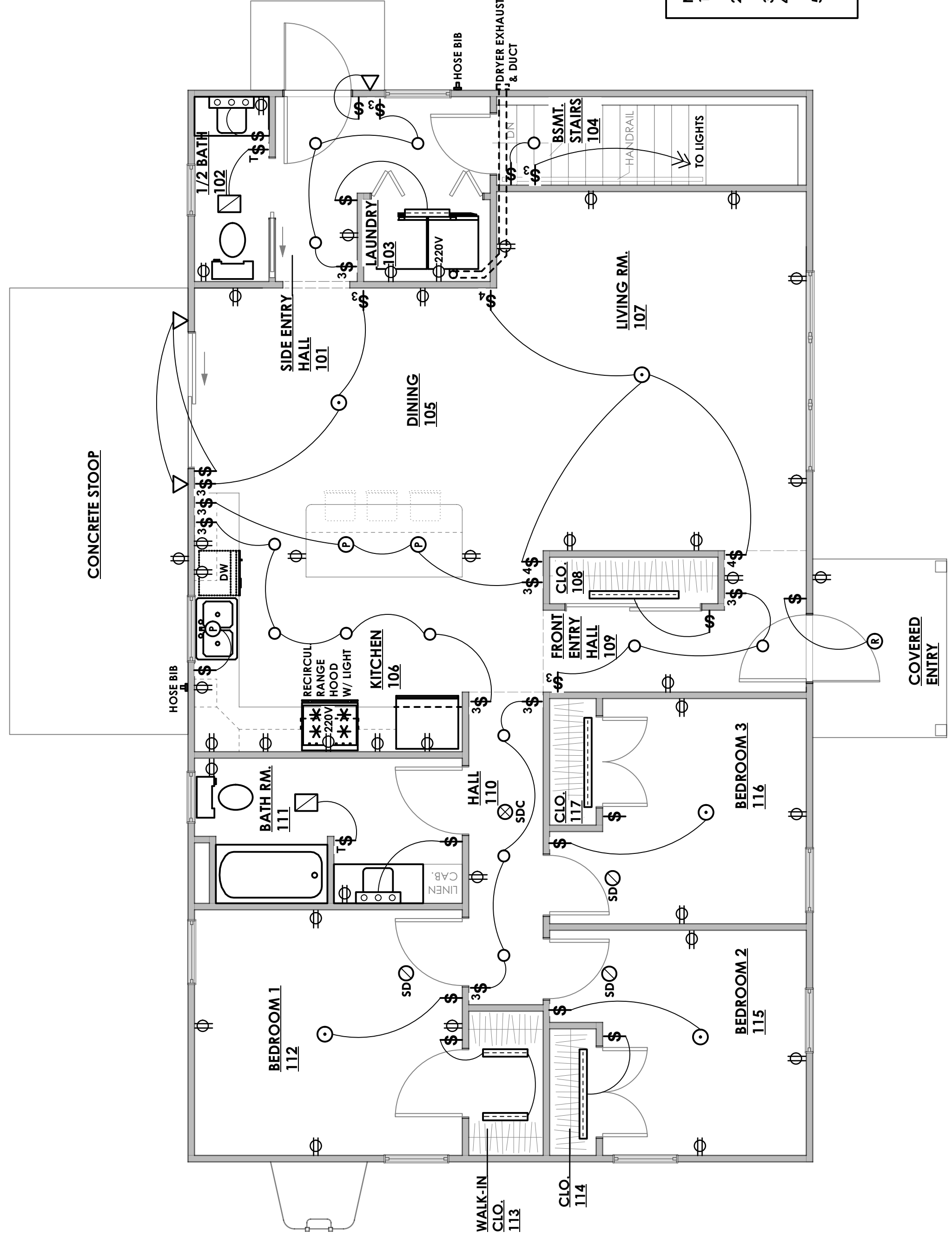
**NOTES:**

- ALL RECEPTACLES IN KITCHEN, BATH ROOMS & BASEMENT TO BE GFCI
- PROVIDE SEPARATE CIRCUIT FOR EACH KITCHEN APPLIANCE
- LIGHT FIXTURES AS SELECTED BY OWNER
- ALL OUTDOOR RECEPTACLES TO BE GFCI & WATERPROOF
- ALL RECESSED LIGHTS IN INSULATED SPACES SHALL HAVE INSULATED COVERS



**BASEMENT SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN**

0 2 4



**MAIN FLOOR SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN**

0 2 4

# CHEEKTOWAGA SINGLE FAMILY INFILL

## 257 CHAPEL AVENUE CHEEKTOWAGA, NEW YORK 14225



<b>CHEEKTOWAGA SINGLE FAMILY INFILL</b>
257 Chapel Avenue Cheektowaga, NY 14225 <b>NEW CONSTRUCTION</b>
Project # 2414
DRAWN BY: slh, gq
12-Nov-24
<b>TITLE SHEET &amp; SITE PLAN</b>
DWG. NO. <b>T-100</b>

**GENERAL NOTES:**

- COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS. MAINTAIN INSURANCE AS REQUIRED BY NEW YORK STATE AND TOWN OF CHEEKTOWAGA.
- OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
- REVIEW AND VERIFY ALL EXISTING CONDITIONS AND THE SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- NO SUBSTITUTIONS WITHOUT AUTHORIZATION OF OWNER AND ARCHITECT.
- PROVIDE EGRESS AND EMERGENCY EXIT OR ENCLOSURE TO ALL ROOMS.
- PROVIDE EGRESS AND EMERGENCY EXIT OR ENCLOSURE TO ALL ROOMS.
- COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS USED IN CONSTRUCTION WORK.

**SURVEY INFORMATION BY:**

KHEOPS ARCHITECTURE, ENGINEERING & SURVEY, DPC  
 392 PEARL STREET, BUFFALO, NEW YORK 14202  
 SURVEY DATE: 02/22/2024  
 JOB NO.: 24NY16.02  
 PART OF THE HOLLAND LAND COMPANY  
 LOT 10, TOWNSHIP 11 RANGE  
 TOWN OF CHEEKTOWAGA, COUNTY OF ERIE,  
 STATE OF NEW YORK

**RESIDENTIAL (R)**

**LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:**  
 THE FOLLOWING ARE MINIMUM LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:

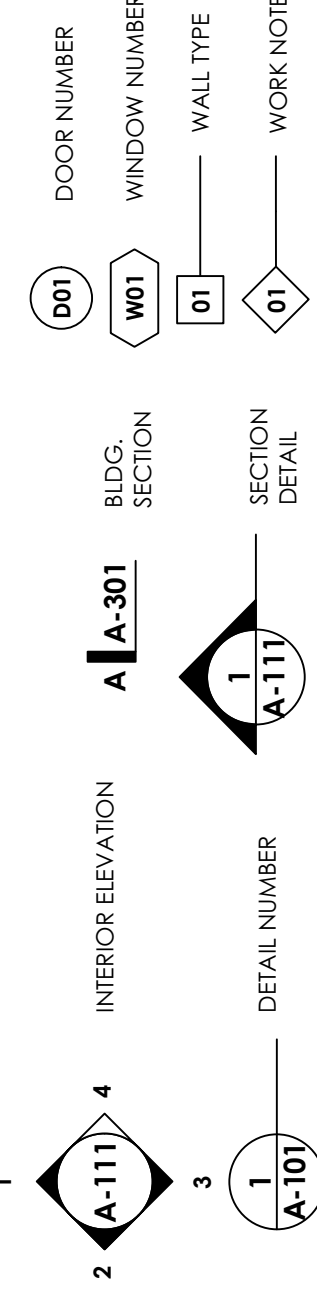
- MINIMUM AREA OF LOT IN SQUARE FEET:**  
 10,200 SF (CORNER LOT) \*  
 ACTUAL: 6,275 SF
- MINIMUM LOT WIDTH IN FEET:**  
 CORNER LOT: 85 \*  
 ACTUAL: 50
- MAXIMUM BUILDING HEIGHT IN FEET:**  
 SINGLE OR TWO-FAMILY DWELLINGS: 30'  
 ACCESSORY BUILDINGS: ONE STORY < 12'  
 ACTUAL: 15'-0"
- MINIMUM FRONT YARD IN FEET:**  
 25  
 ACTUAL: 13'-6"
- MINIMUM SIDE YARD IN FEET:**  
 0.5% EA. SIDE & 25% LOT WIDTH TOTAL; NOT MORE THAN 25' NECESSARY  
 ACTUAL: 5' WEST SIDE, 19'-0" EAST SIDE
- MINIMUM REAR YARD IN FEET:**  
 GREATER OF 25% OF LOT DEPTH (30'-9") & 25' MIN.  
 ACTUAL: 63'-0"
- MINIMUM LIVEABLE GROUND FLOOR AREA IN SQUARE FEET:**  
 900 SF  
 ACTUAL: 1,118 SF

\* NOTE: SEE SPECIAL PERMIT DATED 21 AUGUST 2024 (APPROVED)

**ABBREVIATION INDEX**

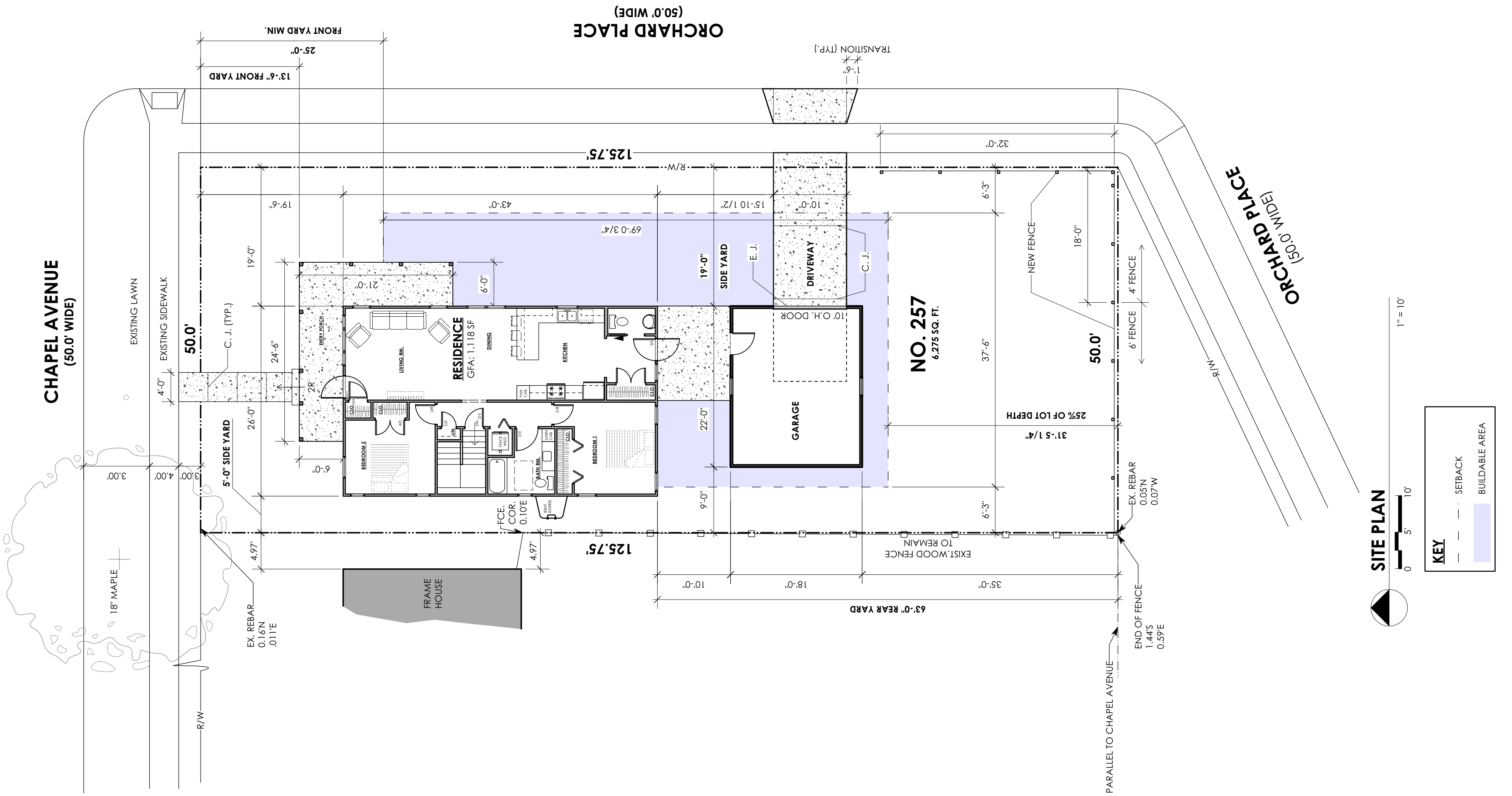
A.F.F	ABOVE FINISHED FLOOR	GALV.	GALVANIZED	REIN.	REINFORCED
ALT.	ALTERNATE	GYP.	GYPSUM	REPAIR	REPAIR
ALUM.	ALUMINUM	H.	HEIGHT	RESILIENT	ROOM
A/V	AUDIO / VISUAL	HGT.	HEIGHT	ROOM	REMOVE
BD.	BOARD	H.H.	HEIGHT OF INSTRUMENT	RUB.	RUBBER
BLK.	BLOCK	H.M.	HOLLOW METAL	SAN.	SANITARY
BLKG.	BLOCKING	H.P.	HIGH POINT	SCH.	SCHEDULE
BOT.	BOTTOM	HR.	HOUR	S.C.	STAIN
BKG.	BEARING	INS.	INSULATION	S.S.	STAINLESS STEEL
C.I.	CONTROL JOINT	L.	LINEN CLOSET	STL.	STEEL
C.L.	CENTER LINE	LOC.	LOCATED/LOCATIONS	SHT.	SHEET
CLO.	CLOSET	MAS.	MASONRY	THK.	THICK
CLR.	CLEAR	MAX.	MAXIMUM	TR.	TRIM
CMU	CONCRETE MASONRY UNIT	MEAS.	MEASURED	TYP.	TYPICAL
C.M.T.	CERAMIC MOSAIC TILE	MEZ.	MEZZANINE	T&B	TOP & BOTTOM
COL.	COLUMN	M.H.	MAN HOLE	T&G	TONGUE & GROOVE
CONC.	CONCRETE	MIN.	MINIMUM	ULM.	UNDERLAYMENT
CONT.	CONTINUOUS	MNFR.	MANUFACTURER	U.N.O.	UNLESS NOTED OTHERWISE
COR.	CORNER	MTL.	METAL	V.N.	VARNISH
C.T.	CERAMIC TILE	NOM.	NOMINAL	V.N.T.	VARIABLE
D.	DEPTH	N.T.S.	NOT TO SCALE	V.V.	VINYL COMPOSITE TILE
DBL	DOUBLE	O.C.	ON CENTER	V.C.T.	VINYL COMPOSITE TILE
DEL	DELUGES FIR LARCH	O.E.	OVERHEAD ELECTRIC	VERT.	VERTICAL
DIA.	DIAMETER	O.H.	OVER HEAD	V.I.F.	VERIFY IN FIELD
DN.	DOWN	OPNG.	OPENING	W.	WIDTH
DWG.	DRAWING	PERF.	PERFORATED	WD.	WOOD
EPDM.	ETHYLENE PROPYLENE DIENE MONOMER	PERIM.	PERIMETER	WWF.	WELDED WIRE FABRIC
EQ.	EQUAL	PL.	PLYWOOD	W.	WOOD
EX.	EXISTING	P.L.	PROPERTY LINE	W.D.	WINDOW
EKG.	EXISTING	P.P.	PREPARE	WWF.	WELDED WIRE FABRIC
ENG.	ENGINEERING	PREP.	PREPARE		
EQUIP.	EQUIPMENT	PROJ.	PROTECTION		
F.D.	FLOOR DRAIN	P.T.	PRESSURE TREATED		
F.F.	FINISHED FLOOR	Q.T.	QUARRY TILE		
F.I.	FINISH				
FIN.	FINISH				
FIR.	FLOOR				
FNDN.	FOUNDATION				
FTG.	FOOTING				

**SYMBOLS INDEX**



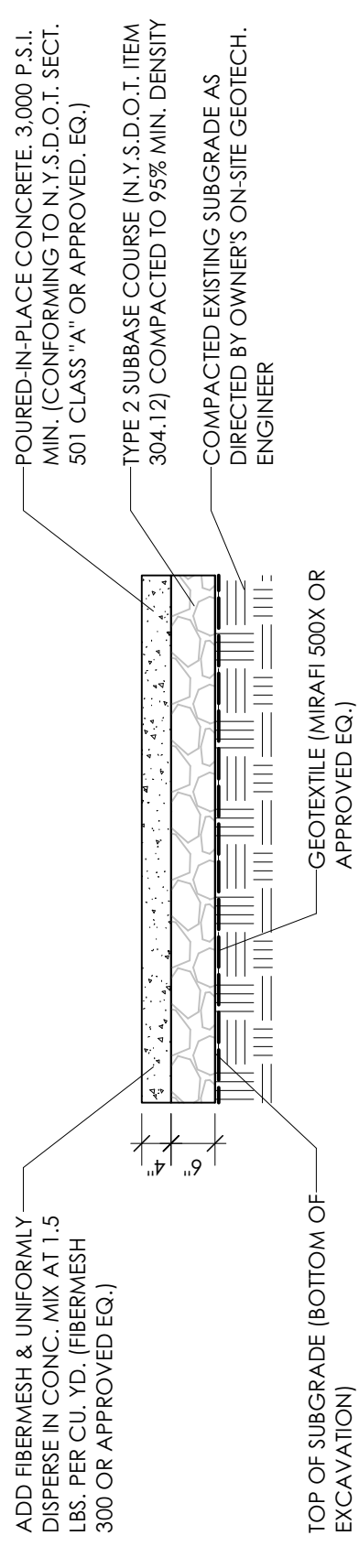
**DRAWING LIST:**

T-100	TITLE SHEET & SITE PLAN
C-101	SITE DETAILS
A-100	GENERAL NOTES & ARCHITECTURAL SPECIFICATIONS
A-101	FOUNDATION PLAN
A-201	FLOOR PLAN & SCHEDULES
A-301	ELEVATIONS
A-302	WALL SECTION & DETAILS
A-302	PORCH DETAILS
MEP-101	BASEMENT PLAN, FLOOR PLAN & PLUMBING DIAGRAM



**KEY**

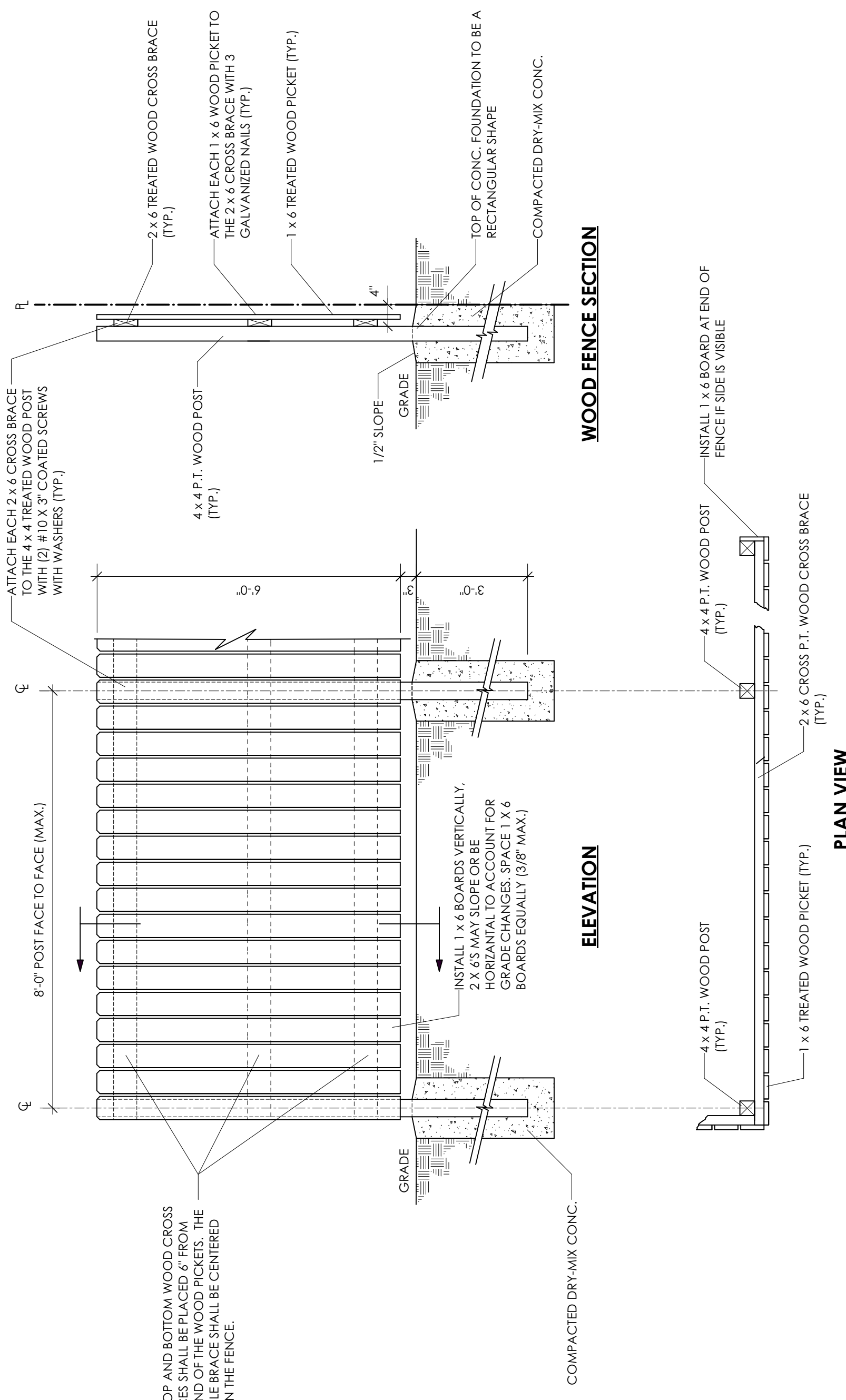
---	SETBACK
■	BUILDABLE AREA



**1 CONCRETE PAVING SECTION**  
 1/2" = 1'-0"

**NOTES:**

- ALL CONCRETE FOR SIDEWALKS SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 501. CONSTRUCTION SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 608.3.
- ALL CONCRETE DRIVEWAY AREAS SHALL BE SCORED 10' ON CENTER (OR AS NOTED ON SHEET T-100) WITH TOOLED CONTROL JOINTS 1' INCH DEEP, WHILE CONCRETE IS GREEN.
- EXPANSION JOINTS IN CONCRETE AREAS SHALL BE NO MORE THAN 05' ON CENTER AND IT INTERFACES BETWEEN DRIVEWAYS, SIDEWALK SLABS, AND FOUNDATIONS. ALL SIDEWALK EDGES SHALL BE TOOLED WITH 1/2" RADIUS WITHIN 24 HOURS OF POURING CONCRETE. INSTALL FELT BOARD EXPANSION JOINT, SCORE FELT AND REMOVE TO DEPTH OF 1/2" BELOW SLAB. PROVIDE SEAL WITH 1/2" INCH PRE-MOLDED RESILIENT JOINT FILLER AT ALL EXPANSION JOINTS.
- IN DRIVEWAY AREAS CONCRETE THICKNESS SHALL BE INCREASED TO 4 INCHES MINIMUM.
- CONCRETE SHALL HAVE A SLUMP OF NO MORE THAN 5" AND AN AIR ENTRAINMENT OF 4-6%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN CONFORMANCE WITH ALL A.C.I. REQUIREMENTS.



**2 WOOD FENCE DETAILS**  
 1/2" = 1'-0"

## GENERAL NOTES

- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
- THE CONTRACTOR IS TO MAINTAIN INSURANCES AS REQUIRED BY NEW YORK STATE AND THE TOWN OF CHEEKOWAGA.
- BENLIC IS TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
- THE CONTRACTOR IS TO REVIEW AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- NO SUBSTITUTIONS ARE TO BE MADE WITHOUT THE AUTHORIZATION OF THE OWNER AND ARCHITECT.
- WORK BEHIND WALLS TO BE REMOVED TO PROVIDE TEMPORARY SUPPORT OR ENCLOSURE TO PROTECT AND COMPLETE THE CONSTRUCTION TO FINISH.
- PROPERLY DISPOSE OF AND REMOVE DEBRIS FROM THE WORK SITE DAILY OR STORE IN APPROPRIATE CONTAINER.
- COMPLY WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS.
- ALL COLORS AS INDICATED OR AS SELECTED BY ARCHITECT.
- THE CONTRACTOR IS TO PROVIDE ALL MATERIALS, INCLUDING SAMPLES, AND SUBSTITUTION REQUESTS TO BENLIC FOR APPROVAL. THE CONTRACTOR IS TO REVIEW, COORDINATE, AND VERIFY THAT SUBMITTALS MEET THE SPECIFIED REQUIREMENTS PRIOR TO SUBMISSION.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT UNITS AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS REQUIRED FOR THE WORK. COORDINATE WITH BENLIC INSPECTOR.
- THE CONTRACTOR IS TO REQUEST FINAL INSPECTION BY THE ARCHITECT PRIOR TO ISSUE OF FINAL CERTIFICATE OF COMPLETION. THE CONTRACTOR IS TO PROVIDE ALL INFORMATION AND DOCUMENTATION FOR WORK IDENTIFIED IN PREVIOUS INSPECTIONS. THE CONTRACTOR WILL REQUEST A REINSPECTION BY THE ARCHITECT.
- THE CONTRACTOR IS TO SUPPLY THE OWNER WITH OPERATIONS AND MAINTENANCE MANUAL AND WARRANTIES OF ALL PRODUCTS AND SYSTEMS AT CLOSEOUT.
- THE CONTRACTOR IS TO SUBMIT A WRITTEN LIST OF ALL SUBCONTRACTORS PROPOSED FOR THE WORK. THE OWNER AND ARCHITECT RESERVE THE RIGHT TO REJECT THE USE OF A SUBCONTRACTOR.
- THE CONTRACTOR IS TO PROVIDE AND MAINTAIN TEMPORARY FENCING, BARRICADES, SIGNS, SAFETY LIGHTS, ETC., TO PROTECT THE WORK AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DOCUMENTATION OF THE CONSTRUCTION AT THE PROJECT SITE IN A PROFESSIONAL AND READABLE MANNER AND SUBMIT TO THE OWNER AT SUBSTANTIAL COMPLETION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITIES AND FACILITIES TO PERFORM THE WORK.
- THE CONTRACTOR SHALL COORDINATE ALL TRADES AND SEQUENCE OF CONSTRUCTION TO ENSURE CONTINUITY OF THE AIR BARRIER SYSTEM. COORDINATE WITH OWNER'S INDEPENDENT TESTING AGENCY FOR INSPECTION OF THE AIR BARRIER SYSTEM. CONTRACTOR TO REMEYD ALL CONDITIONS OUT OF COMPLIANCE WITH THE AIR BARRIER SYSTEM. CONTRACTOR TO PROVIDE WRITTEN INSTRUCTIONS FOR MAINTENANCE OF LANDSCAPE.
- THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED.

NO SUBSTITUTIONS ARE TO BE MADE WITHOUT THE AUTHORIZATION OF THE OWNER AND ARCHITECT.

WORK BEHIND WALLS TO BE REMOVED TO PROVIDE TEMPORARY SUPPORT OR ENCLOSURE TO PROTECT AND COMPLETE THE CONSTRUCTION TO FINISH.

PROPERLY DISPOSE OF AND REMOVE DEBRIS FROM THE WORK SITE DAILY OR STORE IN APPROPRIATE CONTAINER.

COMPLY WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS.

ALL COLORS AS INDICATED OR AS SELECTED BY ARCHITECT.

THE CONTRACTOR IS TO PROVIDE ALL MATERIALS, INCLUDING SAMPLES, AND SUBSTITUTION REQUESTS TO BENLIC FOR APPROVAL. THE CONTRACTOR IS TO REVIEW, COORDINATE, AND VERIFY THAT SUBMITTALS MEET THE SPECIFIED REQUIREMENTS PRIOR TO SUBMISSION.

WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT UNITS AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS.

THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS REQUIRED FOR THE WORK. COORDINATE WITH BENLIC INSPECTOR.

THE CONTRACTOR IS TO REQUEST FINAL INSPECTION BY THE ARCHITECT PRIOR TO ISSUE OF FINAL CERTIFICATE OF COMPLETION. THE CONTRACTOR IS TO PROVIDE ALL INFORMATION AND DOCUMENTATION FOR WORK IDENTIFIED IN PREVIOUS INSPECTIONS. THE CONTRACTOR WILL REQUEST A REINSPECTION BY THE ARCHITECT.

THE CONTRACTOR IS TO SUPPLY THE OWNER WITH OPERATIONS AND MAINTENANCE MANUAL AND WARRANTIES OF ALL PRODUCTS AND SYSTEMS AT CLOSEOUT.

THE CONTRACTOR IS TO SUBMIT A WRITTEN LIST OF ALL SUBCONTRACTORS PROPOSED FOR THE WORK. THE OWNER AND ARCHITECT RESERVE THE RIGHT TO REJECT THE USE OF A SUBCONTRACTOR.

THE CONTRACTOR IS TO PROVIDE AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.

THE CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DOCUMENTATION OF THE CONSTRUCTION AT THE PROJECT SITE IN A PROFESSIONAL AND READABLE MANNER AND SUBMIT TO THE OWNER AT SUBSTANTIAL COMPLETION.

THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITIES AND FACILITIES TO PERFORM THE WORK.

THE CONTRACTOR SHALL COORDINATE ALL TRADES AND SEQUENCE OF CONSTRUCTION TO ENSURE CONTINUITY OF THE AIR BARRIER SYSTEM. COORDINATE WITH OWNER'S INDEPENDENT TESTING AGENCY FOR INSPECTION OF THE AIR BARRIER SYSTEM. CONTRACTOR TO REMEYD ALL CONDITIONS OUT OF COMPLIANCE WITH THE AIR BARRIER SYSTEM. CONTRACTOR TO PROVIDE WRITTEN INSTRUCTIONS FOR MAINTENANCE OF LANDSCAPE.

THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED.

## ARCHITECTURAL SPECIFICATIONS

### SITE WORK

- CONTRACTOR TO PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT EXISTING UTILITIES AND ADJACENT AREAS.
- CONTRACTOR TO PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY WORK AT NO COST TO OWNER. MATCH EXIST.
- CONTRACTOR TO REMOVE ANY AND ALL MISCELLANEOUS DEBRIS.
- CONCRETE PAVING TO HAVE BROOM FINISH. PROVIDE REINFORCING AS INDICATED.
- CONTRACTOR TO PROVIDE OWNER WITH WRITTEN INSTRUCTIONS FOR MAINTENANCE OF LANDSCAPE WORK.
- CONCRETE TO BE 18" x 22" W/ 10" W x 8" H. METAL O.H. DOOR & ELEC. OPERATOR. GARAGE SIDING TO MATCH HOUSE.

### WOOD, PLASTIC, & COMPOSITES

- WOOD FRAMING MEMBERS NOT IN CONTACT WITH CONCRETE OR MASONRY TO BE SFR NO. 2 GRADE OR BETTER. ALL OTHER WOOD MEMBERS TO BE SFR NO. 1 OR BETTER.
- ALL WOOD MEMBERS IN CONTACT WITH CONCRETE/MASONRY SHALL BE PRESSURE TREATED WITH AMERICAN WOOD PRESERVERS BUREAU LP-2 SOFTWOOD LUMBER AND PLYWOOD PRESSURE TREATED WITH WATERBORNE SALT PRESERVATIVES FOR USE ABOVE GROUND.
- INSULATED SHEATHING WITH INTEGRAL WEATHER RESISTIVE AND AIR BARRIER TO BE ZIP R SHEATHING BY HUBER ENGINEERED WOODS OR APPROVED EQUAL. PROVIDE MANUFACTURER'S RECOMMENDED SEAM AND FLASHING TAPE OR SEALANT.
- ROOF SHEATHING TO APA RATED PLYWOOD STRUCTURAL SHEATHING WITH EXPOSURE 1 CLASSIFICATION.

### THERMAL & MOISTURE

- ARCH. SHINGLES TO BE CERTANTEED LANDMARKPRO OR EQ. UNDERLAYMENT TO BE GRACE VYCOR ICE & WATER SHIELD AND ROOF RUNNERS SYNTHETIC UNDERLAYMENT OR EQ.
- 2x6 FR. PROVIDE IN THICKNESSES INDICATED. WHERE MULTIPLE LAYERS ARE USED STAGGER JOINTS. PROVIDE FOAM CONTROL 250 BY THERMAL FOAMS OR APPROVED EQUAL.
- INTERIOR AIR MEMBRANE TO BE SIGA MAJREX OR APPROVED EQUAL. PROVIDE ASSOCIATED TAPES, PRIMERS, AND SEALANTS REQUIRED FOR INSTALLATION PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- SILL GASKET TO BE CONSERVATION TECH. (EPDM, BG65) BULB TYPE.
- PARGE COAT TO BE QUIKCREET FOAM COAT WITH FIBERGLASS RENF. MESH.

### OPENINGS

- DOOR TYPES SOLID CORE MASONITE OR THERMA-TRU INSUL.
- PROVIDE DOOR HARDWARE IN ACCORDANCE WITH BHMA A156. COORDINATE WITH OWNER ON KEYING.
- WINDOWS SHALL BE EQUAL TO PELLA LIFESTYLE METAL CLAD WOOD:
  - UNIT TYPE- SEE ELEVATIONS & SCHEDULE
  - EXTERIOR FINISH- WHITE OR BEIGE
  - INTERIOR FINISH- WHITE
  - GLASS INFORMATION- I.G. LOW E2, WIAGRON, 95%- 96% UV, BLOCKAGE
  - HARDWARE TYPE: PELLA STD. COLOR AS SELECTED BY THE ARCHITECT.

## STRUCTURAL SPECIFICATIONS

### FOUNDATIONS

- EXPOSED SUBGRADE SOILS MAY BE SENSITIVE TO DISTURBANCE AND A REDUCTION IN STRENGTH WHEN IN CONTACT WITH MOISTURE. CONTROL SUBGRADE AND CIRCUMJACENT WATER BY APPROPRIATE MEANS AND AVOID CONSTRUCTION TRAFFIC OVER EXPOSED SUBGRADES.
- FOUNDATIONS SHALL BE PLACED CLEANED, LEVEL SOIL AT THE ELEVATIONS NOTED ON PLAN. IN NO CASES SHALL EXTERIOR CONSTRUCTION BEAR AT AN ELEVATION OF LESS THAN FOUR FEET BELOW EXTERIOR FINISHED GRADE.
- ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND. COMPACT FOOTING SUBGRADES TO A MINIMUM OF 95% OPTIMUM DENSITY AS MEASURED BY ASTM D1557. CONCRETE FOR FOOTINGS SHALL BE PLACED THE DAY AFTER EXCAVATION OR PROTECT SUBGRADE BY IMMEDIATELY PLACING A THREE INCH THICK LEAN CONCRETE W/ 4" MAX. AGGREGATE.
- ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED BEFORE BACKFILLING. BACKFILL SHALL BE UNIFORMLY PLACED AND COMPACTED ON BOTH SIDES OF WALLS AT THE SAME TIME.
- SHOULD OBSTRUCTIONS OR OTHERWISE UNDESIRABLE SOILS CONDITIONS BE ENCOUNTERED, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

### SUBBASE

- THE SUBBASE FOR THE SLAB ON GRADE SHALL CONSIST OF AN EIGHT INCH THICK #2 CRUSHED STONE OR CRUSHER RUN STONE COMPLYING WITH NYSDOT ITEM 304.03 THOROUGHLY COMPACTED TO 95% OPTIMUM DENSITY (MODIFIED PROCTOR ASTM D-1557). PRIOR TO PLACEMENT, SUBGRADE SHALL BE THOROUGHLY PROOF-ROLLED USING A MINIMUM 20-TON VIBRATORY ROLLER.
- THE CONTRACTOR SHALL HAVE COMPACTION TESTS TAKEN TO ENSURE PROPER COMPACTION OF FILL.

### CONCRETE

- CONCRETE SHALL BE THE STANDARD DESIGN MIX OF ANY OF THE LOCAL READY-MIX SUPPLIERS APPROVED BY THE NY S.D.O.T. AND MEETING THE FOLLOWING MINIMUM REQUIREMENTS (DESIGN MIXES TO BE SUPPLIED TO THE ARCHITECT FOR APPROVAL):
  - 4000 PSI, 3' SLUMP, 6% ENTRAINED, 0.45 MAX W/C RATIO
- THE CONTRACTOR SHALL TAKE FOUR (4) STANDARD CYLINDERS FOR EACH 50 CU.YD. OF CONCRETE POURED AND 28-DAY TWO CYLINDERS.
- PROTECTION FOR REINFORCING IN CONCRETE:
  - FOOTINGS = 3" COVER BOTTOM AND SIDES
  - WALLS AND GRADE BEAMS = 2" SIDES AND 3" BOTTOM PIERS = 2" SIDES
  - FLOOR SLABS = 1" TOP AND BOTTOM
- ALL CONCRETE REINFORCEMENT SHALL BE DETAILED AND PLACED IN FULL ACCORDANCE WITH THE ACI CODE OF PRACTICE.
- MINIMUM REINFORCEMENT LAYS = 36-DIA. FOR BARS AND 6" BEYOND FIRST INTACT CROSS WIRES FOR WELDED WIRE MESH.
- WELDED WIRE MESH TO BE PLACED IN UPPER 1/3RD OF SLAB TYPICALLY.
- BARS MARKED CONTINUOUS SHALL BE RUN CONTINUOUS THROUGH THE WALLS, AROUND CORNERS, LAPPED AT NECESSARY SPLICES AND HOOKED AT ENDS. REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- PROVIDE LIPS/RS CONTINUOUS TOP AND BOTTOM OF ALL CONCRETE WALLS AND GRADE BEAMS, UNLESS OTHERWISE SPECIFIED.
- PROVIDE LIPS/RS X 30" LONG PLACED DIAGONALLY ACROSS EACH REINTEGRANT CORNER OF SLABS AND WALLS.
- SUPPORT REINFORCING BARS IN ACCORDANCE WITH THE ACI CODE OF STANDARD PRACTICE. USE GALVANIZED OR STAINLESS STEEL EXCEPT WHERE BAR SUPPORTS ARE IN CONTACT WITH EXPOSED SURFACES, IN WHICH CASE THEY SHALL BE GALVANIZED AND PLASTIC TIPPED.

### PREFABRICATED ROOF TRUSS UNITS

- SUBMIT PRODUCT DATA FOR LUMBER, METAL CONNECTOR PLATES, HARDWARE, FABRICATION PROCESS, FASTENERS AND METAL FRAMING ANCHORS. SHOP DRAWINGS INDICATING SPECIES GROUP, SIZES AND STRESS GRADES OF LUMBER TO BE USED: PITCH, SPAN, CAMBER, CONFIGURATION AND SPACING FOR ANCHORS AND FASTENERS. PROVIDE DESIGN VALUES, AND LOCATION OF METAL CONNECTOR PLATES, BEARING ANCHORAGE DETAILS.
- THE DESIGN OF THESE PREFABRICATED BUILDING COMPONENTS, FOR THE FLOOR AND ROOF LOADS LOADING, SHALL BE THE RESPONSIBILITY OF THE FABRICATOR. INCLUDE DESIGN ANALYSIS INDICATING ALLOWABLE STRESSES OF MATERIALS USED, STRESS DIAGRAMS AND CALCULATIONS, AND OTHER INFORMATION NEEDED FOR REVIEW THAT HAVE BEEN SIGNED AND SEALED BY A QUALIFIED ENGINEER, LICENSED TO PRACTICE IN THE JURISDICTION WHERE THE PREFABRICATED WOOD UNITS WILL BE INSTALLED. RESPONSIBILITY FOR THEIR PREPARATION SHALL REST WITH THE FABRICATOR'S ENGINEER(S).
- MINIMUM DESIGN LOADINGS:
  - PREFABRICATED ROOF TRUSSES
    - TOP CHORDS LL = 55 PSF, 10 PSF DL
    - SEE PLANS FOR ADDITIONAL REQUIREMENTS
    - BOTTOM CHORDS DL = 5 PSF
    - WIND LOAD WL = 10 PSF UP/LIFT

ROOF CONSTRUCTION WHERE TRUSSES ARE BUILT OVER TRUSSES AS INDICATED ON THE PLANS SHALL BE DESIGNED WITH THE ADDITIONAL DEAD LOAD OF THE TRUSSES AND THE TOP CHORD SHALL BE DIRECTLY ON THEM.

PREFABRICATED TRUSSES INCLUDE PLANAR STRUCTURAL UNITS CONSISTING OF HIGH QUALITY CHORD AND WEB COMPONENTS METAL PLATE CONNECTED MEMBERS WHICH HAVE BEEN CUT AND ASSEMBLED PRIOR TO DELIVERY TO THE JOB SITE.

COMPLY WITH APPLICABLE REQUIREMENTS OF NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, PUBLISHED BY NATIONAL FOREST ASSOCIATION (N.F.P.A.). COMPLY WITH FS 20 AND WITH APPLICABLE RULES OF THE RESPECTIVE GRADING/INSPECTION AGENCIES FOR SPECIES GRADE OF LUMBER AND THE APPLICABLE RULES OF THE RESPECTIVE GRADING/INSPECTION AGENCIES FOR SPECIES GRADE OF LUMBER PROCESS TREATMENT (IF ANY), HANDLING, AND ERECTION. SUBMIT CERTIFICATE SIGNED BY AN OFFICER OF FABRICATING FIRM, INDICATING THAT UNITS TO BE SUPPLIED FOR PROJECT COMPLY WITH INDICATED REQUIREMENTS.

ERECT AND BRACE UNITS TO COMPLY WITH APPLICABLE REQUIREMENTS OF REFERENCED TPI STANDARDS. WHERE UNITS DO NOT FIT, RETURN THEM TO THE FABRICATOR AND REPLACE WITH UNITS OF CORRECT SIZE. DO NOT ALTER UNITS IN FIELD. ERECT UNITS WITH PLANE OR TRUSS WEBS VERTICAL (PLUMB) AND PARALLEL TO EACH OTHER, LOCATED ACCURATELY AT DESIGN SPACINGS INDICATED. JOIST UNITS IN PLACE BY MEANS OF JOISTS BY OUT-OF-PLANE BENDING OR OTHER CAUSES. ANCHOR UNITS SECURELY AT ALL BEARING POINTS TO COMPLY WITH METHODS AND DETAILS INDICATED. INSTALL PERMANENT BRACING AND RELATED COMPONENTS TO ENABLE UNITS TO MAINTAIN DESIGN SPACING, WITH STAND LIVE AND DEAD LOADS INCLUDING LATERAL LOADS, AND COMPLY WITH OTHER INDICATED REQUIREMENTS. DO NOT CUT OR REMOVE TRUSS OR JOIST MEMBERS.

MEMBERS MUST BE HELD STRAIGHT AND PLUMB AT THEIR DESIGN SPACING WHILE ALL BRACING IS APPLIED. LATERAL BRACING SHOULD BE INSTALLED AS SPECIFIED BY MANUFACTURER AT SUPPORT LOCATIONS.

ALL BRACING SHALL BE INSTALLED AS SHOWN ON DRAWINGS. BRACING SHALL BE INSTALLED AND NOT CUT OR REMOVE AND PORTION OF MEMBERS' CHORDS OR WEBS. NAILING GUIDELINES FOLLOW:

APA RECOMMENDATIONS FOR NAILING SHEATHING TO TOP CHORDS OF TRUSSES, 8D BOX, 4D COMMON OR 4D DEFORMED SHANK NAILS MAY BE USED TO NAIL PLYWOOD TO TOP CHORD. STAGGER NAILS TO PREVENT SPLITTING OF THE CHORD. SPACE NAILS 1-1/2" FROM END AND 4" TO 6" APART.

NAIL UNITS TO BEARING WITH ONE 8D BOX NAIL THROUGH THE BOTTOM CHORD ON EACH SIDE OF THE WEB. PROVIDE MINIMUM OF 3" BEARING. CONCENTRATED LOADS IN EXCESS OF 30 POUNDS SHOULD NOT BE HUNG FROM BOTTOM CHORDS.

### GENERAL STRUCTURAL CRITERIA

- PRINCIPAL DESIGN LOADS:
  - A. SEI/ASCE 7-05
  - B. 2020 BUILDING CODE OF NYS
- DESIGN LOADS

FLOOR LIVE LOAD = 100 PSF LOBBY/CORRIDORS/PUBLIC

ROOF SNOW LOAD = DRIFT IN ACCORDANCE WITH ASCE7

Fg = 50 PSF

Ce = 35 PSF

Ce = 10

Is = 1.0

WIND LOAD

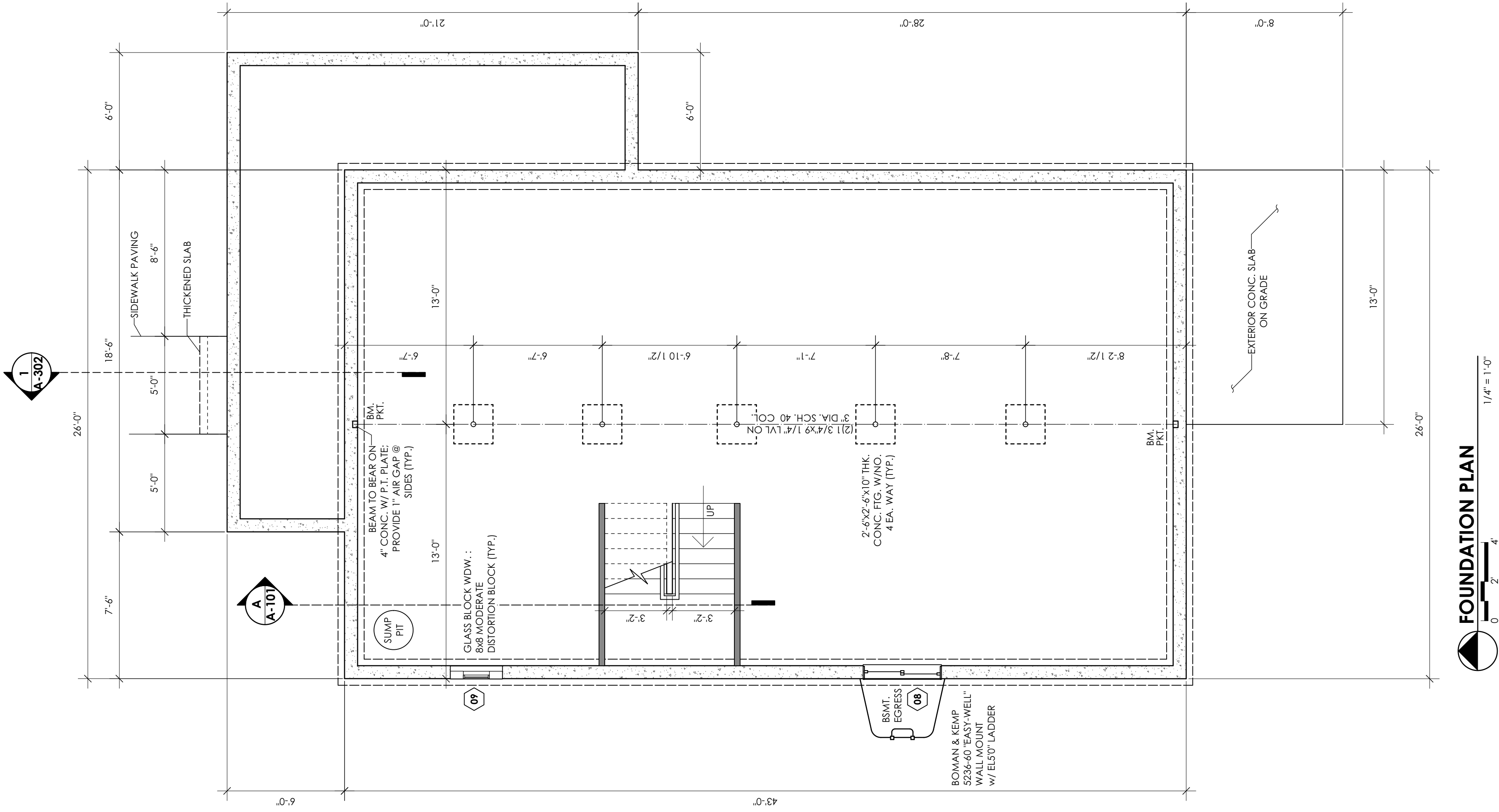
BASED ON WIND SPEED = 115 MPH

EXPOSURE "B"

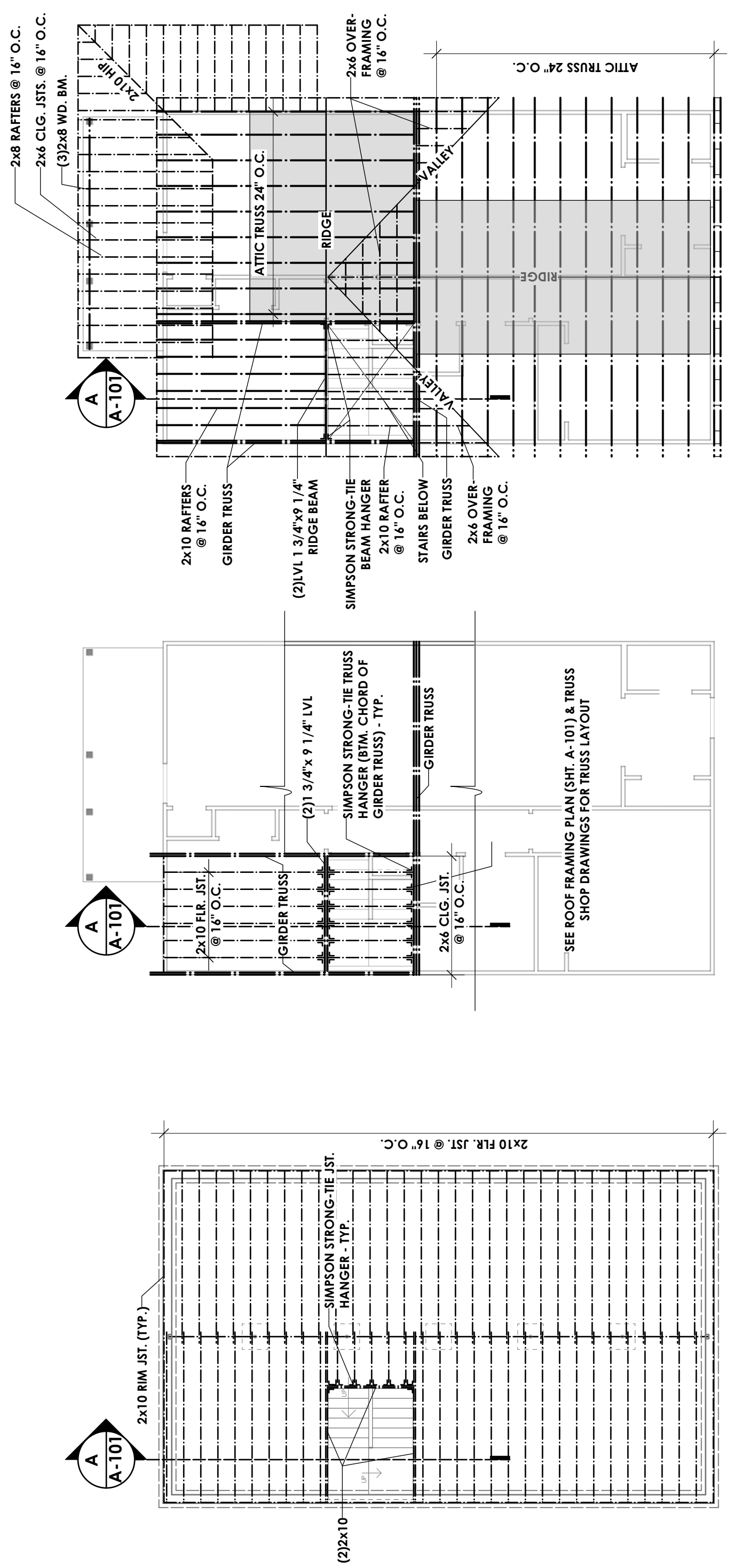
Iw = 1.00

## MECHANICAL SPECIFICATIONS SEE DWG MEP-101

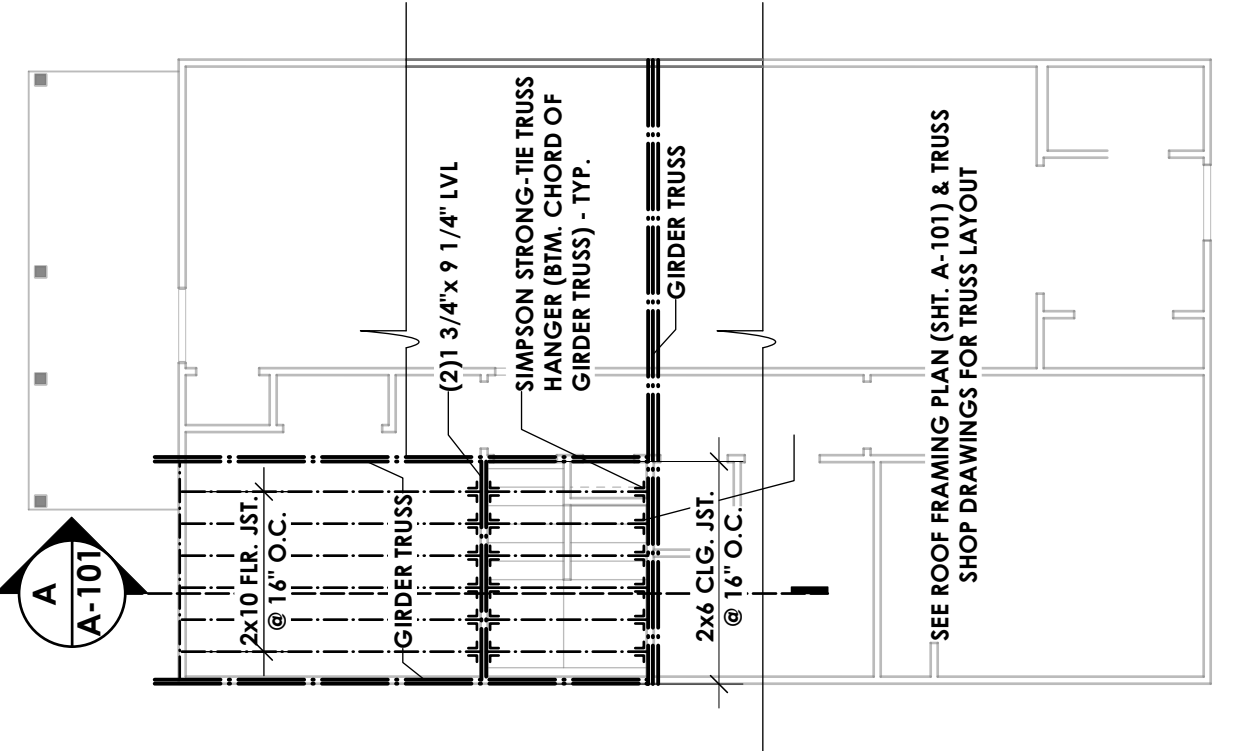
## ELECTRICAL SPECIFICATIONS SEE DWG MEP-101



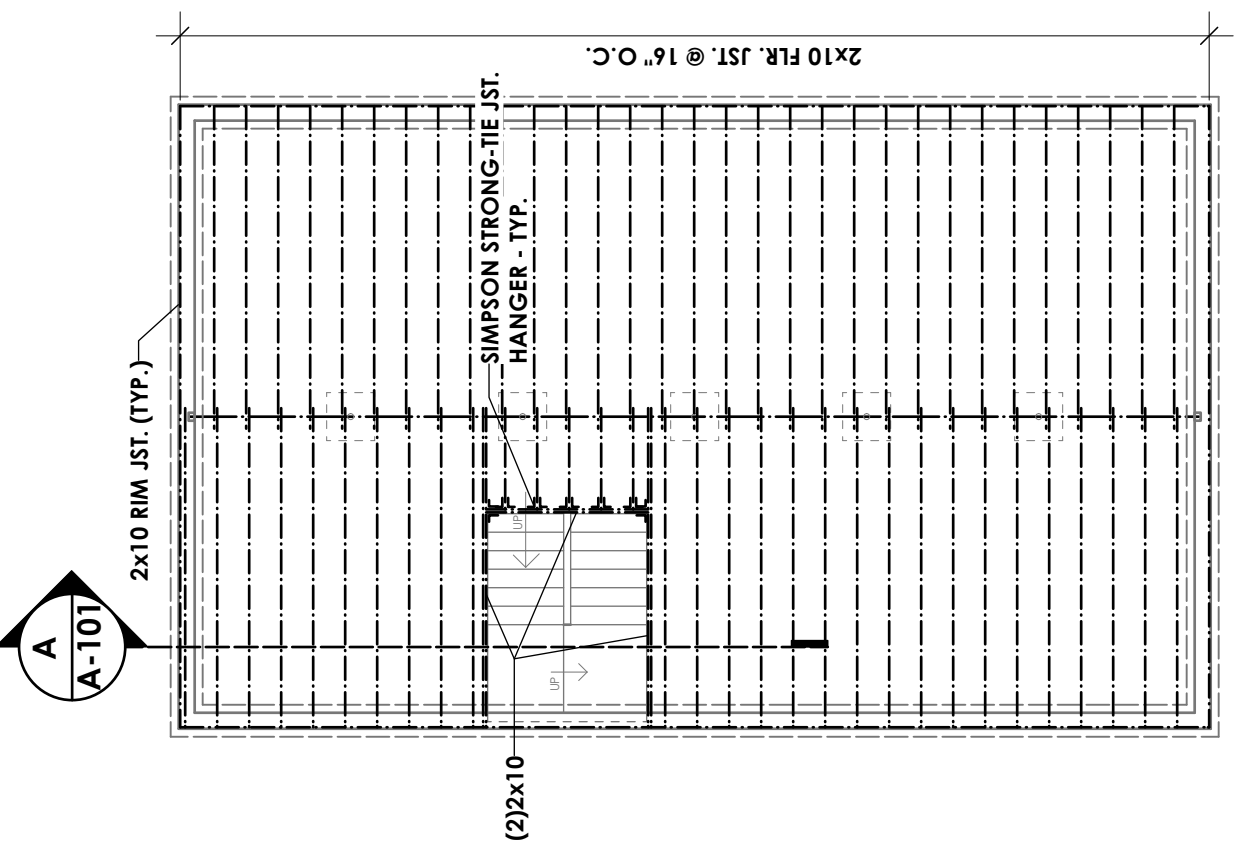
**FOUNDATION PLAN**  
 1/4" = 1'-0"  
 0 2 4



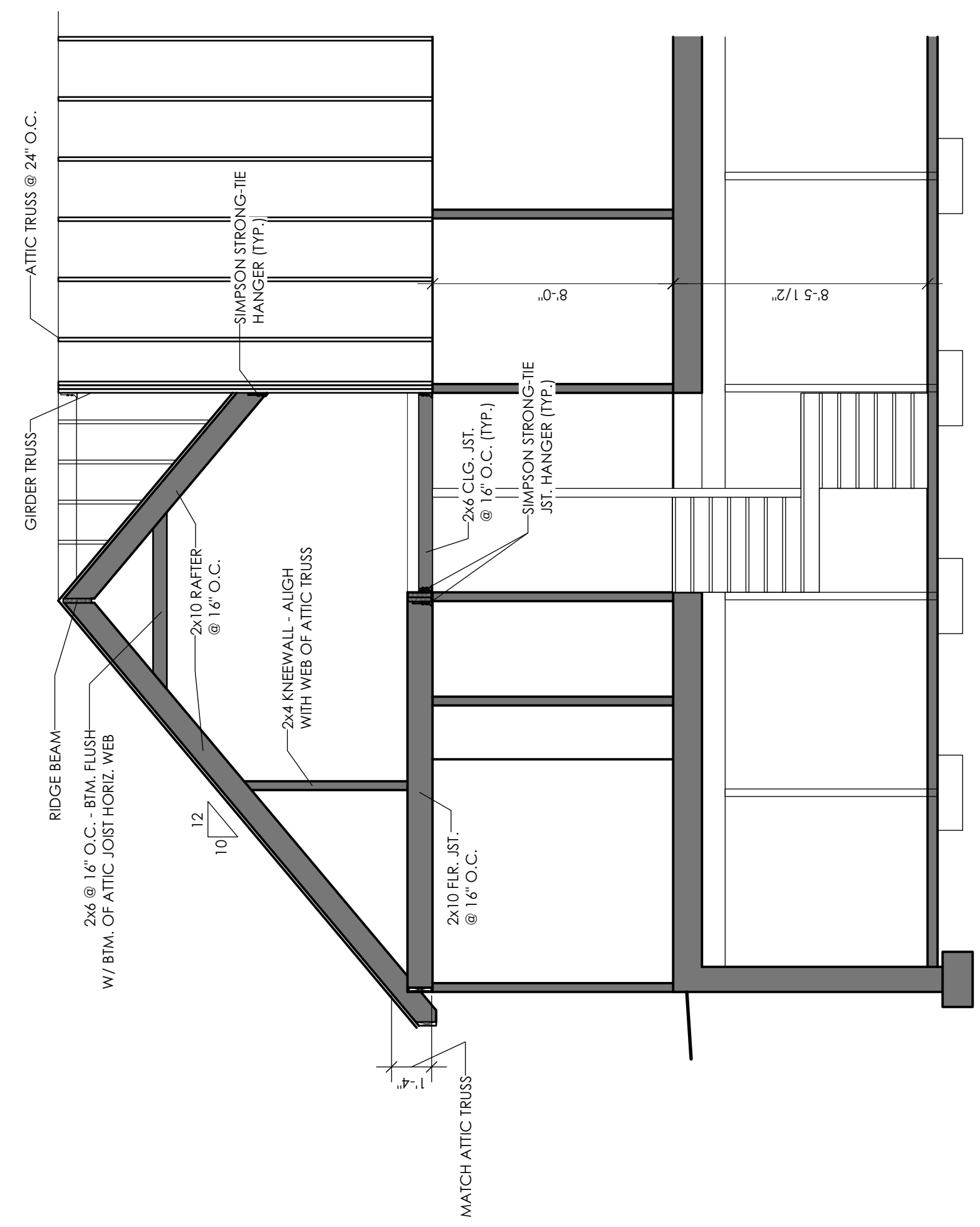
**ROOF FRAMING PLAN**  
 1/8" = 1'-0"  
 0 4 8  
 KEY  
 ATIC AREA



**SECOND FLR. FRAMING PLAN**  
 1/8" = 1'-0"  
 0 4 8



**FIRST FLOOR FRAMING PLAN**  
 1/8" = 1'-0"  
 0 4 8



**A PARTIAL BUILDING SECTION**  
 1/4" = 1'-0"  
 0 2 4

### ROOM FINISH SCHEDULE

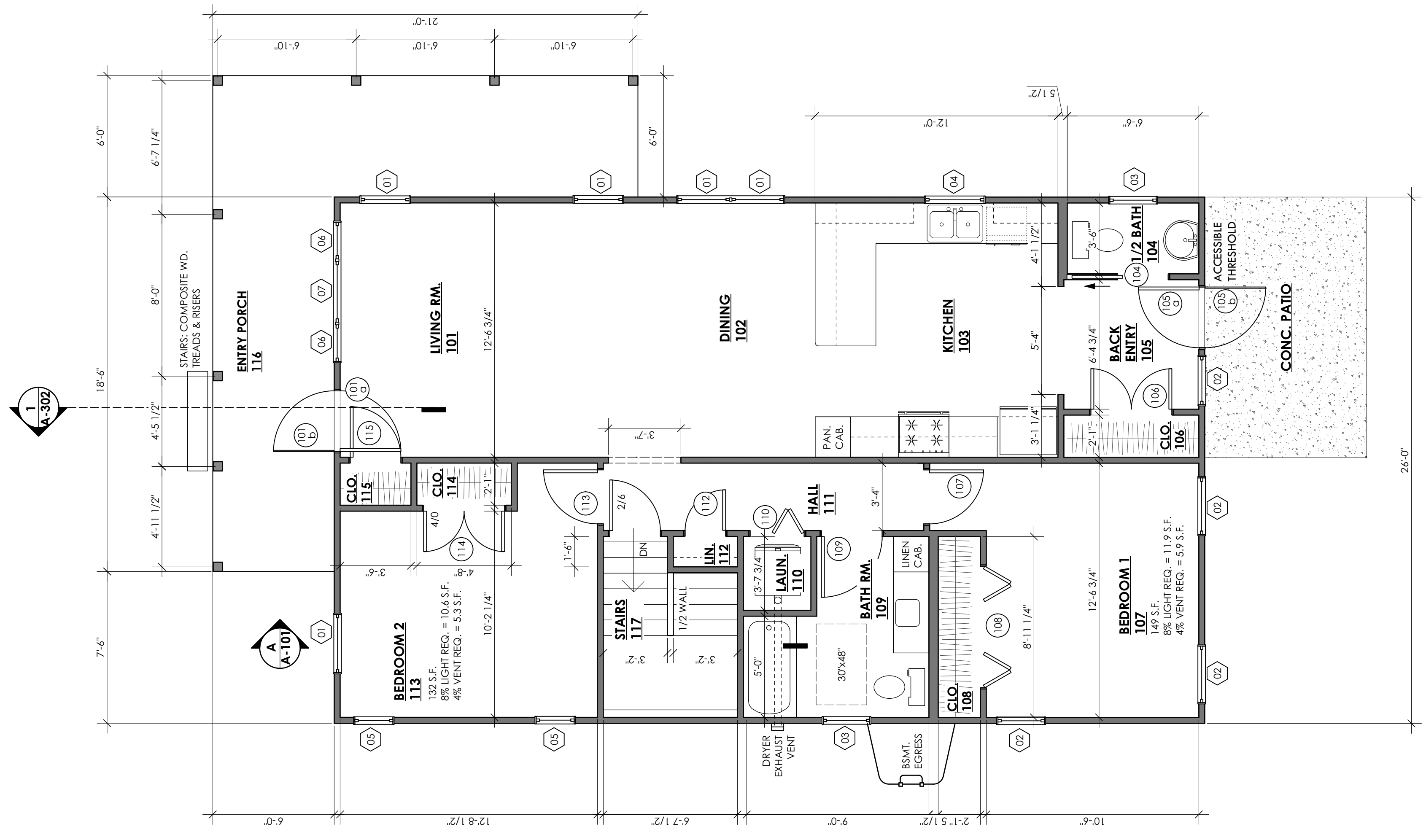
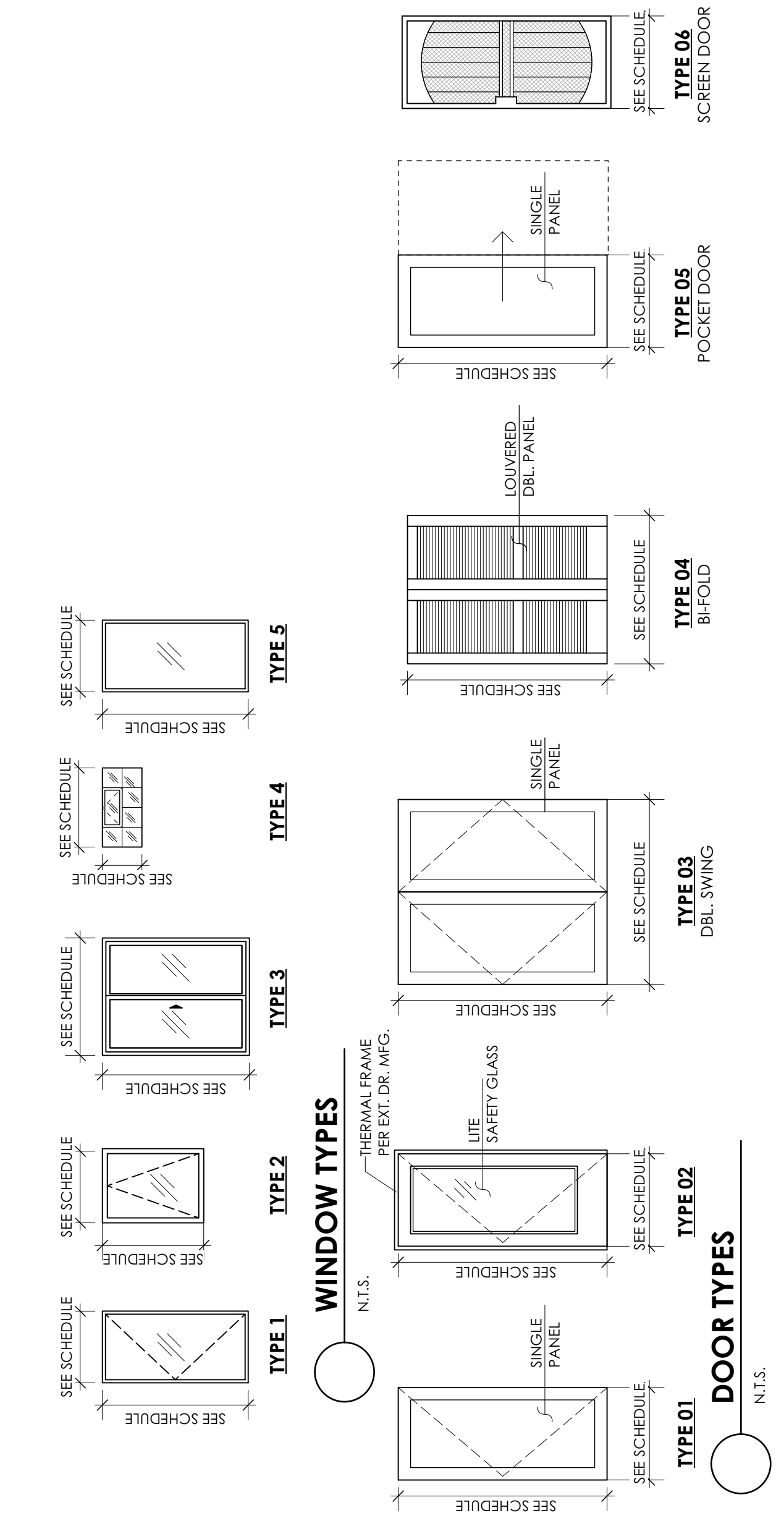
RM. #	ROOM TITLE		FLOOR		BASE		WALL		CEILING		REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
101	LIVING RM	ENG. WD.	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
102	DINING	ENG. WD.	PRE-FIN.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
103	KITCHEN	ENG. WD.	PRE-FIN.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
104	1/2 BATH	CER. TILE	-	-	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
105	BACK ENTRY	CER. TILE	-	-	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
106	CLOSET	CER. TILE	-	-	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
107	BEDROOM 1	ENG. WD.	PRE-FIN.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
108	CLOSET	ENG. WD.	PRE-FIN.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
109	BATH RM.	ENG. WD.	PRE-FIN.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
110	LAUNDRY	SHI. VINYL	-	-	RUBBER	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
111	HALL	ENG. WD.	PRE-FIN.	WOOD	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
112	LINEN	ENG. WD.	PRE-FIN.	WOOD	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
113	BEDROOM 2	ENG. WD.	PRE-FIN.	WOOD	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
114	CLOSET	ENG. WD.	PRE-FIN.	WOOD	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
115	CLOSET	ENG. WD.	PRE-FIN.	WOOD	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
116	ENTRY PORCH	COMP. WD.	-	-	-	-	-	-	-	-	-
117	STAIRS	WOOD	PAINT	WOOD	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"

### DOOR SCHEDULE

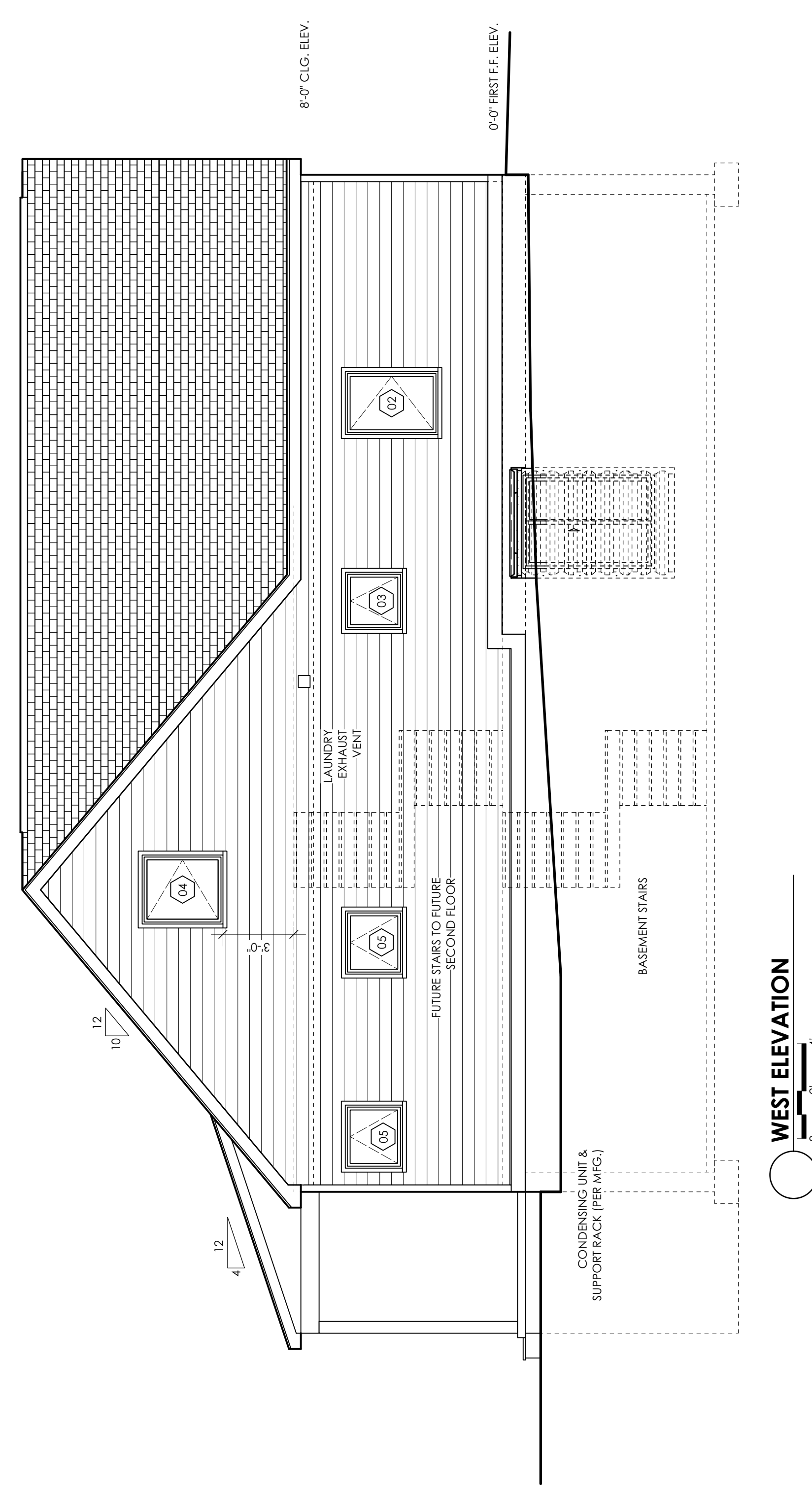
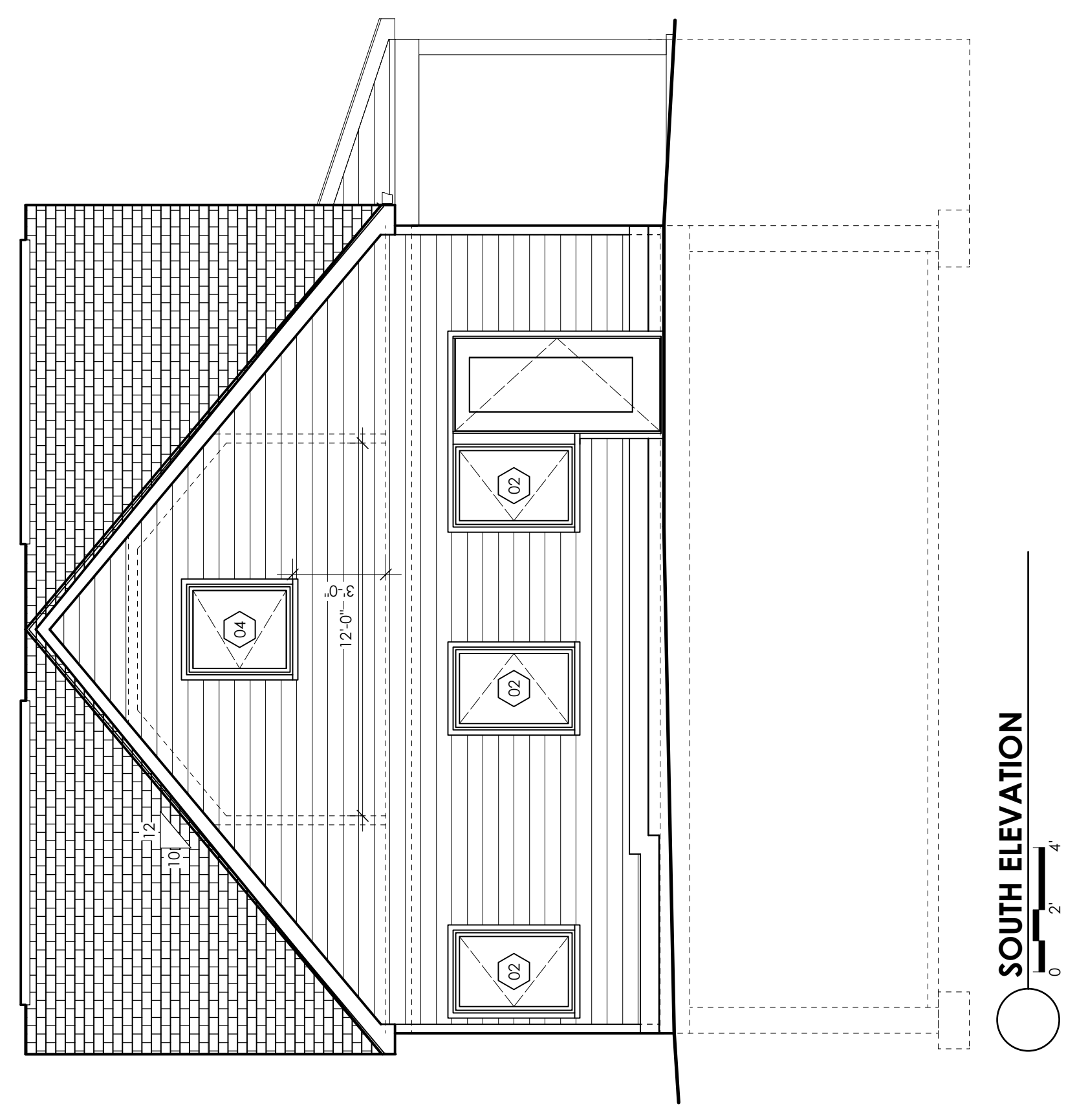
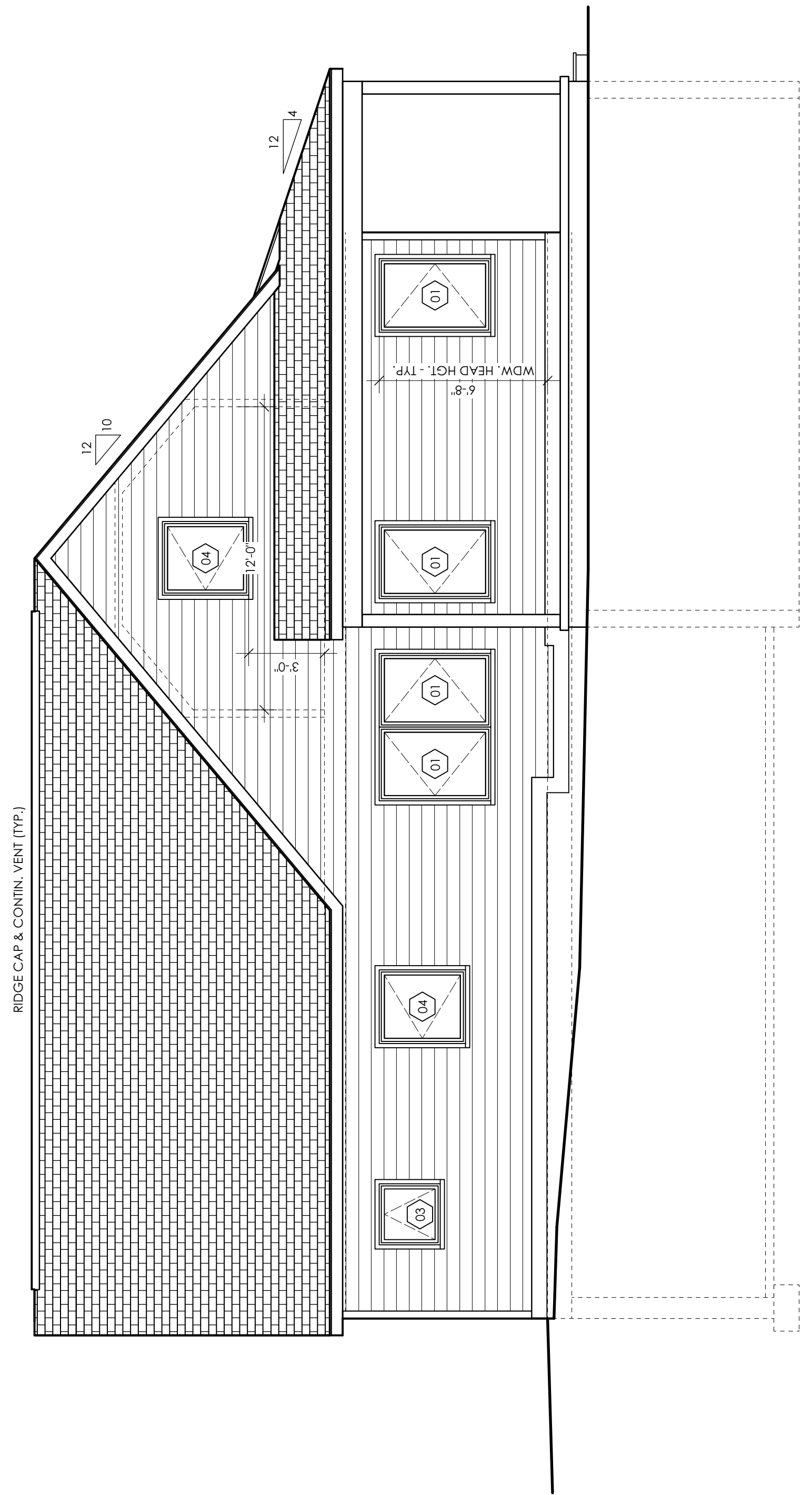
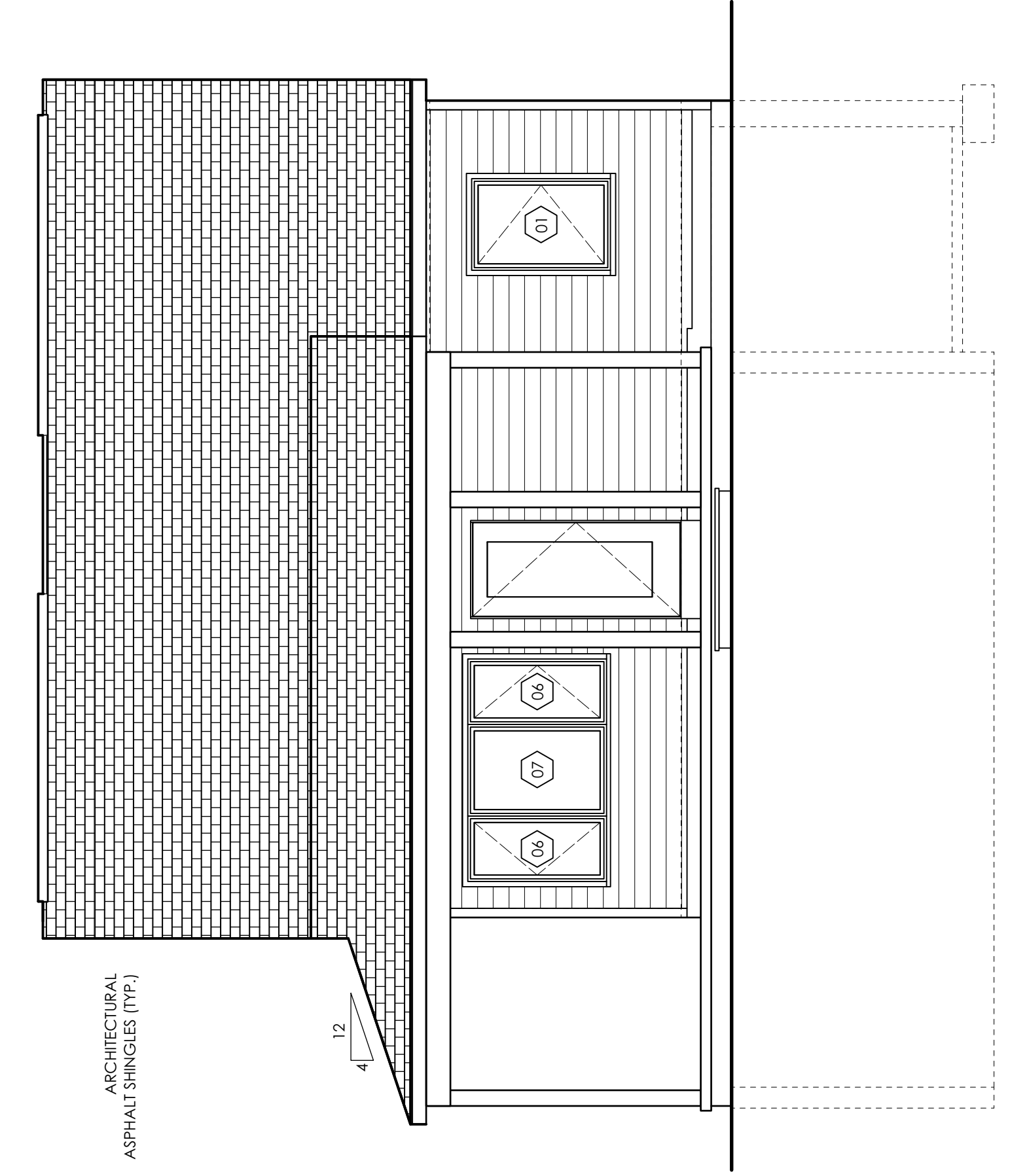
DOOR #	ROOM TITLE	DOOR		FRAME		GLASS		HARDWARE SET		REMARKS
		MATERIAL	TYPE	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	SET	
101G	LIVING RM	FIBERGLASS	2	36"	80"	FG.	PAINT	Y	MFR.	WEATHERSTRIPPING
101b	LIVING RM	SCREEN & STL.	6	36"	80"	PWDR-CT.	PAINT	-	MFR.	
104	1/2 BATH	WD. COMP.	5	30"	80"	WD.	PAINT	-	MFR.	POCKET DOOR
105G	BACK ENTRY	FIBERGLASS	2	36"	80"	FG.	PAINT	Y	MFR.	ACCESSIBLE THRESHOLD, WEATHERSTRIPPING
105b	BACK ENTRY	SCREEN & STL.	3	36"	80"	PWDR-CT.	PAINT	-	MFR.	
106	CLOSET	WD. COMP.	6	48"	80"	WD.	PAINT	-	MFR.	DOUBLE SWING
107	BEDROOM 1	WD. COMP.	1	32"	80"	WD.	PAINT	-	MFR.	UNDERCUT
108	CLOSET	WD. COMP.	4	72"	80"	WD.	PAINT	-	MFR.	DOUBLE BIFOLD
109	BATH RM.	WD. COMP.	1	36"	80"	WD.	PAINT	-	MFR.	
110	LAUNDRY	WD. COMP.	4	32"	80"	WD.	PAINT	-	MFR.	SINGLE BIFOLD LOUVERED FOR VENTILATION
112	LINEN	WD. COMP.	1	24"	80"	WD.	PAINT	-	MFR.	
113	BEDROOM 2	WD. COMP.	1	32"	80"	WD.	PAINT	-	MFR.	UNDERCUT
114	CLOSET	WD. COMP.	3	48"	80"	WD.	PAINT	-	MFR.	DOUBLE SWING
115	CLOSET	WD. COMP.	1	30"	80"	WD.	PAINT	-	MFR.	

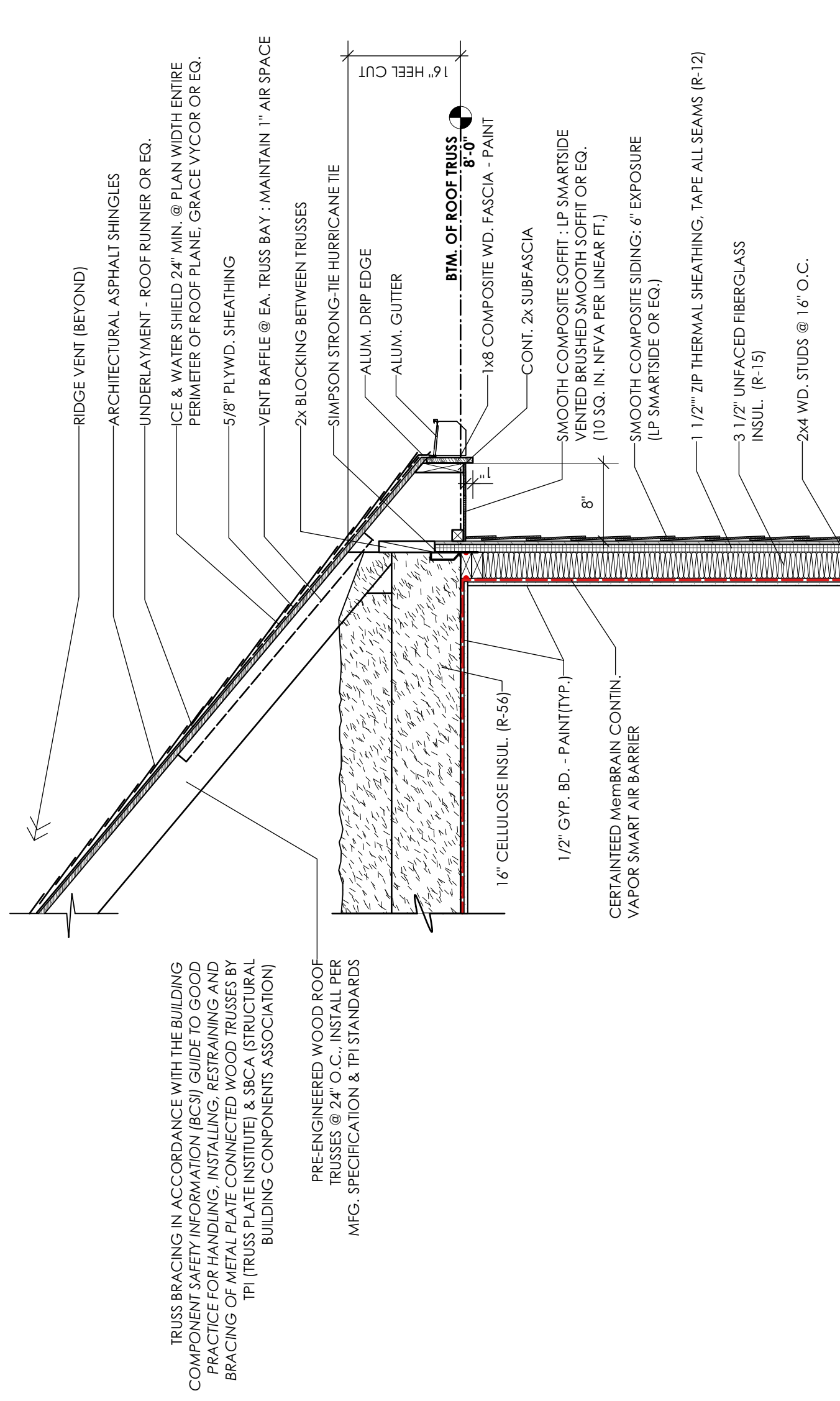
### WINDOW SCHEDULE

NO.	CALL NO.	TYPE	WINDOW FRAME SIZE		U-FACTOR	SHGC	EGRESS OPNG. S.F.	DAYLIGHT S.F.	OPERABLE	VENT AREA S.F.	MATERIAL	REMARKS
			WIDTH	HEIGHT								
01	3553	1	2'-11"	4'-5"	0.29	0.27	8.6	10.0	YES	9.3	ALUM CLAD WD.	PELLA LIFESTYLE SERIES OR EQ. U.N.O.
02	3247	1	2'-8"	3'-11"	0.29	0.27	6.6	7.9	YES	7.3	ALUM CLAD WD.	CASEMENT
03	2929	2	2'-5"	2'-5"	0.29	0.27	4.0	4.0	YES	3.7	ALUM CLAD WD.	AWNING
04	3541	1	2'-11"	3'-5"	0.29	0.27	6.5	7.5	YES	7.0	ALUM CLAD WD.	CASEMENT
05	3229	2	2'-8"	2'-5"	0.29	0.27	4.5	4.5	YES	4.1	ALUM CLAD WD.	AWNING
06	2553	1	2'-1"	4'-5"	0.29	0.27	6.7	6.7	NO	6.1	ALUM CLAD WD.	CASEMENT
07	3553	5	2'-11"	4'-5"	0.29	0.27	10.0	10.0	NO	10.0	ALUM CLAD WD.	CASEMENT FIXED WINDOW
08	4/0-5/0	3	3'-11"	4'-11"	0.28	0.27	7.84	14.6	YES	7.8	FIBERGLASS	PELLA IMPERVIA ADVANCED COMFORT LOW-E
09	VENT GLS. BLC.	4	2'-7"	1'-5 1/2"	0.51	0.51	3.0	3.0	YES	0.8		8'x8' GLASS BLOCK W/8" x 16" HOPPER WDW.



**NOTE:**  
 DIMENSIONS ARE TO ROUGH FRAMING  
 ALL EXTERIOR WALLS 2x4 @ 16" O.C.  
 ALL INTERIOR PARTITIONS 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE

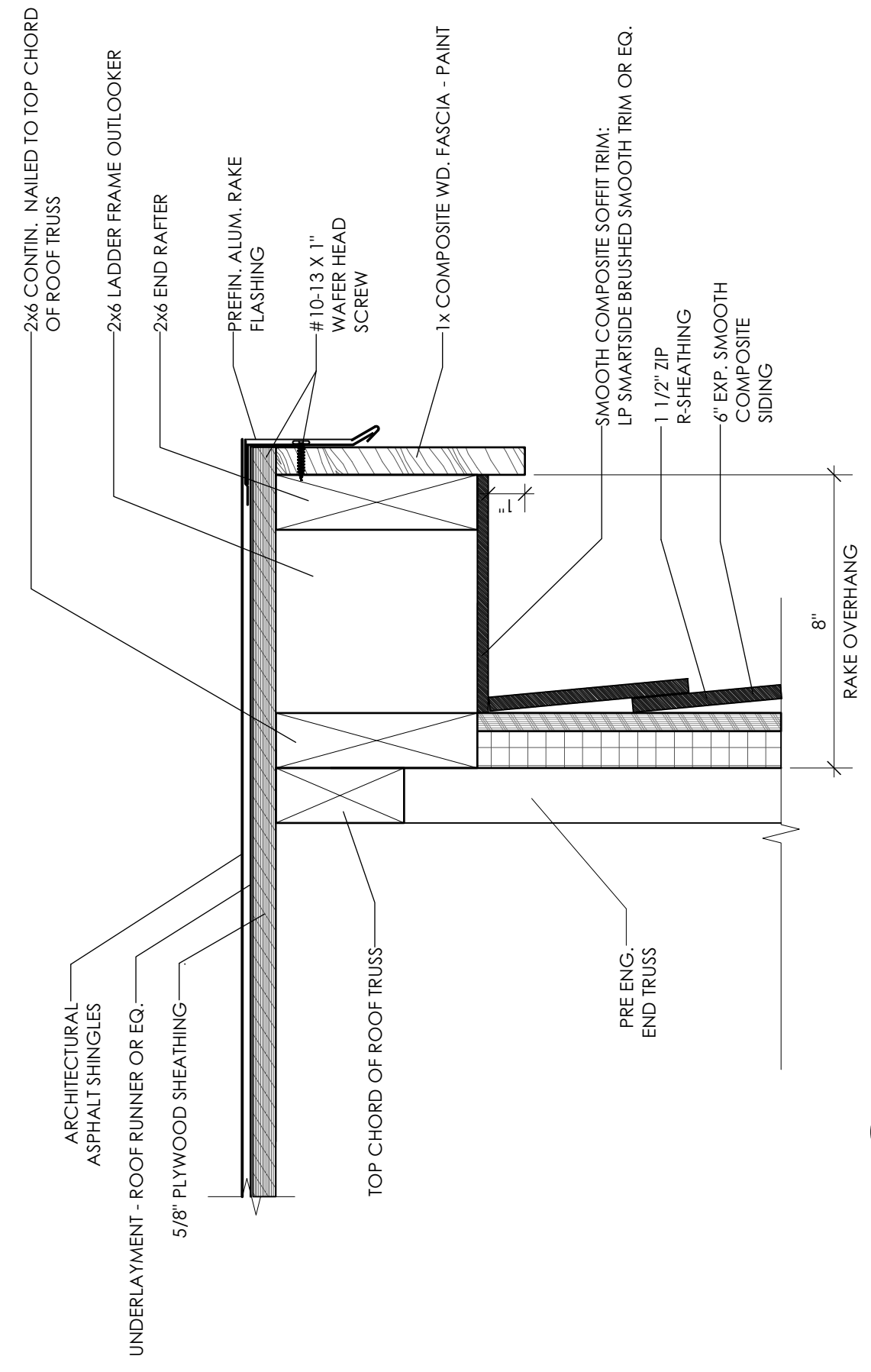




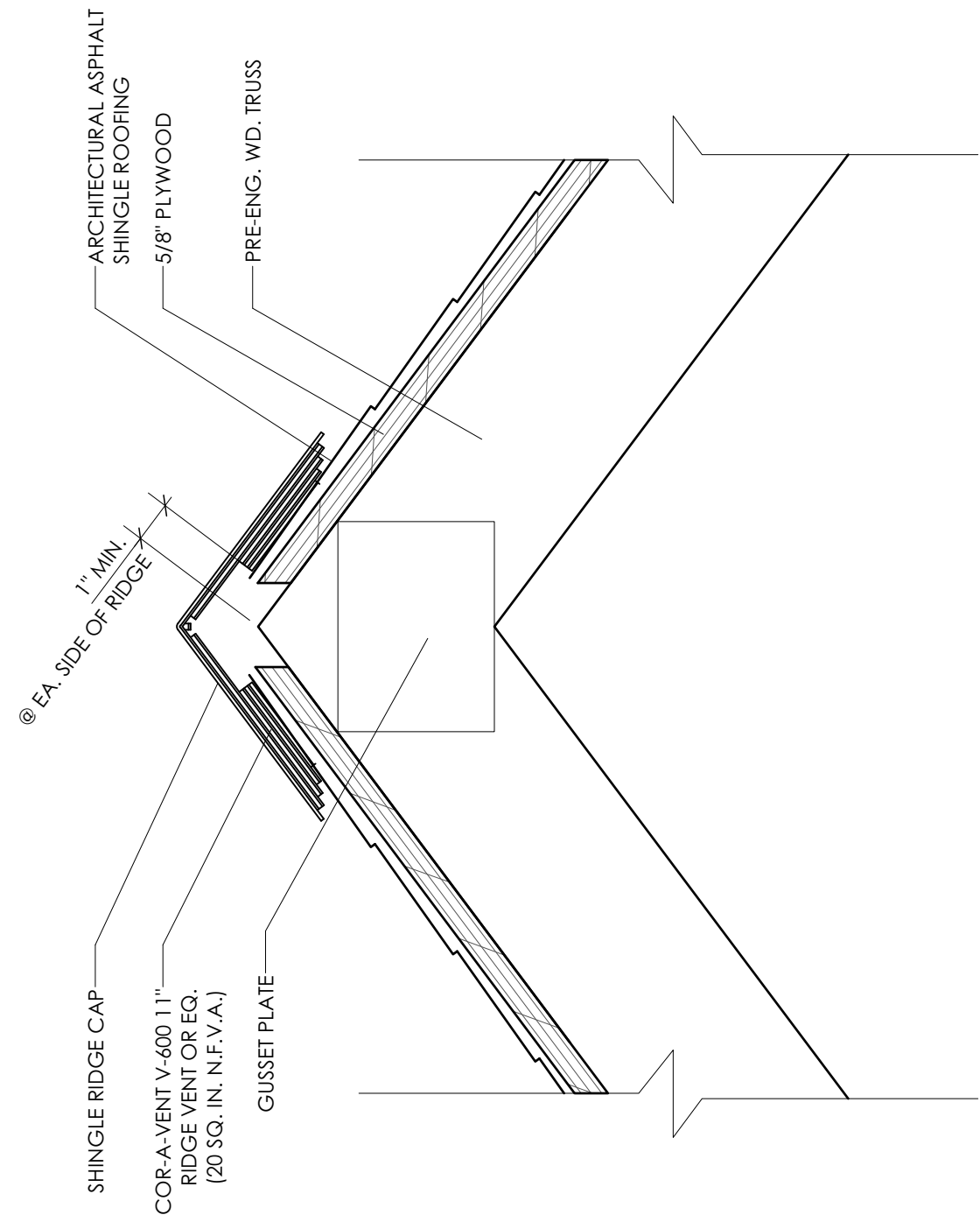
TRUSS BRACING IN ACCORDANCE WITH THE BUILDING CODE. REFER TO THE TRUSS MANUFACTURER'S INFORMATION FOR BRACING REQUIREMENTS. GOOD BRACING PRACTICES SHOULD BE USED. BRACING OF METAL PLATE CONNECTED WOOD TRUSSES BY TPI (TRUSS PLATE INSTITUTE) & SBCA (STRUCTURAL BUILDING COMPONENTS ASSOCIATION)

PRE-ENGINEERED WOOD ROOF TRUSSES @ 24\"/>

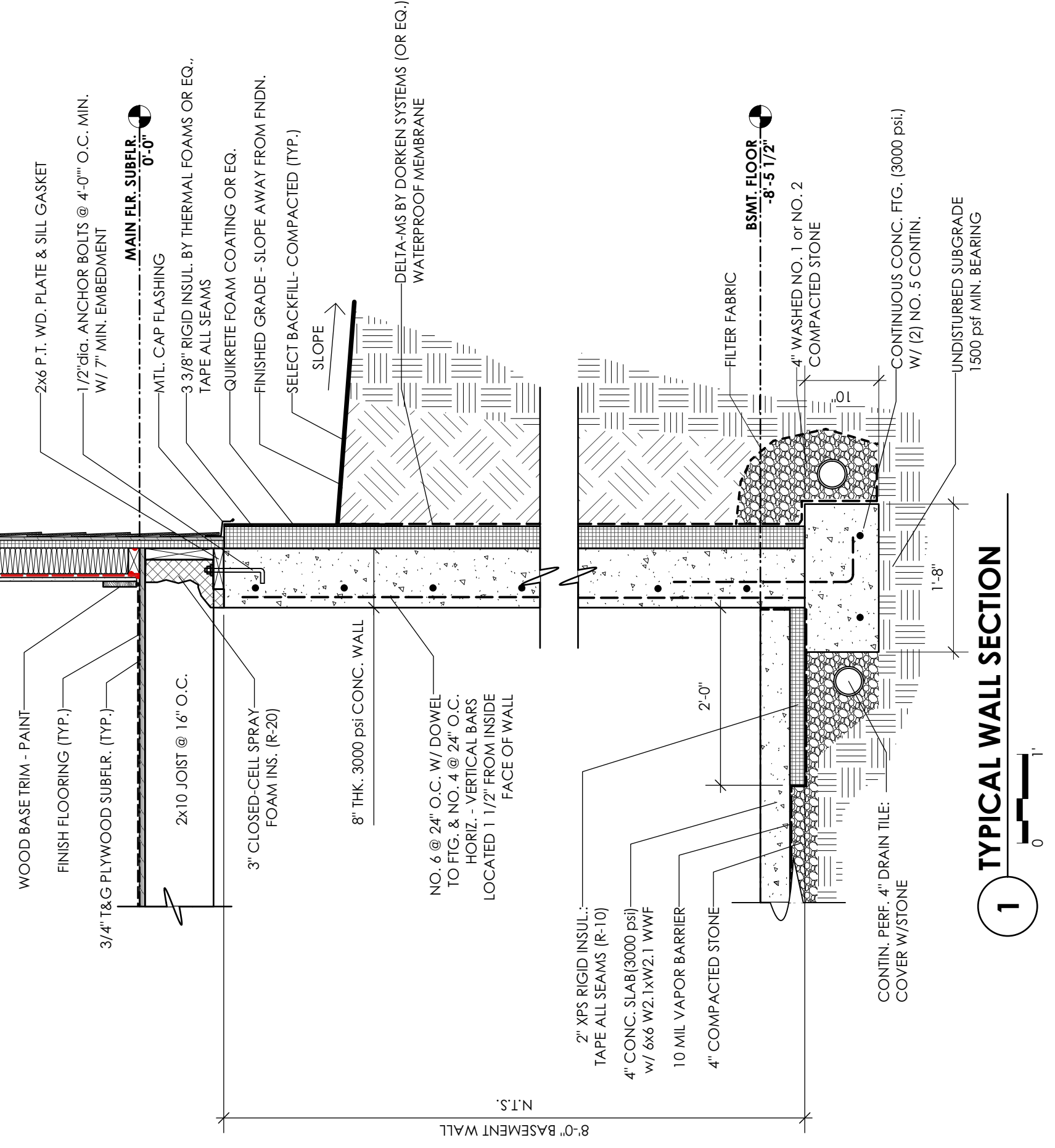
**2** GABLE DETAIL



**3** RIDGE DETAIL



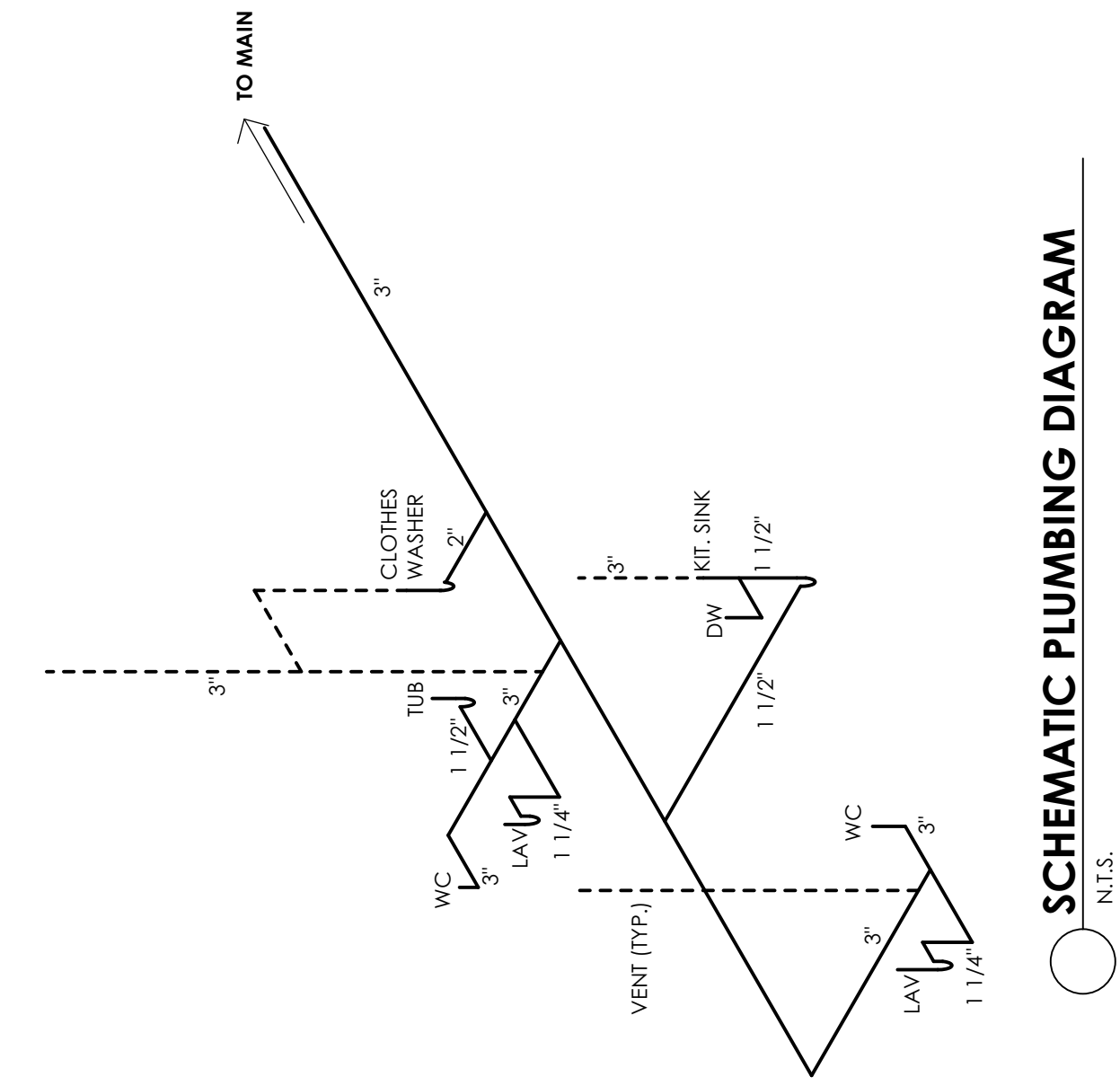
**1** TYPICAL WALL SECTION



**1** TYPICAL WALL SECTION







**SCHEMATIC PLUMBING DIAGRAM**  
 N.T.S.

**ELECTRICAL LEGEND**

- ⊕ DUPLEX RECEPTACLE
- ⊕ 220V DUPLEX RECEPTACLE
- ⊕ SINGLE POLE SWITCH
- ⊕ DOUBLE POLE SWITCH
- ⊕ TIMER SWITCH
- ⊕ LED RECESSED LIGHT FIXTURE
- ⊕ LED PENDANT LIGHT FIXTURE
- ⊕ SDC CEILING MOUNTED SMOKE & CARBON MONOXIDE ALARM (HARD WIRED INTERCONNECTED)
- ⊕ HD CEILING MOUNTED SMOKE ALARM (HARD WIRED INTERCONNECTED)
- ⊕ LED MEDICINE CABINET LIGHTING
- ⊕ LED WALL SCONCE
- ⊕ LED 2 LED STRIP LIGHT
- ⊕ LED 4 LED STRIP LIGHT
- ⊕ LED UNDER CABINET LED STRIP LIGHT
- ⊕ LED SURFACE MOUNT FIXTURE
- ⊕ LED SURFACE MOUNT DOWNLIGHT FIXTURE
- ⊕ EXHAUST FAN & LIGHT

**MECHANICAL SPECIFICATIONS**

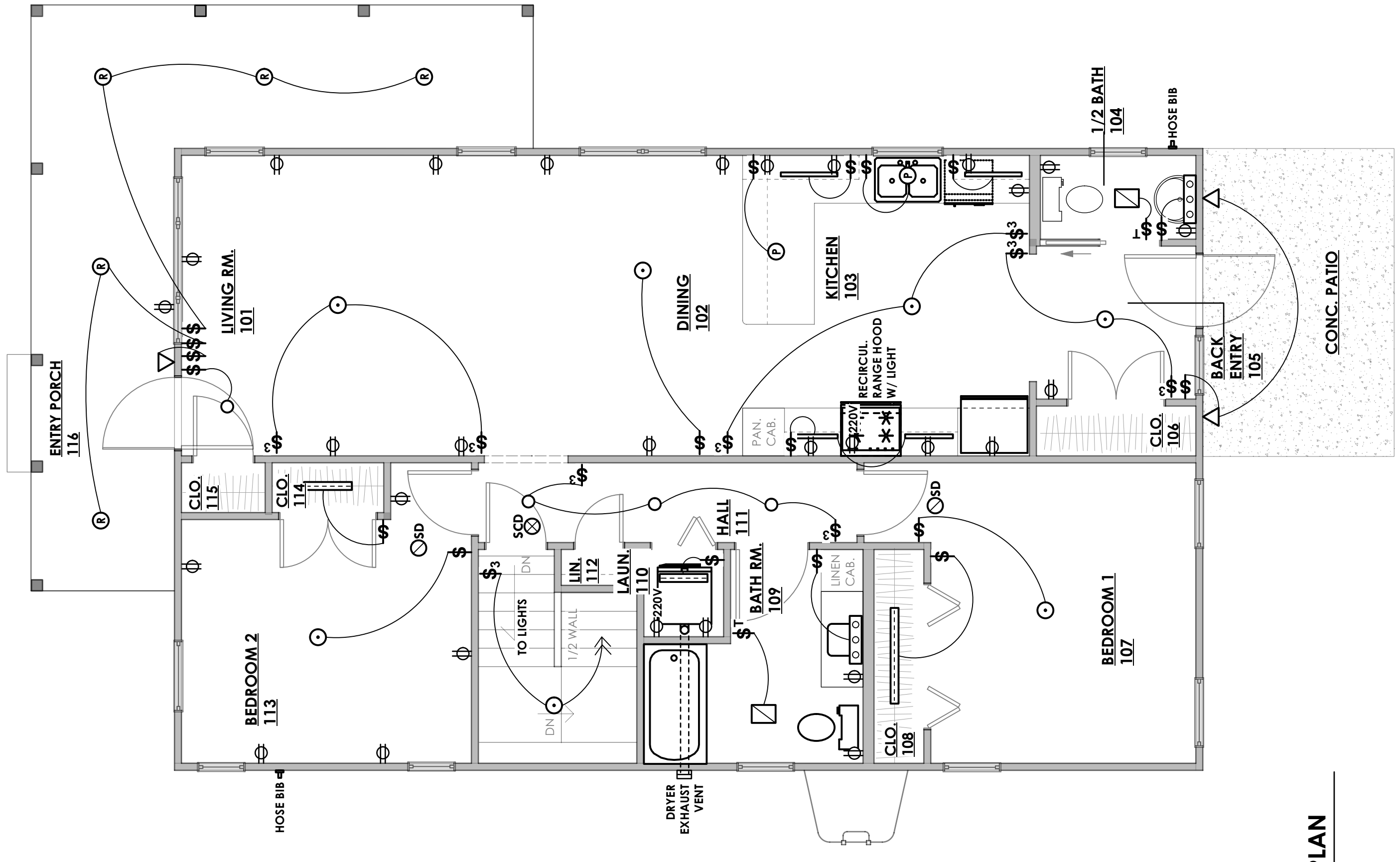
- ALL MECHANICAL SYSTEMS SHALL BE IN ACCORDANCE WITH LOCAL CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED CONTRACTOR SHALL PERFORM ALL WORK. THE CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMIT(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY MECHANICAL SYSTEM INSPECTIONS.
- DUCTED ASHP UNIT TO G.E. H.P. 8KW HEATER W/ 45A BREAKER, MODEL #UA7EH-08A, OR EQ.

**ELECTRICAL SPECIFICATIONS**

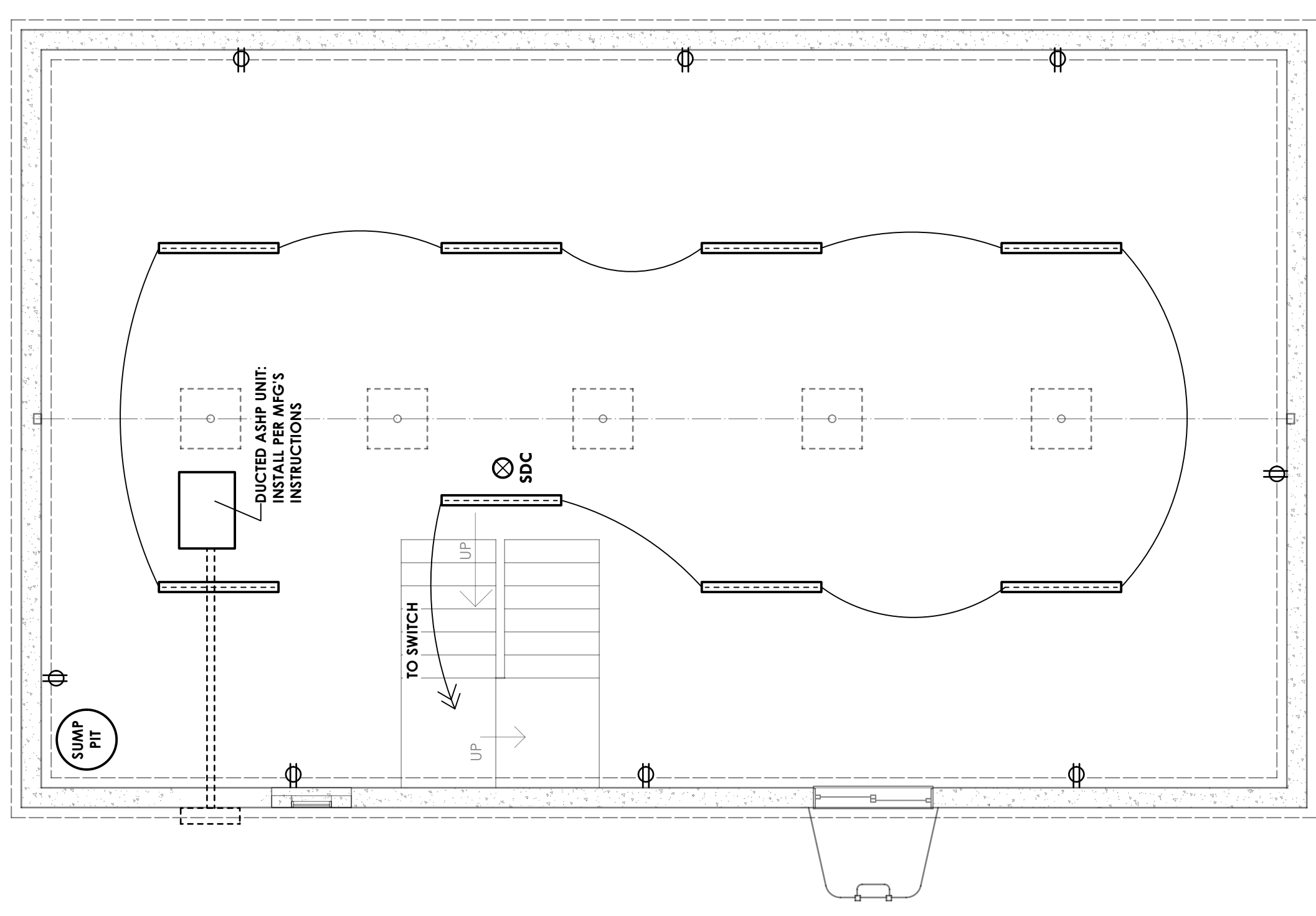
- ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH LOCAL CODES, NEC, NFPA, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED ELECTRICIAN SHALL PERFORM ALL WORK. THE ELECTRICIAN SHALL APPLY FOR ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMIT(S). THE ELECTRICIAN SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY ELECTRICAL INSPECTIONS.
- ALL EXPOSED WIRING TO BE SHIELDED BY METAL CONDUIT AS APPROVED BY TOWN OF CHEEKTOWAGA.
  - FIXTURES AS SELECTED BY OWNER.
  - PROVIDE ADDITIONAL DOCUMENTATION OF ELECTRICAL SCOPE AND EQUIPMENT AS REQUIRED BY TOWN.
  - RECEPTACLES SHALL BE PROVIDED WITH GFCI AS REQUIRED BY NFPA 70 AS INDICATED.
  - PROVIDE LED LAMPS PER FIXTURE MANUFACTURER REQUIREMENTS.

**PLUMBING SPECIFICATIONS**

- ALL PLUMBING SHALL BE IN ACCORDANCE WITH LOCAL CODES, AND 2020 RESIDENTIAL CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED PLUMBER SHALL PERFORM ALL WORK. THE PLUMBER SHALL APPLY FOR ALL NECESSARY PLUMBING PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMIT(S). THE PLUMBER SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY PLUMBING INSPECTIONS.



**MAIN FLOOR SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN**

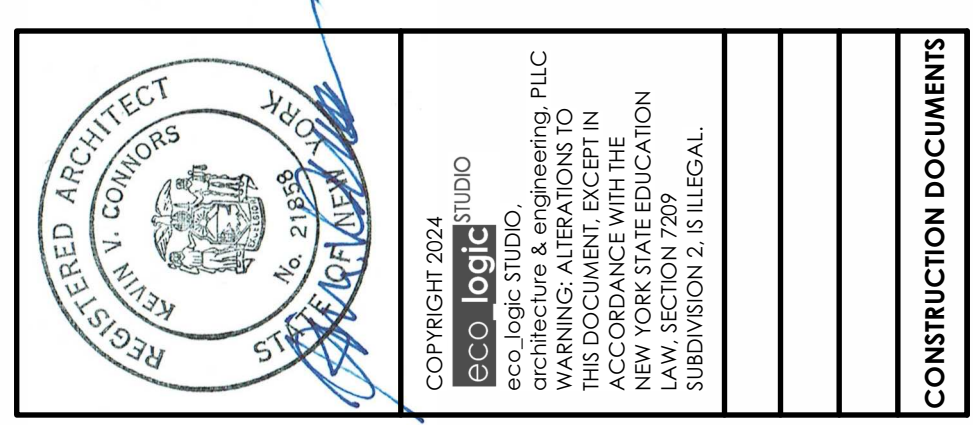


**BASEMENT SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN**

- NOTES:**
- ALL RECEPTACLES IN KITCHEN, BATH ROOMS & BASEMENT TO BE GFCI
  - PROVIDE SEPARATE CIRCUIT FOR EACH KITCHEN APPLIANCE
  - LIGHT FIXTURES AS SELECTED BY OWNER
  - ALL OUTDOOR RECEPTACLES TO BE GFCI & WATERPROOF
  - ALL RECESSED LIGHTS IN INSULATED SPACES SHALL HAVE INSULATED COVERS

# CHEEKTOWAGA SINGLE FAMILY INFILL

## 195 NORTHCREST AVENUE CHEEKTOWAGA, NEW YORK 14225



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 Cheektowaga, NY 14225  
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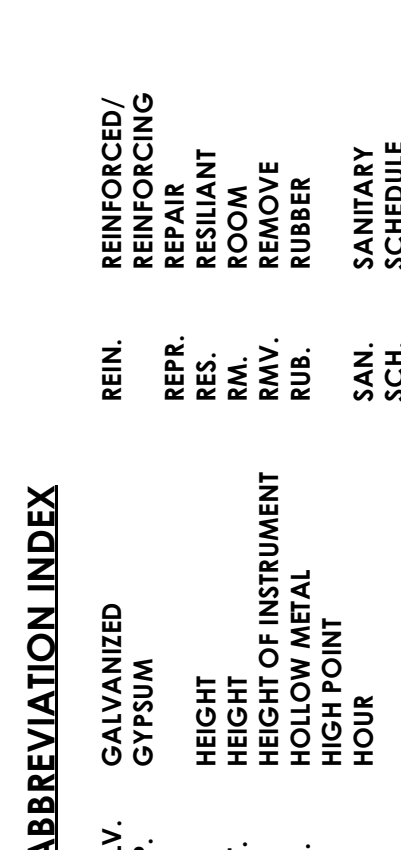
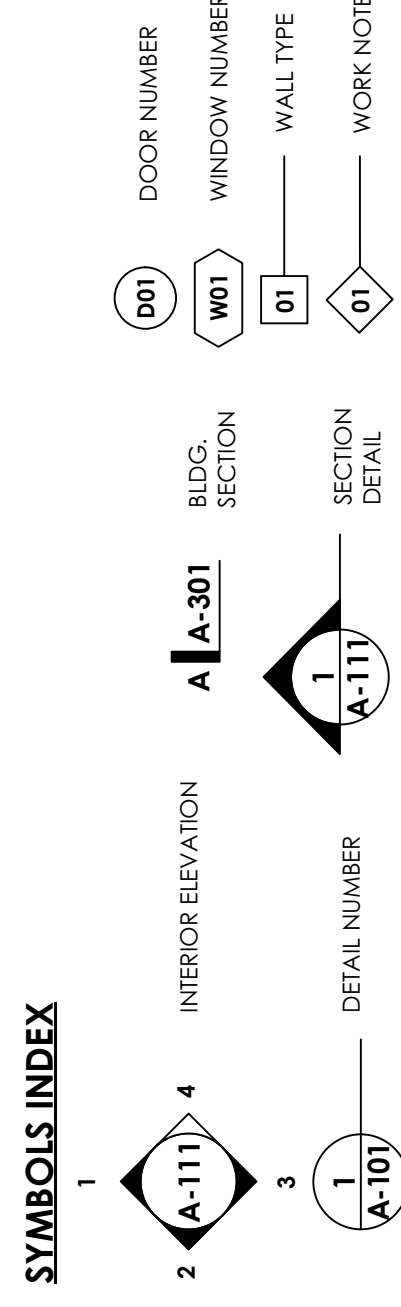
<b>BENLIC</b>
<b>CHEEKTOWAGA</b>
<b>INFILL</b>
195 Northcrest Avenue Cheektowaga, NY 14225
<b>NEW CONSTRUCTION</b>
Project # 2414
DRAWN BY: slh, gq
12-Nov-24
<b>TITLE SHEET &amp; SITE PLAN</b>
DWG. NO. <b>T-100</b>

- GENERAL NOTES:**
- CONPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
  - MAINTAIN INSURANCE AS REQUIRED BY NEW YORK STATE AND TOWN OF CHEEKTOWAGA.
  - OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
  - REVIEW AND VERIFY ALL EXISTING CONDITIONS AND THE SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - NO SUBSTITUTIONS WITHOUT AUTHORIZATION OF OWNER AND ARCHITECT.
  - PROVIDE NECESSARY EXHAUST SYSTEMS, PORTS OR ENCLOSURE TO PROPERLY VENTILATE AND COMPLETE THE WORK.
  - COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS USED IN CONSTRUCTION WORK.

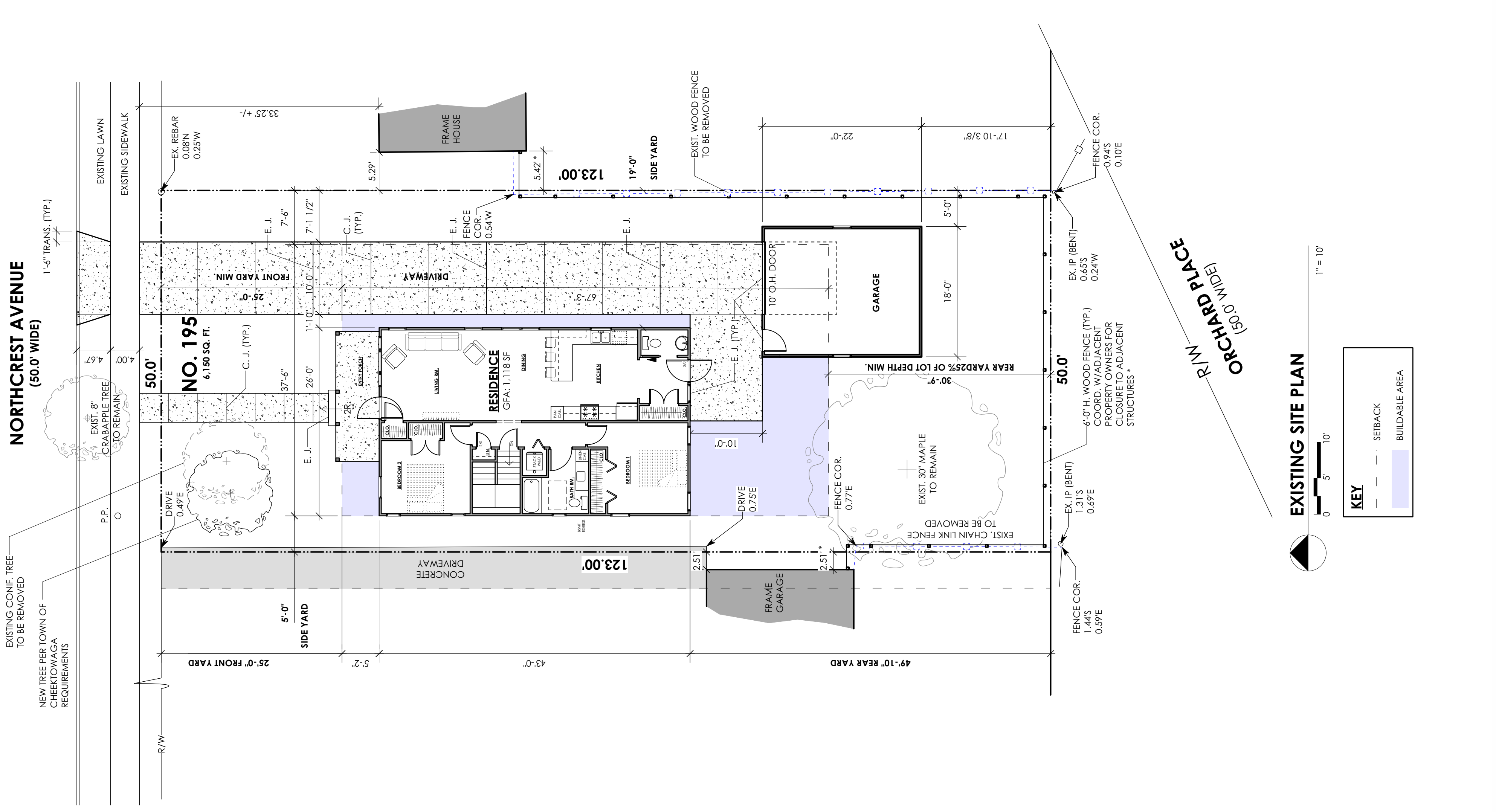
**SURVEY INFORMATION BY:**  
 KHEOPS ARCHITECTURE, ENGINEERING & SURVEY, DPC  
 392 PEARL STREET, BUFFALO, NEW YORK, 14202  
 SURVEY DATE: 02/22/2024  
 JOB NO.: 24NY16.03  
 PART OF THE HOLLAND LAND COMPANY  
 LOT 10, TOWNSHIP 11 RANGE  
 TOWN OF CHEEKTOWAGA, COUNTY OF ERIE,  
 STATE OF NEW YORK

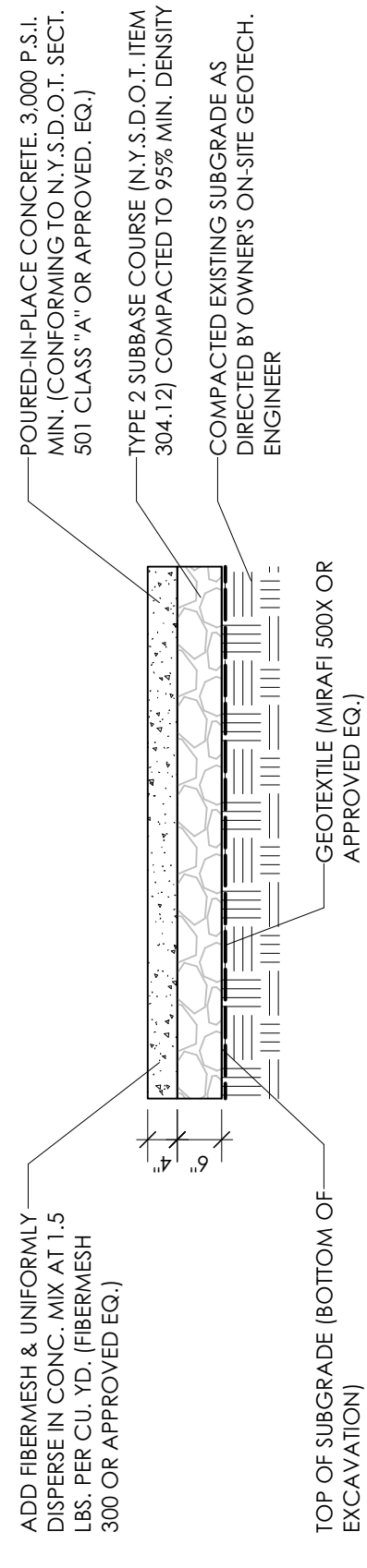
- RESIDENTIAL (R)**  
**LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:**  
 THE FOLLOWING ARE MINIMUM LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:
- MINIMUM AREA OF LOT IN SQUARE FEET:**  
 7,200 SF (INTERIOR LOT) \*  
 ACTUAL: 6,150 SF
- MINIMUM LOT WIDTH IN FEET:**  
 INTERIOR LOT: 60 \*  
 ACTUAL: 50
- MAXIMUM BUILDING HEIGHT IN FEET:**  
 SINGLE OR TWO-FAMILY DWELLINGS: 30'  
 ACCESSORY BUILDINGS: ONE STORY < 12'  
 ACTUAL: 15'-0"
- MINIMUM FRONT YARD IN FEET:**  
 25'  
 ACTUAL: 25'
- MINIMUM SIDE YARD IN FEET:**  
 10% LOT WIDTH EA. SIDE & 25% LOT WIDTH TOTAL; NOT MORE THAN 25' NECESSARY  
 ACTUAL: 5' WEST SIDE, 19'-0" EAST SIDE
- MINIMUM REAR YARD IN FEET:**  
 GREATER OF 25% OF LOT DEPTH (30'-9" & 25' MIN.  
 ACTUAL: 49'-10"
- MINIMUM LIVEABLE GROUND FLOOR AREA IN SQUARE FEET:**  
 903 SF  
 ACTUAL: 1,118 SF

\* NOTE: SEE SPECIAL PERMIT DATED 21 AUGUST 2024 (APPROVED)



- DRAWING LIST:**
- T-100 TITLE SHEET & SITE PLAN
  - C-101 SITE DETAILS
  - A-100 GENERAL NOTES & ARCHITECTURAL SPECIFICATIONS
  - A-101 FOUNDATION PLAN
  - A-201 FLOOR PLAN & SCHEDULES
  - A-202 ELEVATIONS
  - A-301 WALL SECTION & DETAILS
  - A-302 PORCH DETAILS
  - MEP-101 BASEMENT PLAN, FLOOR PLAN & PLUMBING DIAGRAM

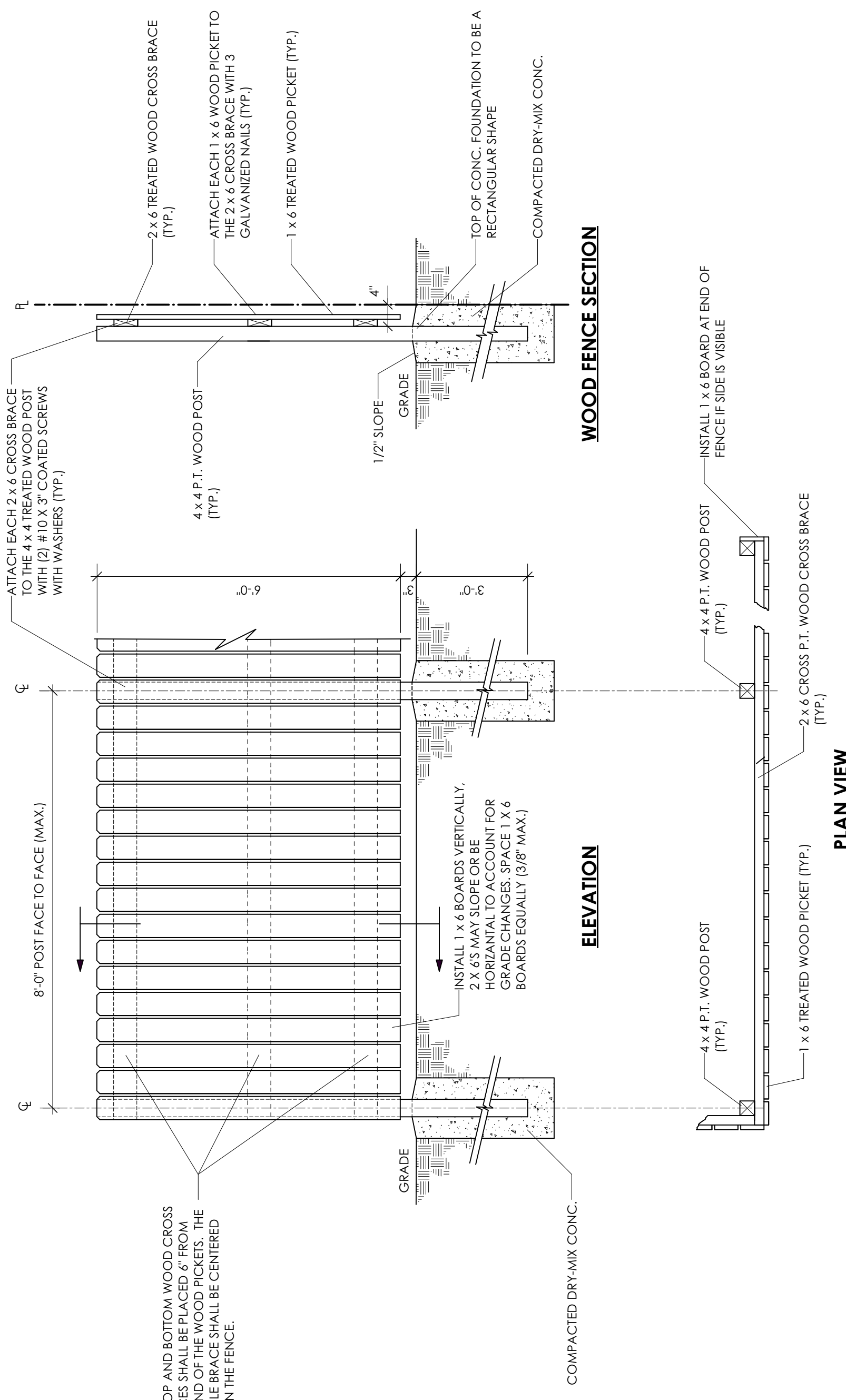




**1 CONCRETE PAVING SECTION**  
 1/2" = 1'-0"

**NOTES:**

- ALL CONCRETE FOR SIDEWALKS SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 501. CONSTRUCTION SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 608.3.
- ALL CONCRETE DRIVEWAY AREAS SHALL BE SCORED 10' ON CENTER (OR AS NOTED ON SHEET T-100) WITH TOOLED CONTROL JOINTS 1' INCH DEEP, WHILE CONCRETE IS GREEN.
- EXPANSION JOINTS IN CONCRETE AREAS SHALL BE NO MORE THAN 05' ON CENTER AND IT INTERFACES BETWEEN DRIVEWAYS, SIDEWALK SLABS, AND FOUNDATIONS. ALL SIDEWALK EDGES SHALL BE TOOLED WITH 1/2" RADIUS WITHIN 24 HOURS OF POURING CONCRETE. INSTALL FELT BOARD EXPANSION JOINT, SCORE FELT AND REMOVE TO DEPTH OF 1/2" BELOW SLAB. PROVIDE SEAL WITH 1/2" INCH PRE-MOLDED RESILIENT JOINT FILLER AT ALL EXPANSION JOINTS.
- IN DRIVEWAY AREAS CONCRETE THICKNESS SHALL BE INCREASED TO 4 INCHES MINIMUM.
- CONCRETE SHALL HAVE A SLUMP OF NO MORE THAN 5" AND AN AIR ENTRAINMENT OF 4-6%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN CONFORMANCE WITH ALL A.C.I. REQUIREMENTS.



**2 WOOD FENCE DETAILS**  
 1/2" = 1'-0"

## GENERAL NOTES

- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
- THE CONTRACTOR IS TO MAINTAIN INSURANCES AS REQUIRED BY NEW YORK STATE AND THE TOWN OF CHEEKTOWAGA.
- BENLIC IS TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
- THE CONTRACTOR IS TO REVIEW AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- NO SUBSTITUTIONS ARE TO BE MADE WITHOUT THE AUTHORIZATION OF THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT OR ENCLOSURE TO PROTECT PROJECT AND COMPLETE THE WORK BEHIND DAM. USE TO ENSURING CONSTRUCTION CAUSED BY THE WORK TO MATCH ORIGINAL CONSTRUCTION & FINISH.
- PROPERLY DISPOSE OF AND REMOVE DEBRIS FROM THE WORK SITE DAILY OR STORE IN APPROPRIATE CONTAINER.
- COMPLY WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS.
- ALL COLORS AS INDICATED OR AS SELECTED BY ARCHITECT.
- THE CONTRACTOR IS TO PROVIDE PROTECTIVE COVERINGS, SHIELDS, WINGS, SAMPLES, AND SUBSTITUTION REQUESTS TO BENLIC FOR APPROVAL. THE CONTRACTOR IS TO REVIEW, COORDINATE, AND VERIFY THAT SUBMITTALS MEET THE SPECIFIED REQUIREMENTS PRIOR TO SUBMISSION.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT UNITS AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS REQUIRED FOR THE WORK. COORDINATE TOWN W/BENLIC INSPECTOR.
- THE CONTRACTOR IS TO REQUEST FINAL INSPECTION BY THE ARCHITECT PRIOR TO ISSUE OF FINAL CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL WORK IDENTIFIED IN PREVIOUS INSPECTIONS. THE CONTRACTOR WILL REQUEST A REINSPECTION BY THE ARCHITECT.
- THE CONTRACTOR IS TO SUPPLY THE OWNER WITH OPERATIONS AND MAINTENANCE MANUAL AND WARRANTIES OF ALL PRODUCTS AND SYSTEMS AT CLOSEOUT.
- THE CONTRACTOR IS TO SUBMIT A WRITTEN LIST OF ALL SUBCONTRACTORS PROPOSED FOR THE WORK. THE OWNER AND ARCHITECT RESERVE THE RIGHT TO REJECT THE USE OF A SUBCONTRACTOR.
- THE CONTRACTOR IS TO PROVIDE AND MAINTAIN TEMPORARY FENCING, BARRICADES, SIGNS, SAFETY LIGHTS, ETC. TO PROTECT THE WORK AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DOCUMENTATION OF THE CONSTRUCTION AT THE PROJECT SITE IN A PROFESSIONAL AND READABLE MANNER AND SUBMIT TO THE OWNER AT SUBSTANTIAL COMPLETION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITIES AND FACILITIES TO PERFORM THE WORK.
- THE CONTRACTOR SHALL COORDINATE ALL TRADES AND SEQUENCE OF CONSTRUCTION TO ENSURE CONTINUITY OF THE AIR BARRIER SYSTEM. COORDINATE WITH OWNER'S INDEPENDENT TESTING AGENCY FOR INSPECTION OF THE AIR BARRIER SYSTEM. CONTRACTOR TO REMEY ALL CONDITIONS OUT OF COMPLIANCE WITH THE AIR BARRIER SYSTEM. CONTRACTOR TO PROVIDE REPAIRS TO MAINTAIN THE AIR BARRIER. THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED.

- THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR PROTECTION OF ADJACENT FACILITIES BY WORK AT NO COST TO OWNER. MATCH EXIST.
- CONTRACTOR TO REMOVE ANY AND ALL MISCELLANEOUS DEBRIS.
- CONCRETE PAVING TO HAVE BROOM FINISH. PROVIDE REINFORCING AS INDICATED.
- CONTRACTOR TO PROVIDE OWNER WITH WRITTEN INSTRUCTIONS FOR MAINTENANCE OF LANDSCAPE WORK.
- DOOR SET TO BE 18" x 22" W/ 10" W x 8" H. METAL O.H. DOOR & ELEC. OPERATOR. GARAGE SIDING TO MATCH HOUSE.

- WOOD FRAMING MEMBERS NOT IN CONTACT WITH CONCRETE OR MASONRY TO BE SFR NO. 2 GRADE OR BETTER. ALL WOOD MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED WITH AMERICAN WOOD PRESERVERS BUREAU LP-2 SOFTWOOD LUMBER AND PLYWOOD PRESSURE TREATED WITH WATERBORNE SALT PRESERVATIVES FOR USE ABOVE GROUND.
- INSULATED SHEATHING WITH INTEGRAL WEATHER RESISTIVE AND AIR BARRIER TO BE ZIP R SHEATHING BY HUBER ENGINEERED WOODS OR APPROVED EQUAL. PROVIDE MANUFACTURER'S RECOMMENDED SEAM AND FLASHING TAPE OR SEALANT.
- ROOF SHEATHING TO APA RATED PLYWOOD STRUCTURAL SHEATHING WITH EXPOSURE 1 CLASSIFICATION.

- ARCH, SHINGLES TO BE CERTANTEED LANDMARKPRO OR EQ. UNDERLAYMENT TO BE GRACE VYCOR ICE & WATER SHIELD AND ROOF RUNNERS SYNTHETIC UNDERLAYMENT OR EQ.
- PROVIDE DOOR HARDWARE IN ACCORDANCE WITH BHMA A156. COORDINATE WITH OWNER ON KEYING. WINDOWS SHALL BE EQUAL TO PELLA LIFESTYLE METAL CLAD WOOD:
  - UNIT TYPE - SEE ELEVATIONS & SCHEDULE
  - EXTERIOR FINISH - WHITE OR BEIGE
  - GLASS INFORMATION - U, LOW E2, WIAGRON, 95%- 96% UV, BLOCKAGE
  - HARDWARE TYPE: PELLA STD. COLOR AS SELECTED BY THE ARCHITECT.

- DOOR TYPES SOLID CORE MASONITE OR THERMA-TRU INSUL.
- PROVIDE DOOR HARDWARE IN ACCORDANCE WITH BHMA A156. COORDINATE WITH OWNER ON KEYING.
- WINDOWS SHALL BE EQUAL TO PELLA LIFESTYLE METAL CLAD WOOD:
  - UNIT TYPE - SEE ELEVATIONS & SCHEDULE
  - EXTERIOR FINISH - WHITE OR BEIGE
  - GLASS INFORMATION - U, LOW E2, WIAGRON, 95%- 96% UV, BLOCKAGE
  - HARDWARE TYPE: PELLA STD. COLOR AS SELECTED BY THE ARCHITECT.

## ARCHITECTURAL SPECIFICATIONS

### SITE WORK

- CONTRACTOR TO PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR PROTECTION OF ADJACENT FACILITIES BY WORK AT NO COST TO OWNER. MATCH EXIST.
- CONTRACTOR TO REMOVE ANY AND ALL MISCELLANEOUS DEBRIS.
- CONCRETE PAVING TO HAVE BROOM FINISH. PROVIDE REINFORCING AS INDICATED.
- CONTRACTOR TO PROVIDE OWNER WITH WRITTEN INSTRUCTIONS FOR MAINTENANCE OF LANDSCAPE WORK.
- DOOR SET TO BE 18" x 22" W/ 10" W x 8" H. METAL O.H. DOOR & ELEC. OPERATOR. GARAGE SIDING TO MATCH HOUSE.

### WOOD, PLASTIC, & COMPOSITES

- WOOD FRAMING MEMBERS NOT IN CONTACT WITH CONCRETE OR MASONRY TO BE SFR NO. 2 GRADE OR BETTER. ALL WOOD MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED WITH AMERICAN WOOD PRESERVERS BUREAU LP-2 SOFTWOOD LUMBER AND PLYWOOD PRESSURE TREATED WITH WATERBORNE SALT PRESERVATIVES FOR USE ABOVE GROUND.
- INSULATED SHEATHING WITH INTEGRAL WEATHER RESISTIVE AND AIR BARRIER TO BE ZIP R SHEATHING BY HUBER ENGINEERED WOODS OR APPROVED EQUAL. PROVIDE MANUFACTURER'S RECOMMENDED SEAM AND FLASHING TAPE OR SEALANT.
- ROOF SHEATHING TO APA RATED PLYWOOD STRUCTURAL SHEATHING WITH EXPOSURE 1 CLASSIFICATION.

### THERMAL & MOISTURE

- ARCH, SHINGLES TO BE CERTANTEED LANDMARKPRO OR EQ. UNDERLAYMENT TO BE GRACE VYCOR ICE & WATER SHIELD AND ROOF RUNNERS SYNTHETIC UNDERLAYMENT OR EQ.
- PROVIDE DOOR HARDWARE IN ACCORDANCE WITH BHMA A156. COORDINATE WITH OWNER ON KEYING. WINDOWS SHALL BE EQUAL TO PELLA LIFESTYLE METAL CLAD WOOD:
  - UNIT TYPE - SEE ELEVATIONS & SCHEDULE
  - EXTERIOR FINISH - WHITE OR BEIGE
  - GLASS INFORMATION - U, LOW E2, WIAGRON, 95%- 96% UV, BLOCKAGE
  - HARDWARE TYPE: PELLA STD. COLOR AS SELECTED BY THE ARCHITECT.

### OPENINGS

- DOOR TYPES SOLID CORE MASONITE OR THERMA-TRU INSUL.
- PROVIDE DOOR HARDWARE IN ACCORDANCE WITH BHMA A156. COORDINATE WITH OWNER ON KEYING.
- WINDOWS SHALL BE EQUAL TO PELLA LIFESTYLE METAL CLAD WOOD:
  - UNIT TYPE - SEE ELEVATIONS & SCHEDULE
  - EXTERIOR FINISH - WHITE OR BEIGE
  - GLASS INFORMATION - U, LOW E2, WIAGRON, 95%- 96% UV, BLOCKAGE
  - HARDWARE TYPE: PELLA STD. COLOR AS SELECTED BY THE ARCHITECT.

## STRUCTURAL SPECIFICATIONS

### FOUNDATIONS

- EXPOSED SUBGRADE SOILS MAY BE SENSITIVE TO DISTURBANCE AND A REDUCTION IN STRENGTH WHEN IN CONTACT WITH MOISTURE. CONTROL SUBFACE AND CIRCUMJACENT WATER BY APPROPRIATE MEANS AND AVOID CONSTRUCTION TRAFFIC OVER EXPOSED SUBGRADES.
- FOUNDATIONS SHALL BE PLACED CLEANED, LEVEL SOIL AT THE ELEVATIONS NOTED ON PLAN. IN NO CASES SHALL EXTERIOR CONSTRUCTION BEAR AT AN ELEVATION OF LESS THAN FOUR FEET BELOW EXTERIOR FINISHED GRADE.
- ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND. COMPACT FOOTING SUBGRADES TO A MINIMUM OF 95% OPTIMUM DENSITY AS MEASURED BY ASTM D1557. CONCRETE FOR FOOTINGS SHALL BE PLACED THE DAY AFTER EXCAVATION OR PROTECT SUBGRADE BY IMMEDIATELY PLACING A THREE INCH THICK LEAN CONCRETE W/ 4" MAX. AGGREGATE.
- ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED BEFORE BACKFILLING. BACKFILL SHALL BE UNIFORMLY PLACED AND COMPACTED ON BOTH SIDES OF WALLS AT THE SAME TIME.
- SHOULD OBSTRUCTIONS OR OTHERWISE UNDESIRABLE SOILS CONDITIONS BE ENCOUNTERED, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

### SUBBASE

- THE SUBBASE FOR THE SLAB ON GRADE SHALL CONSIST OF AN EIGHT INCH THICK #2 CRUSHED STONE OR CRUSHER RUN STONE COMPLYING WITH NYSDOT ITEM 304.03 THOROUGHLY COMPACTED TO 95% OPTIMUM DENSITY (MODIFIED PROCTOR ASTM D-1557). PRIOR TO PLACEMENT, SUBGRADE SHALL BE THOROUGHLY PROOF-ROLLED USING A MINIMUM 20-TON VIBRATORY ROLLER.
- THE CONTRACTOR SHALL HAVE COMPACTION TESTS TAKEN TO ENSURE PROPER COMPACTION OF FILL.

### CONCRETE

- CONCRETE SHALL BE THE STANDARD DESIGN MIX OF ANY OF THE LOCAL READY-MIX SUPPLIERS APPROVED BY THE NY S.D.O.T. AND MEETING THE FOLLOWING MINIMUM REQUIREMENTS (DESIGN MIXES TO BE SUPPLIED TO THE ARCHITECT FOR APPROVAL):
  - 4000 PSI, 3' SLUMP, 6% ENTRAINED, 0-45 MAX W/C RATIO
- THE CONTRACTOR SHALL TAKE FOUR (4) STANDARD CYLINDERS FOR EACH 50 CU. YD. OF CONCRETE POURED AND 28-DAY CYLINDERS.
- PROTECTION FOR REINFORCING IN CONCRETE:
  - FOOTINGS = 3" COVER BOTTOM AND SIDES
  - WALLS AND GRADE BEAMS = 2" SIDES AND 3" BOTTOM PIERS = 2" SIDES
  - FLOOR SLABS = 1" TOP AND BOTTOM
- ALL CONCRETE REINFORCEMENT SHALL BE DETAILED AND PLACED IN FULL ACCORDANCE WITH THE ACI CODE OF PRACTICE.
- MINIMUM REINFORCEMENT LAYS = 36-DIA. FOR BARS AND 6" BEYOND FIRST INTACT CROSS WIRES FOR WELDED WIRE MESH.
- WELDED WIRE MESH TO BE PLACED IN UPPER 1/3RD OF SLAB TYPICALLY.
- BARS MARKED CONTINUOUS SHALL BE RUN CONTINUOUS THROUGH THE WALLS, AROUND CORNERS, LAPPED AT NECESSARY SPLICES AND HOOKED AT ENDS. REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- PROVIDE 1/2" X 3" CONTINUOUS TOP AND BOTTOM OF ALL CONCRETE WALLS AND GRADE BEAMS, UNLESS OTHERWISE SPECIFIED.
- PROVIDE 1/2" X 3" LONG PLACED DIAGONALLY ACROSS EACH REINTEGRANT CORNER OF SLABS AND WALLS.
- SUPPORT REINFORCING BARS IN ACCORDANCE WITH THE ACI CODE OF STANDARD PRACTICE. USE GALVANIZED OR STAINLESS STEEL EXCEPT WHERE BAR SUPPORTS ARE IN CONTACT WITH EXPOSED SURFACES. IN WHICH CASE THEY SHALL BE GALVANIZED AND PLASTIC TIPPED.

### PREFABRICATED ROOF TRUSS UNITS

- SUBMIT PRODUCT DATA FOR LUMBER, METAL CONNECTOR PLATES, HARDWARE, FABRICATION PROCESS, FASTENERS AND METAL FRAMING ANCHORS. SHOP DRAWINGS INDICATING SPECIES GROUP, SIZES AND STRESS GRADES OF LUMBER TO BE USED: PITCH, SPAN, CAMBER, CONFIGURATION AND SPACING FOR TRUSSES. PROVIDE DESIGN VALUES, DESIGN RESISTION VALUES, AND LOCATION OF METAL CONNECTOR PLATES, BEARING ANCHORAGE DETAILS.
- THE DESIGN OF THESE PREFABRICATED BUILDING COMPONENTS, FOR THE FLOOR AND ROOF LOADS LOADING, SHALL BE THE RESPONSIBILITY OF THE FABRICATOR. INCLUDE DESIGN ANALYSIS INDICATING ALLOWABLE STRESSES OF MATERIALS USED, STRESS DIAGRAMS AND CALCULATIONS, AND OTHER INFORMATION NEEDED FOR REVIEW THAT HAVE BEEN SIGNED AND SEALED BY A QUALIFIED ENGINEER, LICENSED TO PRACTICE IN THE JURISDICTION WHERE THE PREFABRICATED WOOD UNITS WILL BE INSTALLED. RESPONSIBILITY FOR THEIR PREPARATION SHALL REST WITH THE FABRICATOR'S ENGINEER(S).
- MINIMUM DESIGN LOADINGS:
  - PREFABRICATED ROOF TRUSSES
    - SEE PLANS FOR ADDITIONAL REQUIREMENTS
  - TOP CHORDS LL = 55 PSF, 10 PSF DL
  - BOTTOM CHORDS DL = 5 PSF
  - WIND LOAD WL = 10 PSF UP/LIFT

ROOF CONSTRUCTION WHERE TRUSSES ARE BUILT OVER TRUSSES AS INDICATED ON THE PLANS SHALL BE DESIGNED WITH THE ADDITIONAL DEAD LOAD OF THE TRUSSES AND THE TOP CHORD SHALL BE DIRECTLY ON THEM.

- PREFABRICATED TRUSSES INCLUDE PLANAR STRUCTURAL UNITS CONSISTING OF HIGH QUALITY CHORD AND WEB COMPONENTS METAL PLATE CONNECTED MEMBERS WHICH HAVE BEEN CUT AND ASSEMBLED PRIOR TO DELIVERY TO THE JOB SITE.
- COMPLY WITH APPLICABLE REQUIREMENTS OF NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, PUBLISHED BY NATIONAL FOREST ASSOCIATION (N.F.P.A.). COMPLY WITH FS 20 AND WITH APPLICABLE RULES OF THE RESPECTIVE GRADING/INSPECTION AGENCIES FOR SPECIES GRADE OF LUMBER AND THE APPLICABLE RULES OF THE RESPECTIVE GRADING/INSPECTION AGENCIES FOR THE FABRICATION PROCESS. TREATMENT (IF ANY), HANDLING, AND ERECTION, SUBMIT CERTIFICATE SIGNED BY AN OFFICER OF FABRICATING FIRM, INDICATING THAT UNITS TO BE SUPPLIED FOR PROJECT COMPLY WITH INDICATED REQUIREMENTS.
- ERECT AND BRACE UNITS TO COMPLY WITH APPLICABLE REQUIREMENTS OF REFERENCED TPI STANDARDS. WHERE UNITS DO NOT FIT, RETURN THEM TO THE FABRICATOR AND REPLACE WITH UNITS OF CORRECT SIZE. DO NOT ALTER UNITS IN FIELD. ERECT UNITS WITH PLANE OR TRUSS WEBS VERTICAL (PLUMB) AND PARALLEL TO EACH OTHER, LOCATED ACCURATELY AT DESIGN SPACINGS INDICATED. JOIST UNITS IN PLACE BY MEANS OF JOISTS BY OUT-OF-PLANE BENDING OR OTHER CAUSES. ANCHOR UNITS SECURELY AT ALL BEARING POINTS TO COMPLY WITH METHODS AND DETAILS INDICATED. INSTALL PERMANENT BRACING AND RELATED COMPONENTS TO ENABLE UNITS TO MAINTAIN DESIGN SPACING, WITH STAND LIVE AND DEAD LOADS INCLUDING LATERAL LOADS, AND COMPLY WITH OTHER INDICATED REQUIREMENTS. DO NOT CUT OR REMOVE TRUSS OR JOIST MEMBERS.
- MEMBERS MUST BE HELD STRAIGHT AND PLUMB AT THEIR DESIGN SPACING WHILE ALL BRACING IS APPLIED. LATERAL BRACING SHOULD BE INSTALLED AS SPECIFIED BY MANUFACTURER AT SUPPORT LOCATIONS.
- TRUSSES SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS. TRUSSES SHALL NOT BE CUT, NOTED, OR NOT CUT OR REMOVE AND PORTION OF MEMBERS, CHORDS, OR WEBS. NAILING GUIDELINES FOLLOW APA RECOMMENDATIONS FOR NAILING SHEATHING TO TOP CHORDS OF TRUSSES, 8D BOX, 4D COMMON OR 4D DEFORMED SHANK NAILS MAY BE USED TO NAIL PLYWOOD TO TOP CHORD. STAGGER NAILS TO PREVENT SPLITTING OF THE CHORD. SPACE NAILS 1-1/2" FROM END AND 4" TO 8" APART.
- NAIL UNITS TO BEARING WITH ONE 8D BOX NAIL THROUGH THE BOTTOM CHORD ON EACH SIDE OF THE WEB. PROVIDE MINIMUM OF 3" BEARING. CONCENTRATED LOADS IN EXCESS OF 30 POUNDS SHOULD NOT BE HUNG FROM BOTTOM CHORDS.

### GENERAL STRUCTURAL CRITERIA

- PRINCIPAL DESIGN LOADS:
  - A. SEI/ASCE 7-05
  - B. 2020 BUILDING CODE OF NYS
- DESIGN LOADS

FLOOR LIVE LOAD = 100 PSF LOBBY/CORRIDORS/PUBLIC  
40 PSF ROOMS

ROOF SNOW LOAD = CONCRETE FOR FOOTINGS SHALL BE PLACED THE DAY AFTER EXCAVATION OR PROTECT SUBGRADE BY IMMEDIATELY PLACING A THREE INCH THICK LEAN CONCRETE W/ 4" MAX. AGGREGATE.

Ps = 50 PSF

Cs = 35 PSF

Is = 10

Ct = 1.0

WIND LOAD

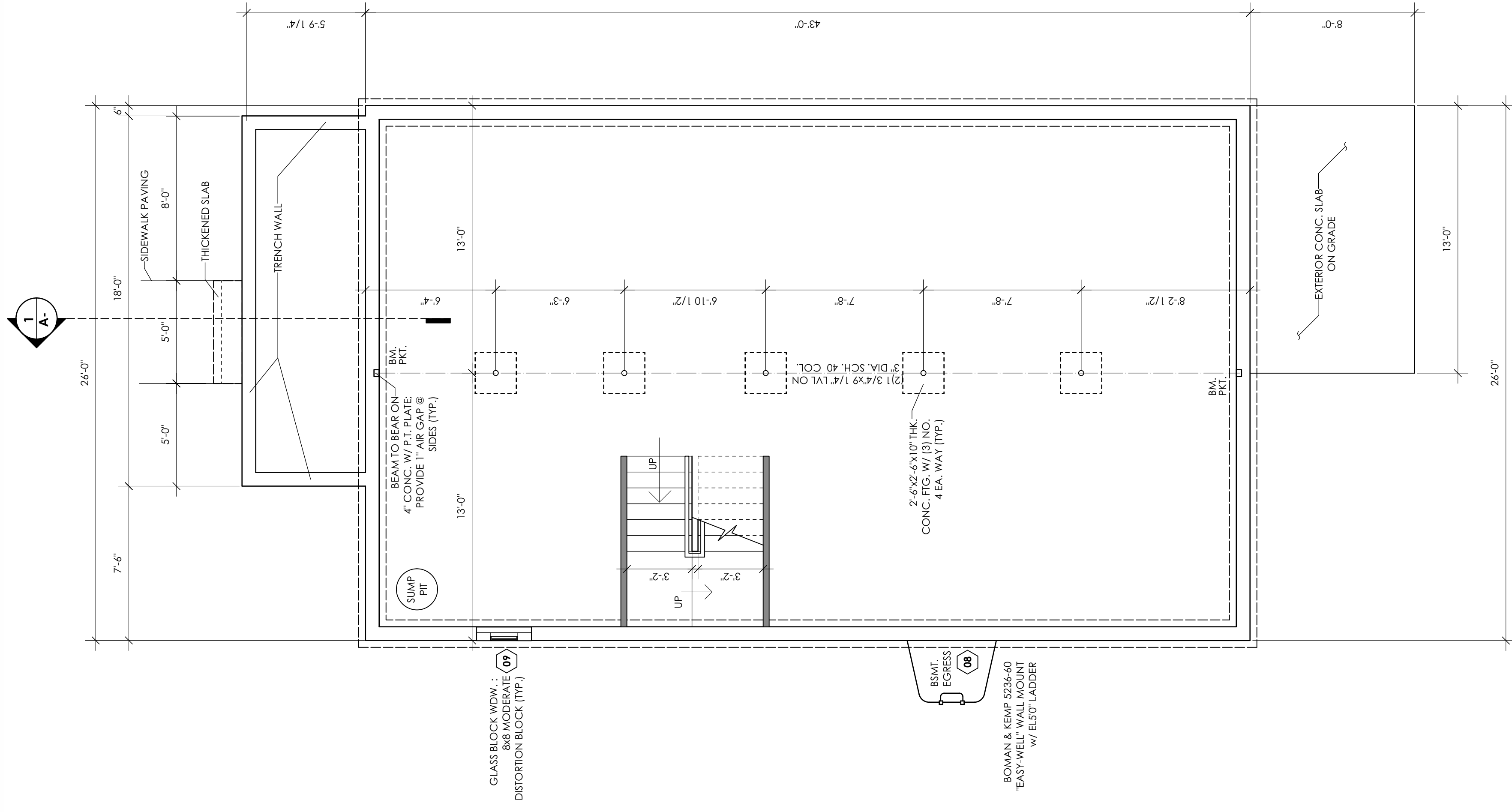
BASED ON EXPOSURE "B"

WIND SPEED = 115 MPH

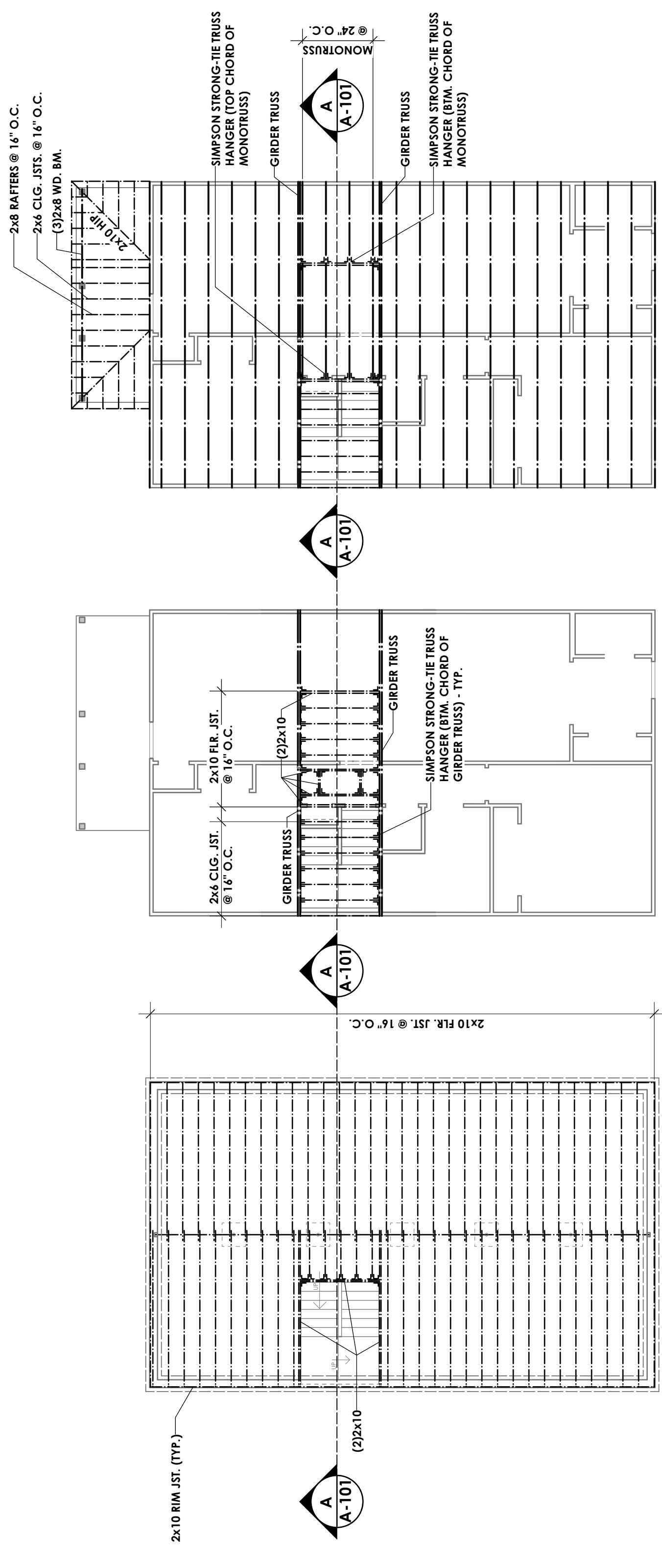
iw = 1.00

## MECHANICAL SPECIFICATIONS SEE DWG MEP-101

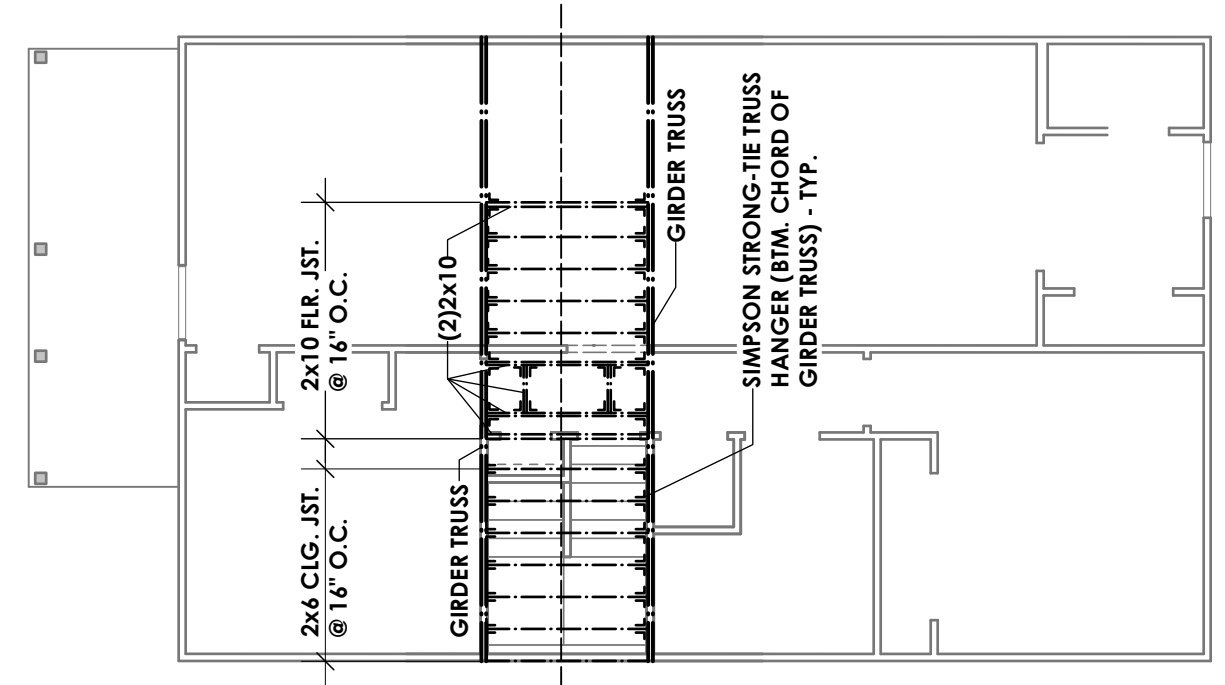
## ELECTRICAL SPECIFICATIONS SEE DWG MEP-101



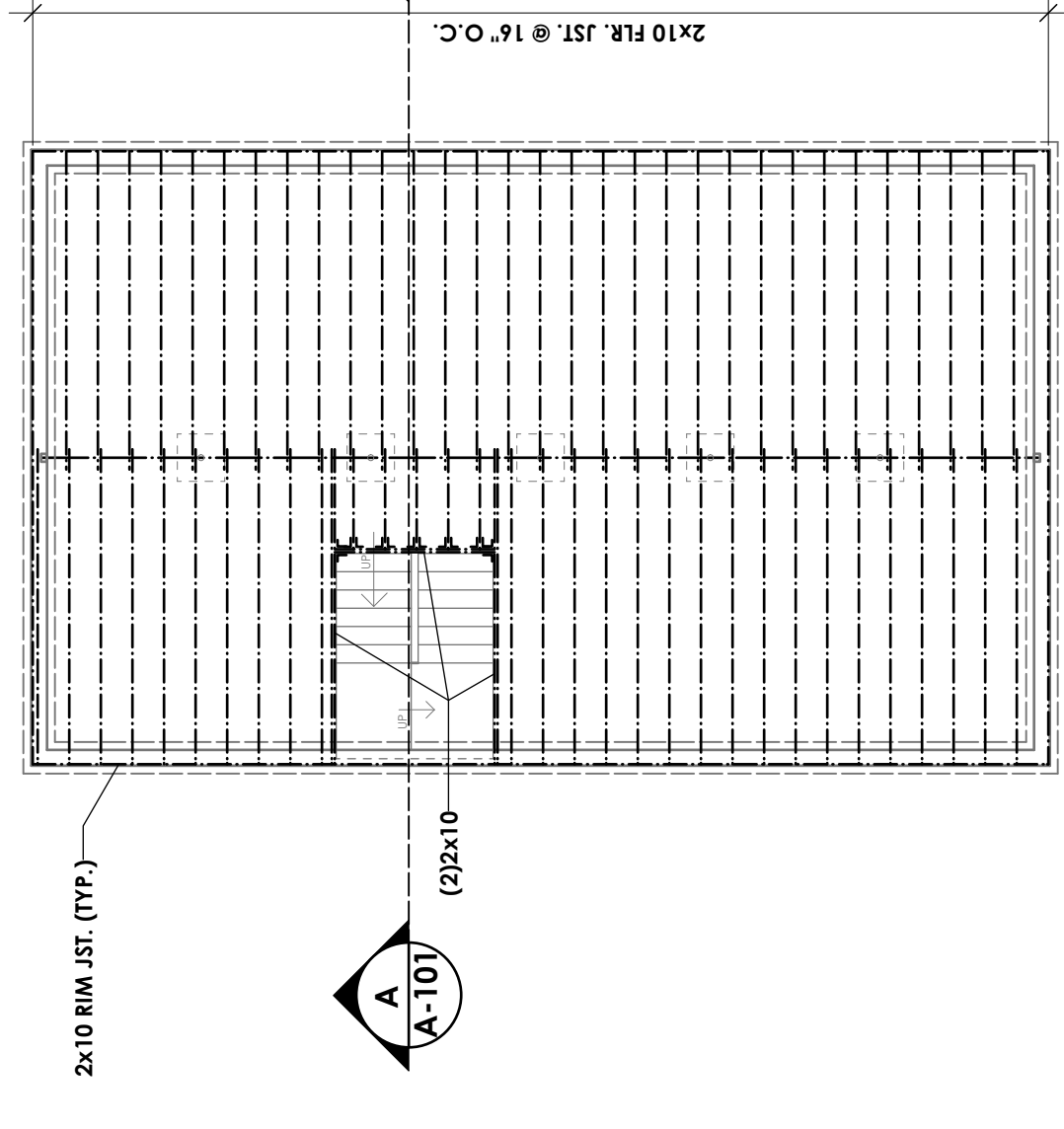
**FOUNDATION PLAN**  
 1/4" = 1'-0"



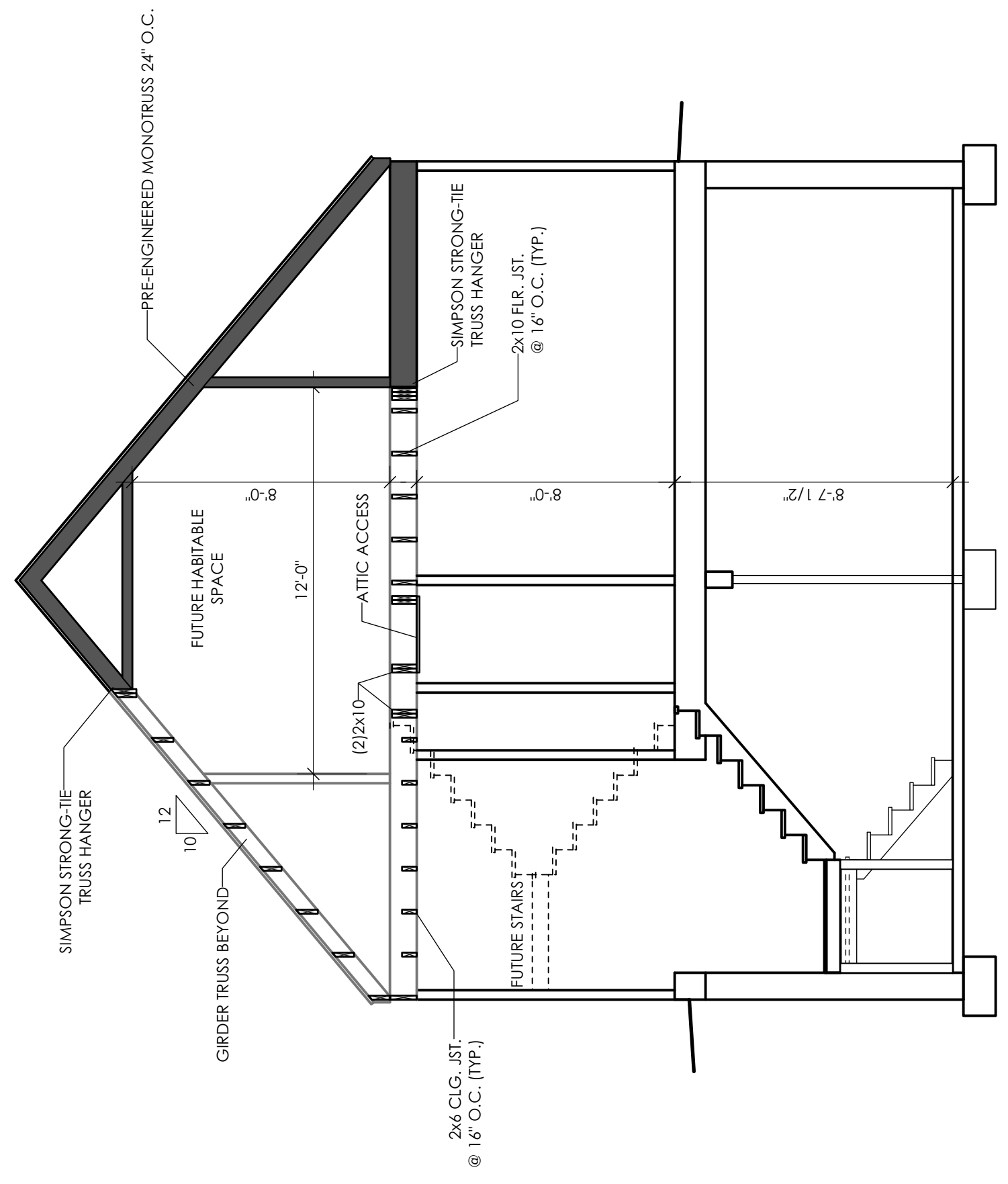
**ROOF FRAMING PLAN**  
 1/8" = 1'-0"



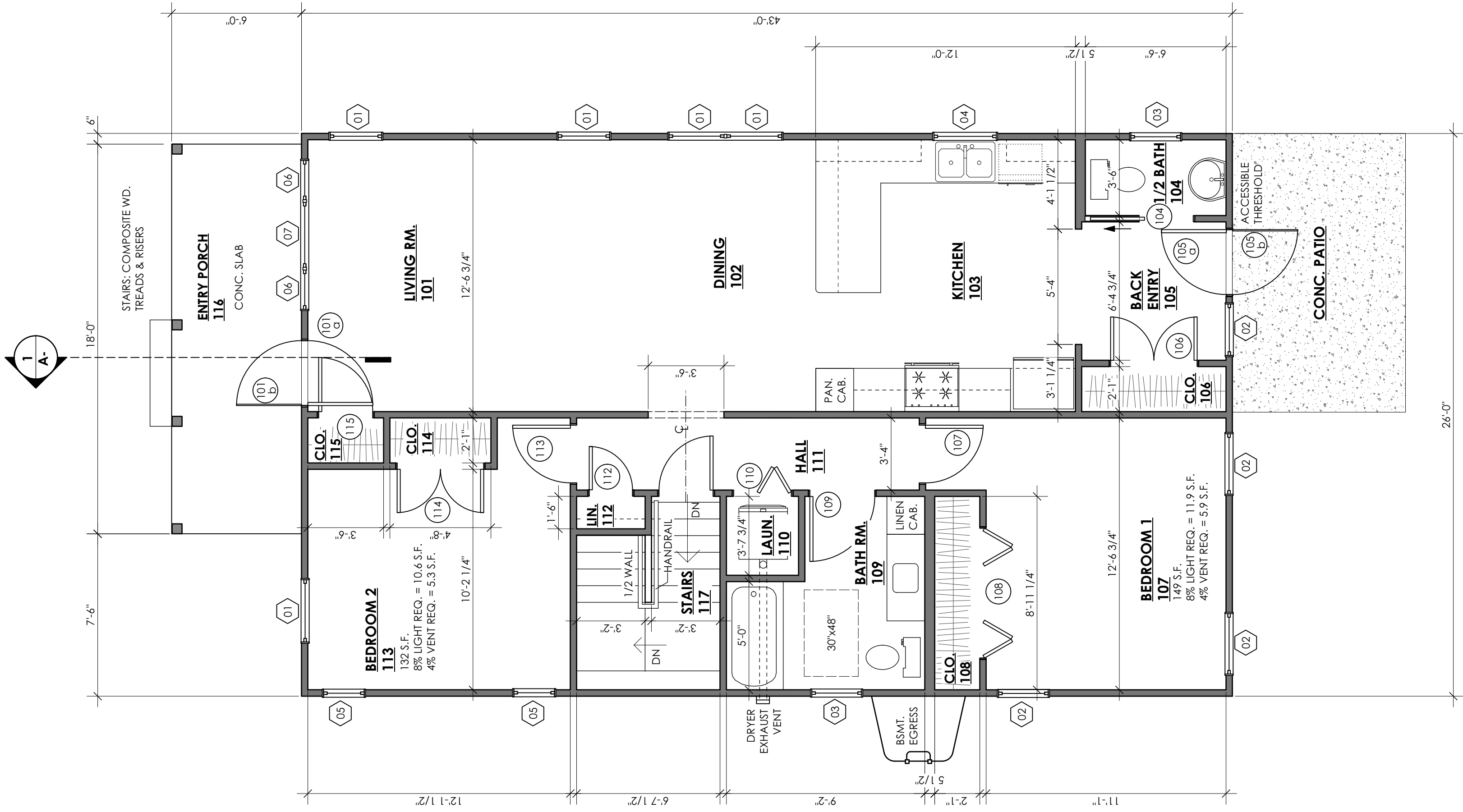
**SECOND FLR. FRAMING PLAN**  
 1/8" = 1'-0"



**FIRST FLOOR FRAMING PLAN**  
 1/8" = 1'-0"



**A BUILDING SECTION**  
 1/4" = 1'-0"



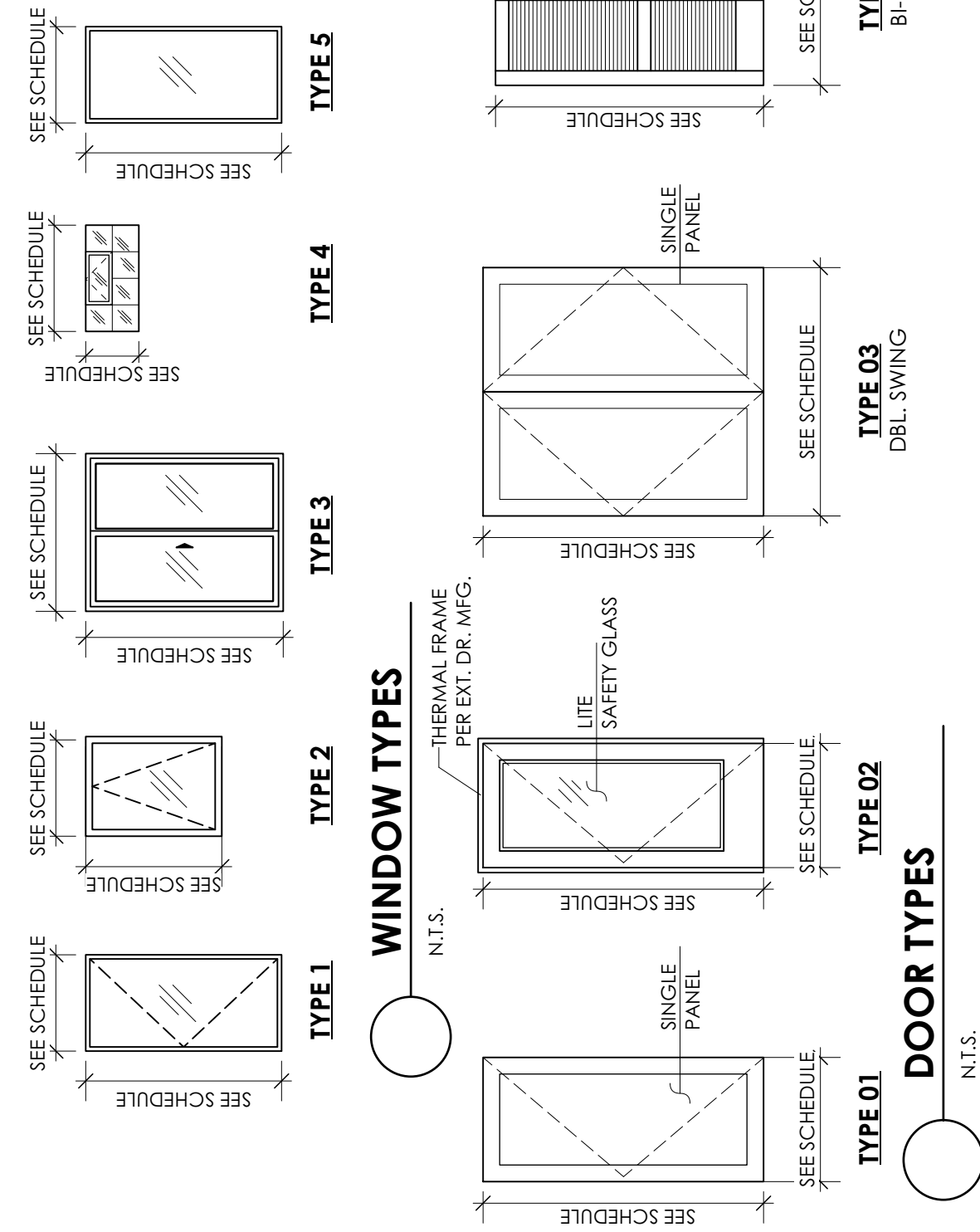
**FLOOR PLAN**  
1118 S.F.  
0 2 4  
26'-0"

**NOTE:**  
DIMENSIONS ARE TO ROUGH FRAMING  
ALL EXTERIOR WALLS 2x4 @ 16" O.C.  
ALL INTERIOR PARTITIONS 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE

RM. #	ROOM TITLE		FLOOR		BASE		WALL		CEILING		REMARKS
	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
101	LIVING RM	ENG. WD.	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
102	DINING	ENG. WD.	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
103	KITCHEN	ENG. WD.	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
104	1/2 BATH	CER. TILE	-	CER. TILE	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
105	BACK ENTRY	CER. TILE	-	CER. TILE	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
106	CLOSET	CER. TILE	-	CER. TILE	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
107	BEDROOM 1	ENG. WD.	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
108	CLOSET	ENG. WD.	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
109	BATH RM.	CER. TILE	-	CER. TILE	GYP. BD.	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
110	LAUNDRY	SHT. VINYL	-	RUBBER	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
111	HALL	ENG. WD.	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
112	LINEN	ENG. WD.	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
113	BEDROOM 2	ENG. WD.	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
114	CLOSET	ENG. WD.	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
115	ENTRY PORCH	ENG. WD.	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
116	ENTRY PORCH	COMP. WD.	-	-	-	-	-	-	-	-	-
117	STAIRS	WOOD	PAINT	WOOD	PAINT	WOOD	PAINT	WOOD	PAINT	WOOD	8'-0"

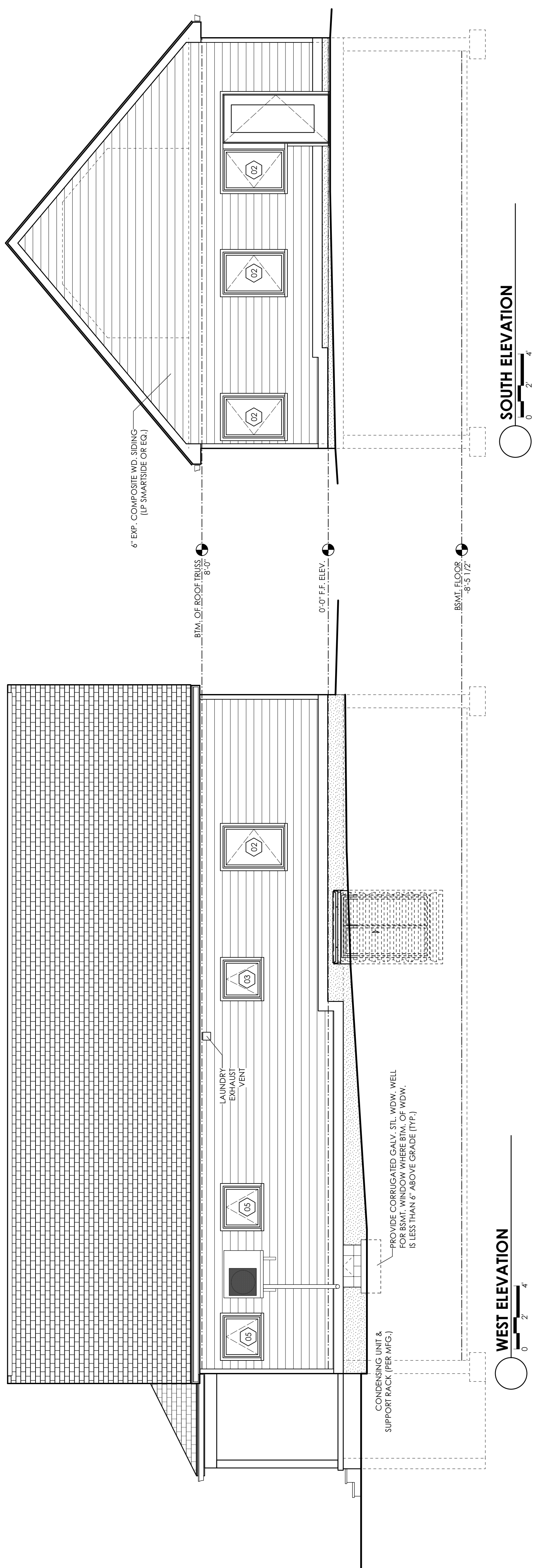
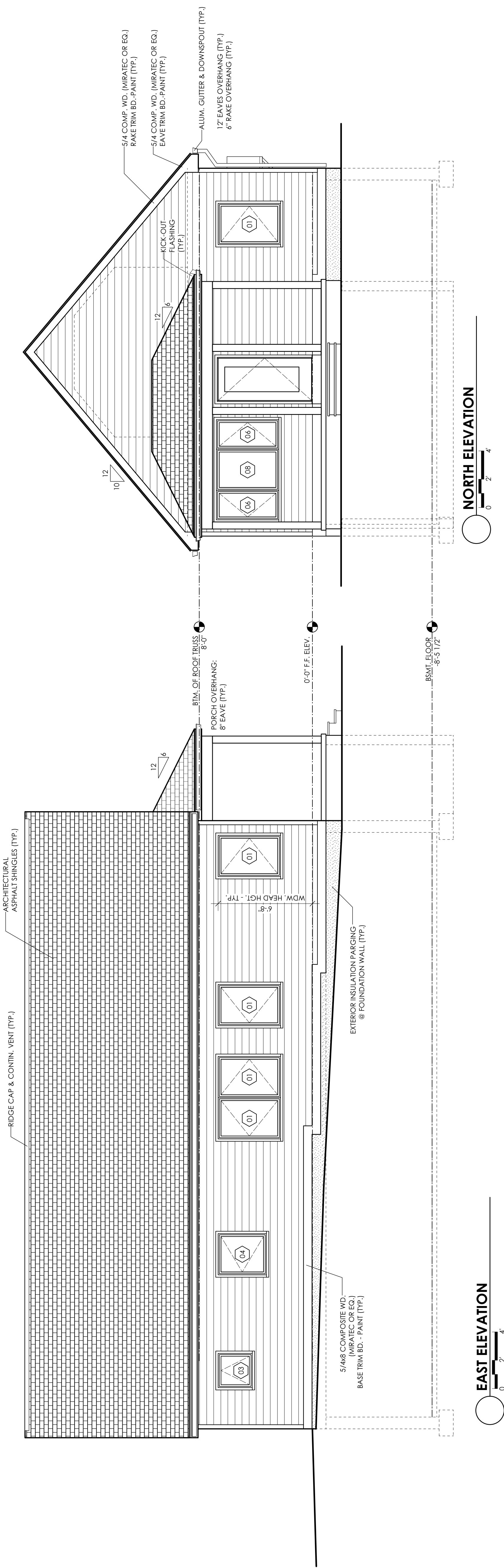
DOOR #	ROOM TITLE	DOOR		FRAME		GLASS		HARDWARE SET		REMARKS
		TYPE	WIDTH	HEIGHT	FINISH	MATERIAL	FINISH	MATERIAL	SET	
101a	LIVING RM	2	36"	80"	PAINT	FG.	Y	MFR.	MFR.	WEATHERSTRIPPING
101b	LIVING RM	6	36"	80"	PWDR-CT.	STL.	-	MFR.	MFR.	POCKET DOOR
104	1/2 BATH	5	30"	80"	PAINT	WD.	-	MFR.	MFR.	ACCESSIBLE THRESHOLD. WEATHERSTRIPPING
105a	BACK ENTRY	2	36"	80"	PAINT	FG.	Y	MFR.	MFR.	DOUBLE SWING
105b	BACK ENTRY	6	36"	80"	PWDR-CT.	STL.	-	MFR.	MFR.	UNDERCUT
106	CLOSET	3	48"	80"	PAINT	WD.	-	MFR.	MFR.	DOUBLE BIFOLD
107	BEDROOM 1	1	32"	80"	PAINT	WD.	-	MFR.	MFR.	SINGLE BIFOLD LOUVERED FOR VENTILATION
108	CLOSET	4	72"	80"	PAINT	WD.	-	MFR.	MFR.	UNDERCUT
109	BATH RM.	1	36"	80"	PAINT	WD.	-	MFR.	MFR.	UNDERCUT
110	LAUNDRY	4	32"	80"	PAINT	WD.	-	MFR.	MFR.	DOUBLE SWING
112	LINEN	1	24"	80"	PAINT	WD.	-	MFR.	MFR.	UNDERCUT
113	BEDROOM 2	1	32"	80"	PAINT	WD.	-	MFR.	MFR.	DOUBLE SWING
114	CLOSET	3	48"	80"	PAINT	WD.	-	MFR.	MFR.	DOUBLE SWING
115	CLOSET	1	30"	80"	PAINT	WD.	-	MFR.	MFR.	DOUBLE SWING

NO.	CALL NO.	TYPE	WINDOW FRAME SIZE		U-FACTOR	SHGC	EGRESS OPNG. S.F.	DAYLIGHT S.F.	OPERABLE VENT AREA S.F.	MATERIAL	REMARKS
			WIDTH	HEIGHT							
01	3553	1	2'-11"	4'-5"	0.29	0.27	8.6	10.0	YES	ALUM CLAD WD.	CASEMENT
02	3247	1	2'-8"	3'-11"	0.29	0.27	6.6	7.9	YES	ALUM CLAD WD.	CASEMENT
03	2929	2	2'-5"	2'-5"	0.29	0.27	4.0	4.0	YES	ALUM CLAD WD.	AWNING
04	3541	1	2'-11"	3'-5"	0.29	0.27	7.5	7.0	YES	ALUM CLAD WD.	CASEMENT
05	3229	2	2'-8"	2'-5"	0.29	0.27	4.5	4.1	YES	ALUM CLAD WD.	AWNING
06	2553	1	2'-1"	4'-5"	0.29	0.27	6.7	6.1	NO	ALUM CLAD WD.	CASEMENT FIXED WINDOW
07	3553	5	2'-11"	4'-5"	0.29	0.27	10.0	10.0	NO	ALUM CLAD WD.	CASEMENT
08	4/0-5/0	3	3'-11"	4'-11"	0.28	0.27	7.84	14.6	YES	FIBERGLASS	PELLA IMPERVIA ADVANCED COMFORT LOW-E
09	VENT GLS. BLK.	4	2'-7"	1'-5 1/2"	0.51	0.51	3.0	0.8	YES	8"x8" GLASS BLOCK	W/8" x 16" HOPPER WDW.



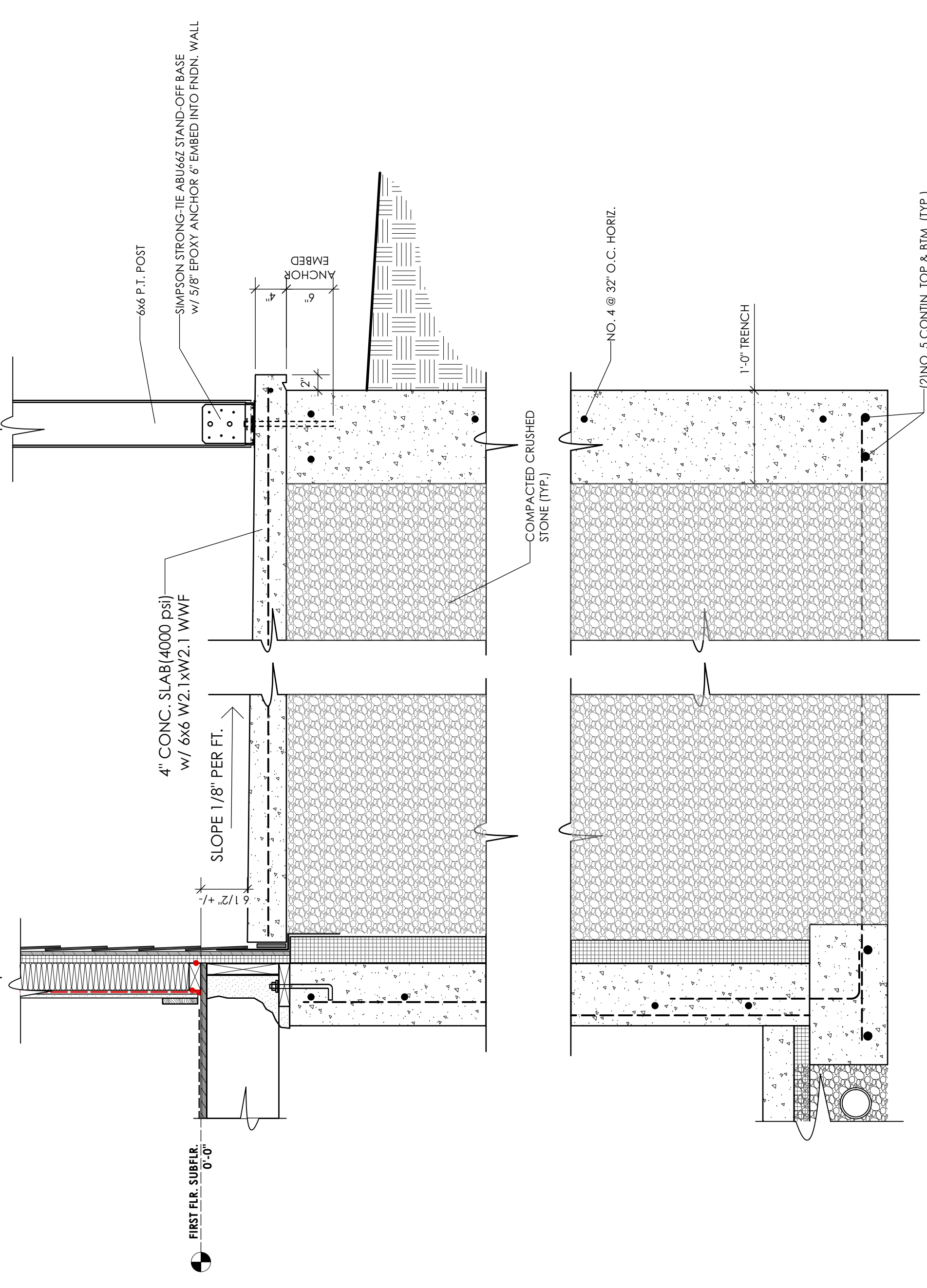
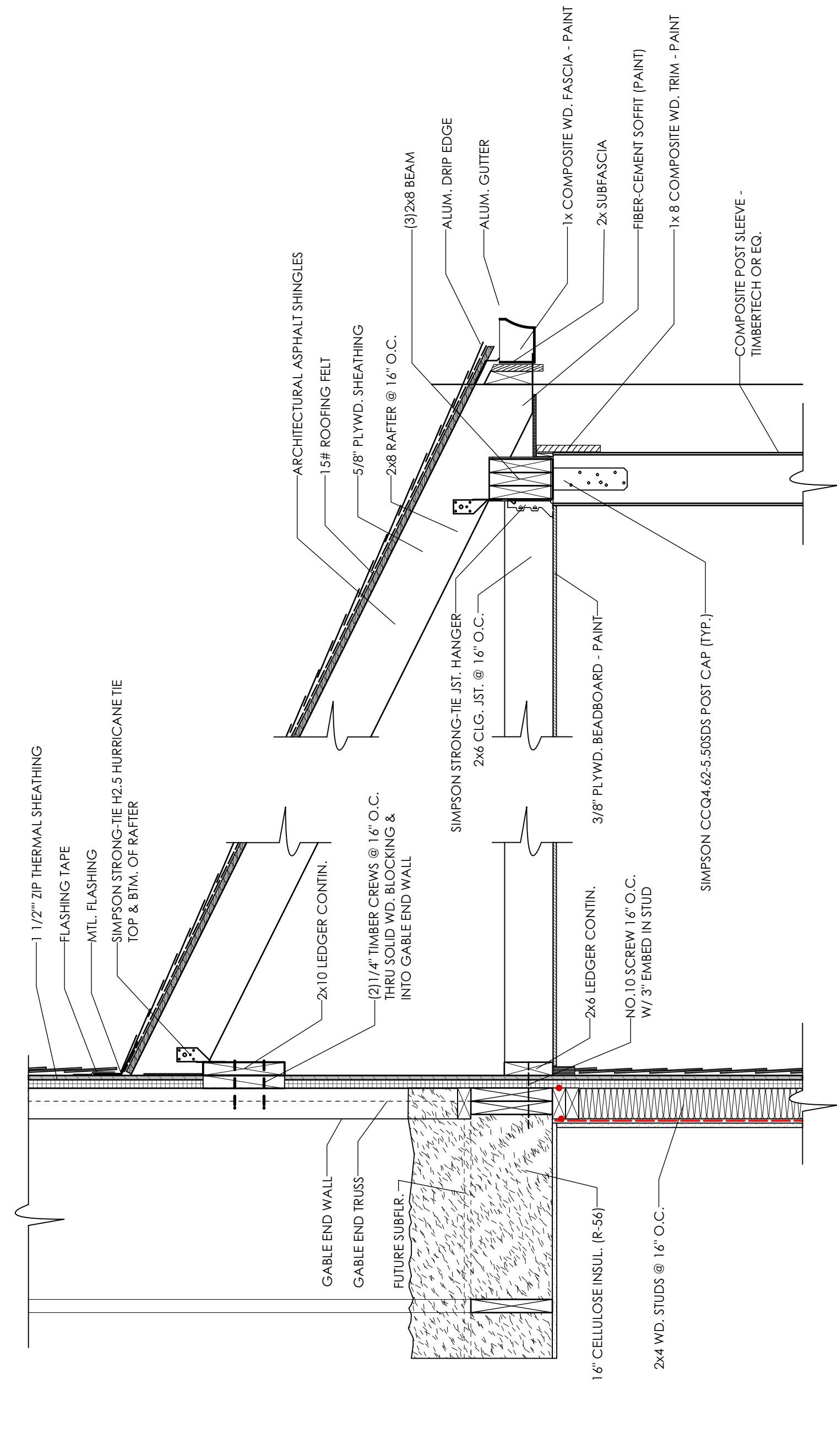
**WINDOW TYPES**

**DOOR TYPES**

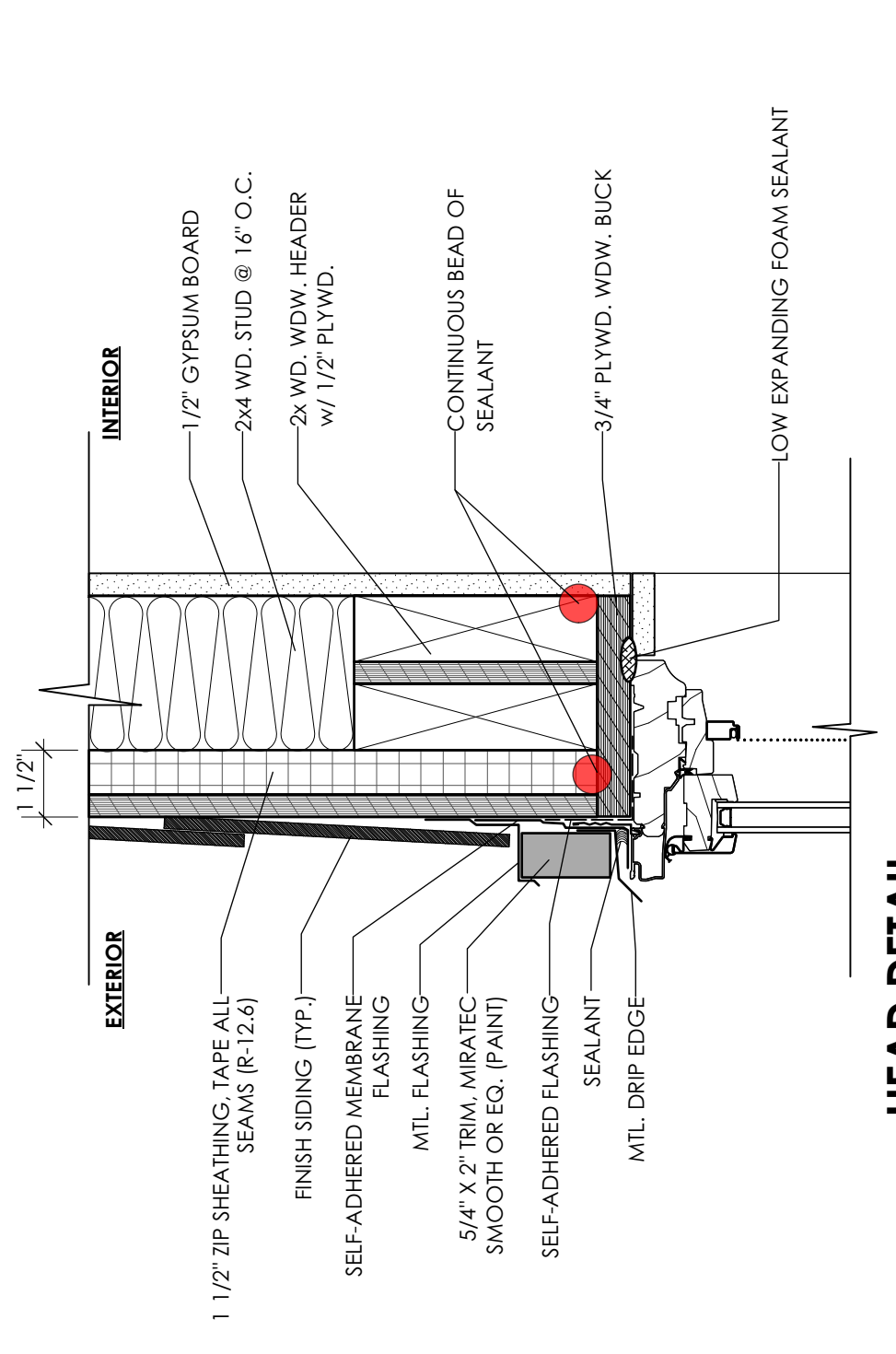




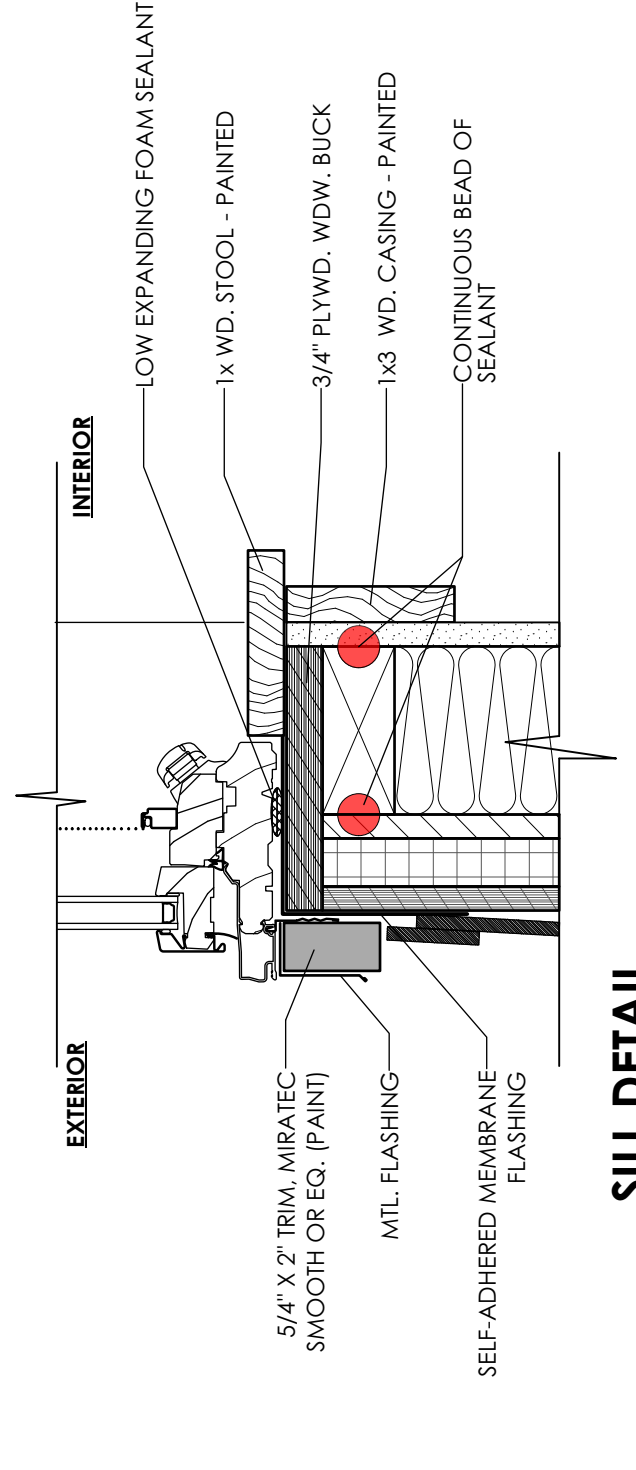




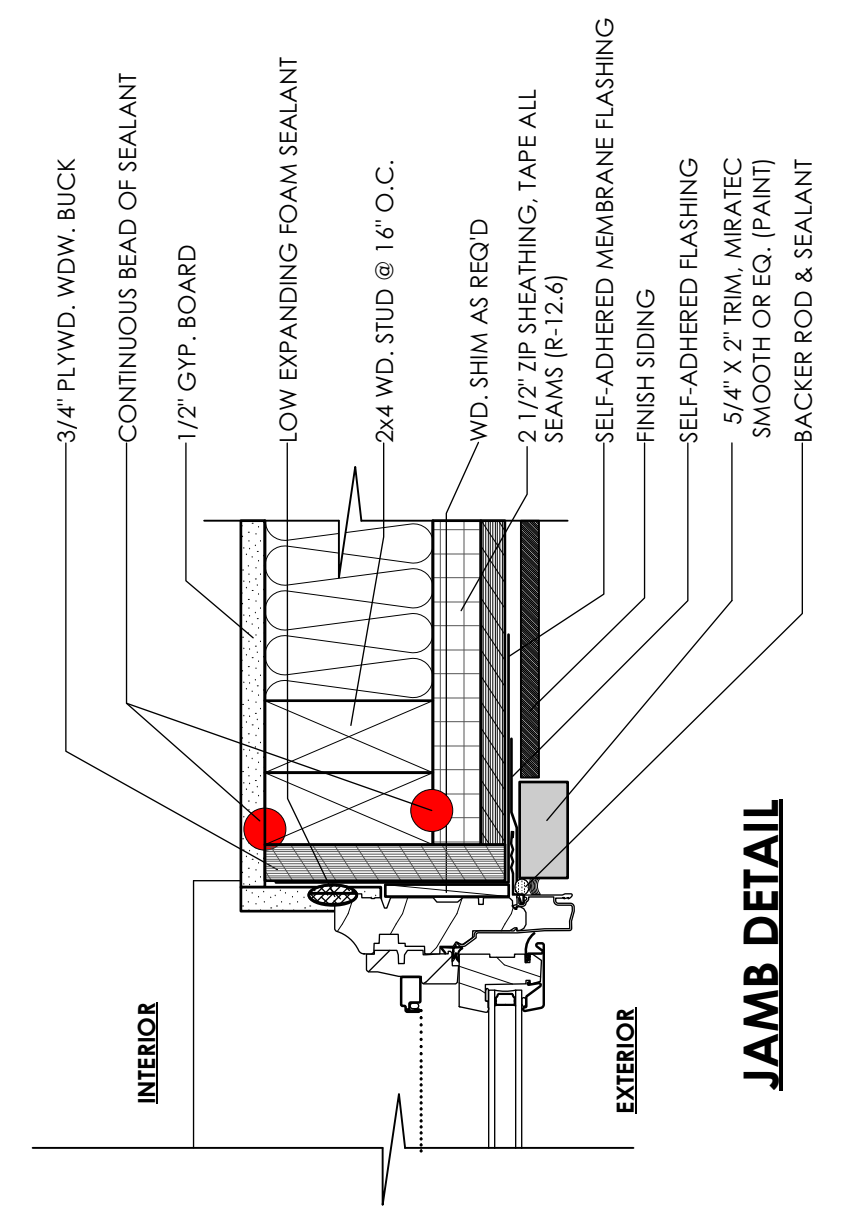
**1** TYPICAL PORCH SECTION  
 1" = 1'-0"



**HEAD DETAIL**

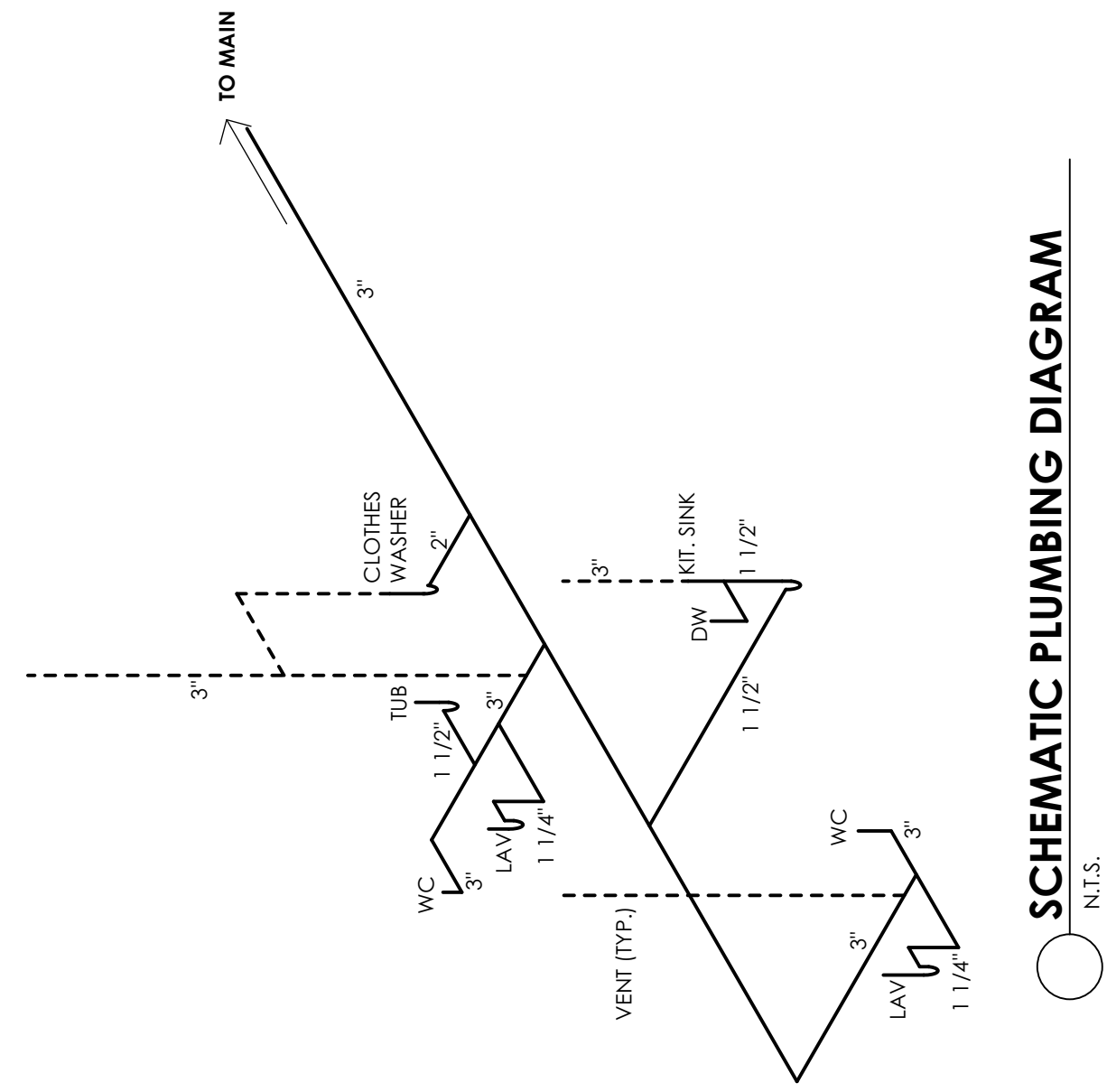


**SILL DETAIL**



**JAMB DETAIL**

**WINDOW DETAILS**  
 0 3"



**SCHEMATIC PLUMBING DIAGRAM**  
 N.T.S.

**ELECTRICAL LEGEND**

- ⊖ DUPLX RECEPTACLE
- ⊖ 220V DUPLX RECEPTACLE
- ⊖ SINGLE POLE SWITCH
- ⊖ DOUBLE POLE SWITCH
- ⊖ TIMER SWITCH
- ⊖ LED SURFACE MOUNT FIXTURE
- ⊖ LED SURFACE MOUNT DOWNLIGHT FIXTURE
- ⊖ EXHAUST FAN & LIGHT
- ⊖ LED RECESSED LIGHT FIXTURE
- ⊖ LED PENDANT LIGHT FIXTURE
- ⊖ SDC CEILING MOUNTED SMOKE & CARBON MONOXIDE ALARM (HARD WIRED INTERCONNECTED)
- ⊖ SD CEILING MOUNTED SMOKE ALARM (HARD WIRED INTERCONNECTED)
- ⊖ LED MEDICINE CABINET LIGHTING
- ⊖ LED WALL SCENCE
- ⊖ LED Z LED STRIP LIGHT
- ⊖ LED 4 LED STRIP LIGHT
- ⊖ LED UNDER CABINET LED STRIP LIGHT

**MECHANICAL SPECIFICATIONS**

ALL MECHANICAL SYSTEMS SHALL BE IN ACCORDANCE WITH LOCAL CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENTLY LICENSED MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMITS(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY MECHANICAL SYSTEM INSPECTIONS.

1. DUCTED ASHP UNIT TO G.E. H.P. 8KW HEATER W/ ASA BREAKER, MODEL #UAZEH 08A OR EQ.

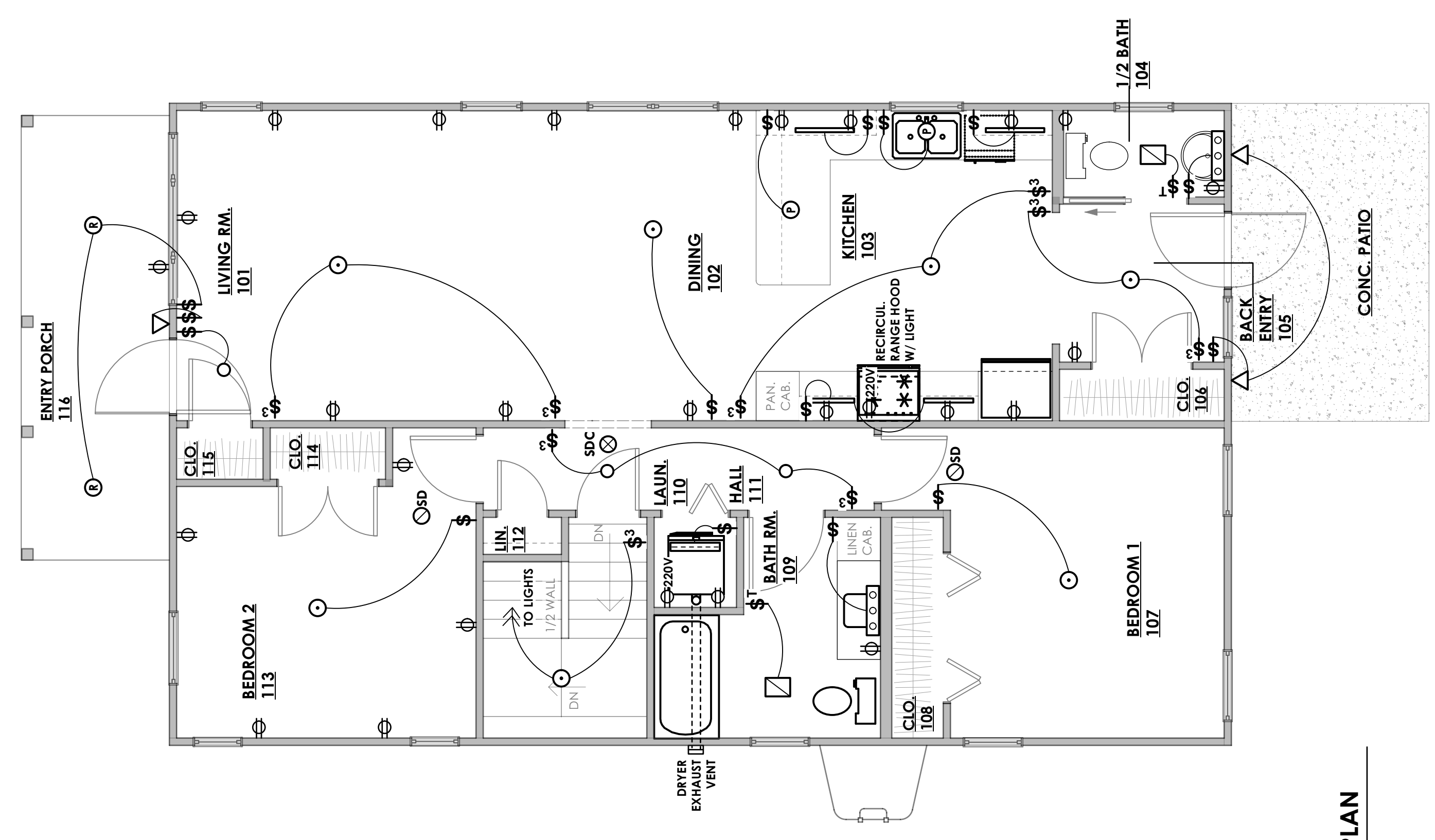
**ELECTRICAL SPECIFICATIONS**

ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH LOCAL CODES, NEC, NFPA, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENTLY LICENSED ELECTRICIAN SHALL PERFORM ALL WORK. THE ELECTRICIAN SHALL APPLY FOR ALL NECESSARY ELECTRICAL PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMITS(S). THE ELECTRICIAN SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY ELECTRICAL INSPECTIONS.

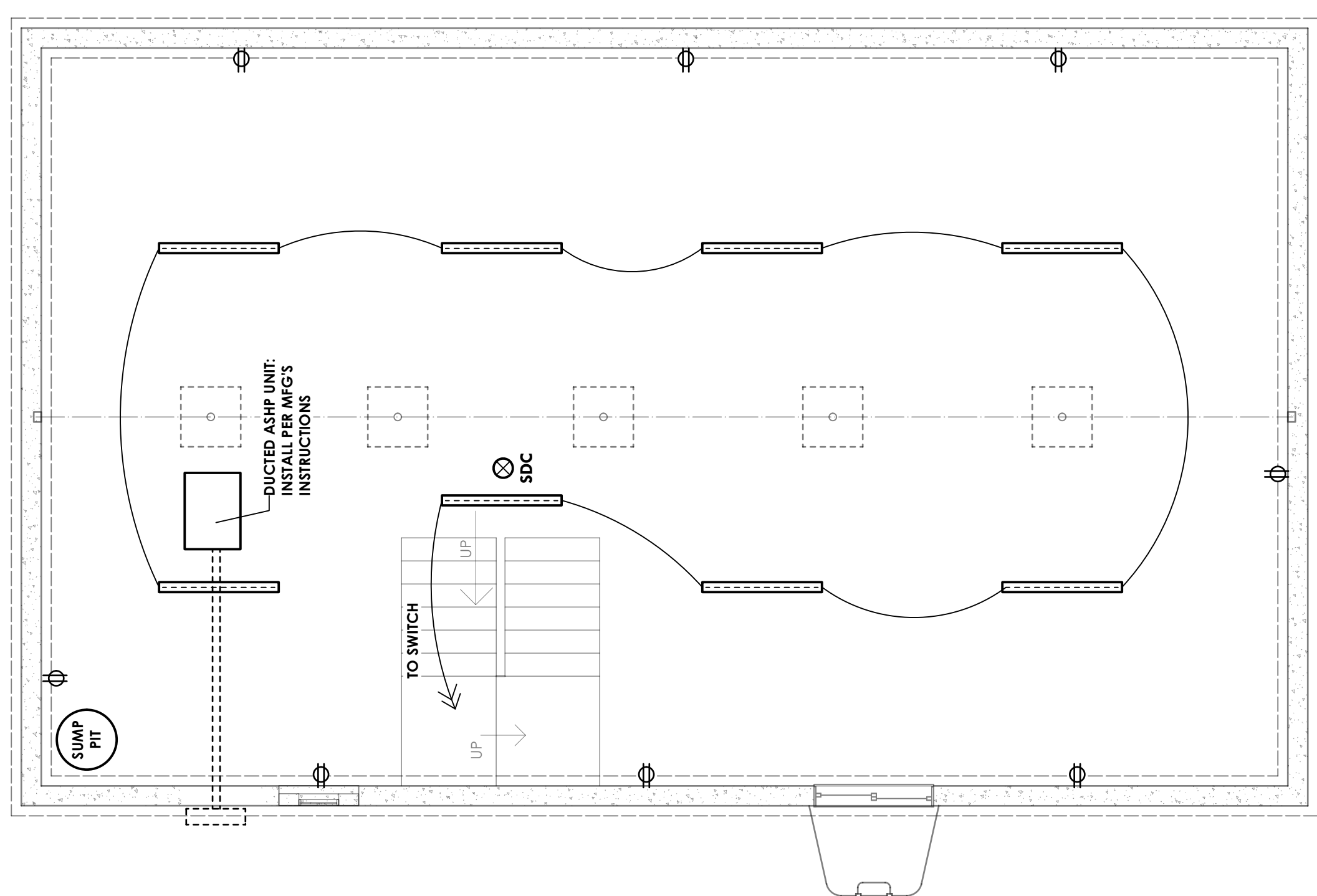
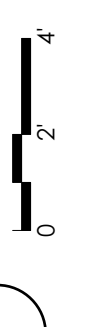
1. ALL EXPOSED WIRING TO BE SHEilded BY METAL CONDUIT AS APPROVED BY TOWN OF CHEEKTOWAGA.
2. FIXTURES AS SELECTED BY OWNER.
3. PROVIDE ADDITIONAL DOCUMENTATION OF ELECTRICAL SCOPE AND EQUIPMENT AS REQUIRED BY TOWN.
4. RECEPTACLES SHALL BE PROVIDED WITH GFCI AS REQUIRED BY NFPA 70 AS INDICATED.
5. PROVIDE LED LAMPS PER FIXTURE MANUFACTURER REQUIREMENTS.

**PLUMBING SPECIFICATIONS**

ALL PLUMBING SHALL BE IN ACCORDANCE WITH LOCAL CODES, AND 2020 RESIDENTIAL CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENTLY LICENSED PLUMBER SHALL PERFORM ALL WORK. THE PLUMBER SHALL APPLY FOR ALL NECESSARY PLUMBING PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMITS(S). THE PLUMBER SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY PLUMBING INSPECTIONS.



**MAIN FLOOR SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN**



**BASEMENT SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN**



- NOTES:**
1. ALL RECEPTACLES IN KITCHEN, BATH ROOMS & BASEMENT TO BE GFCI
  2. PROVIDE SEPARATE CIRCUIT FOR EACH KITCHEN APPLIANCE
  3. LIGHT FIXTURES AS SELECTED BY OWNER
  4. ALL OUTDOOR RECEPTACLES TO BE GFCI & WATERPROOF
  5. ALL RECESSED LIGHTS IN INSULATED SPACES SHALL HAVE INSULATED COVERS

# CHEEKTOWAGA SINGLE FAMILY INFILL

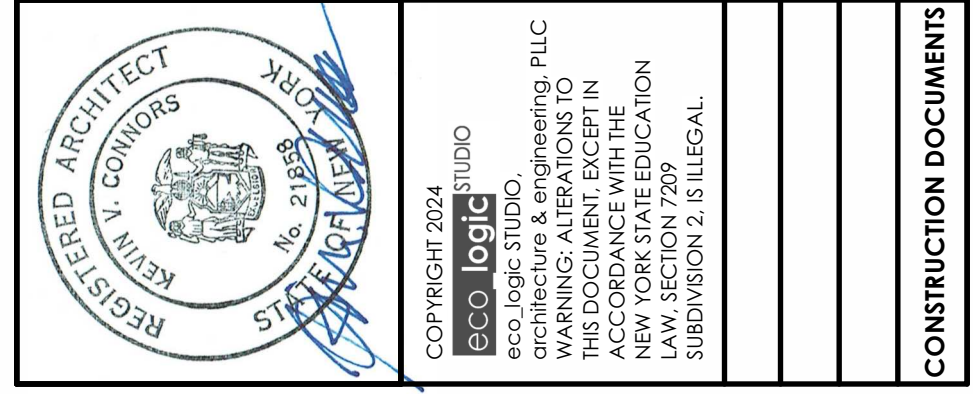
## 44 LONG AVENUE CHEEKTOWAGA, NEW YORK 14225

### GENERAL NOTES:

- COURTLY WITH ALL LOCAL STATE AND FEDERAL CODES AND REGULATIONS. MAINTAIN INSURANCE AS REQUIRED BY NEW YORK STATE AND TOWN OF CHEEKTOWAGA.
- OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
- REVIEW AND VERIFY ALL EXISTING CONDITIONS AND THE SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- NO SUBSTITUTIONS WITHOUT AUTHORIZATION OF OWNER AND ARCHITECT.
- PROVIDE EVIDENCE OF LABOR REPORT OR ENCLOSURE TO PROPER AGENCIES AND COMPETE THE WORK.
- COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS USED IN CONSTRUCTION WORK.

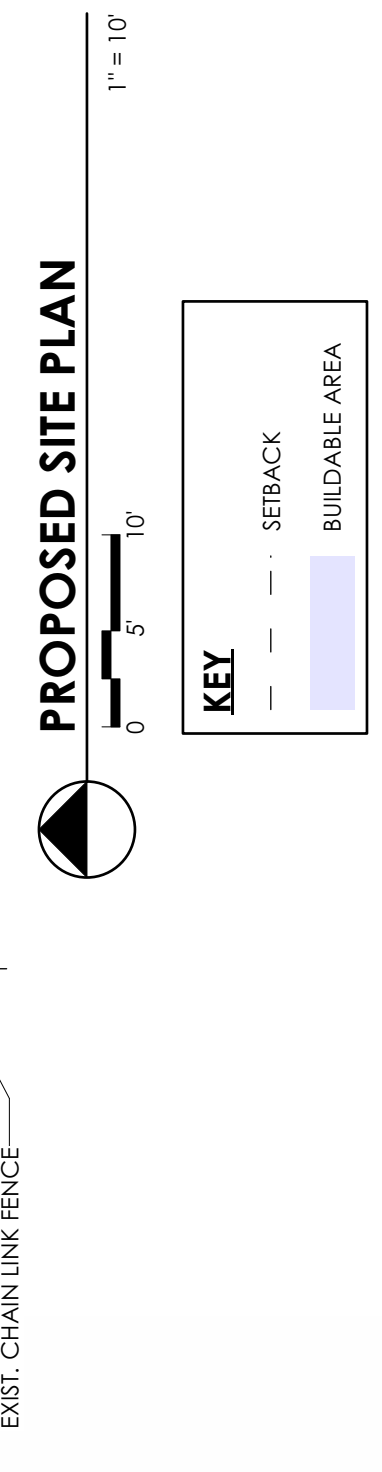
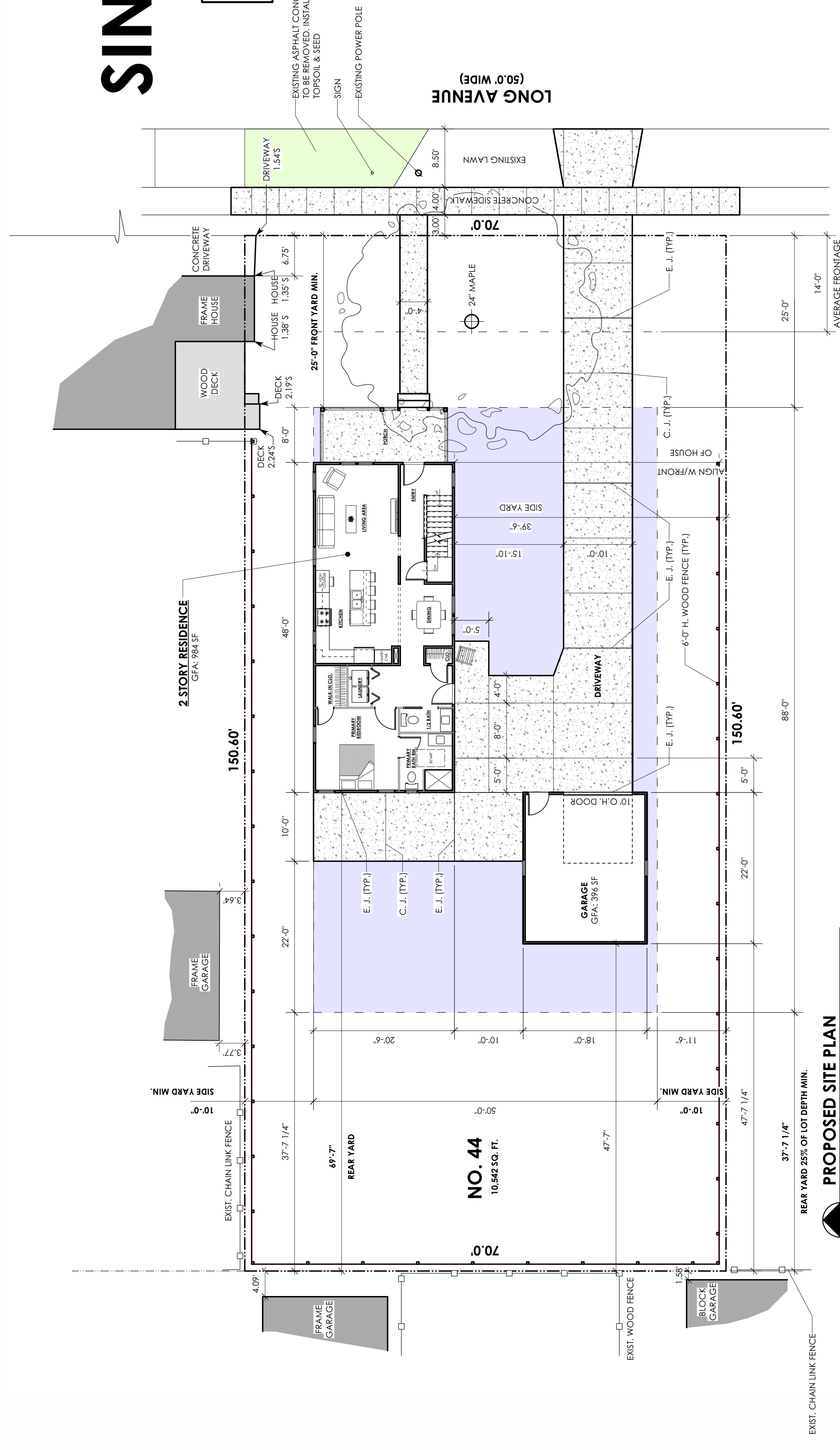
### SURVEY INFORMATION BY:

KHEOPS ARCHITECTURE, ENGINEERING & SURVEY, DPC  
 392 PEARL STREET, BUFFALO, NEW YORK 14202  
 SURVEY DATE: 02/22/2024  
 JOB NO.: 24NY16.04  
 PART OF THE HOLLAND LAND COMPANY  
 LOT 54, TOWNSHIP 11 RANGE 1  
 TOWN OF CHEEKTOWAGA, COUNTY OF ERIE,  
 STATE OF NEW YORK



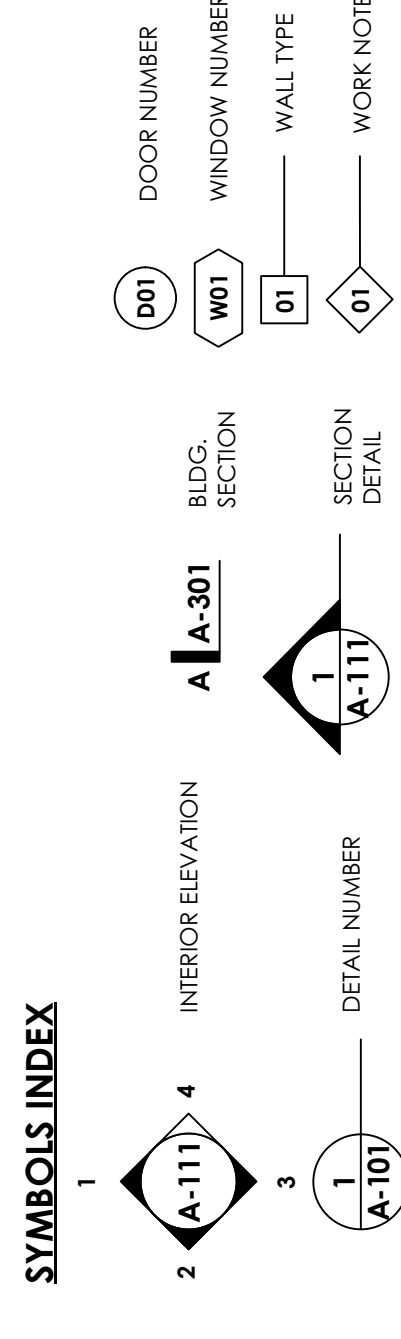
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<b>CHEEKTOWAGA SINGLE FAMILY INFILL</b>
44 Long Avenue Cheektowaga, NY 14225 <b>NEW RESIDENCE</b>
Project # 2414
DRAWN BY: slh, gq
21-Oct-24
<b>TITLE SHEET &amp; SITE PLAN</b>
DWG. NO. <b>T-100</b>



### ABBREVIATION INDEX

A.F.F.	ABOVE FINISHED FLOOR	GALV.	GALVANIZED	REIN.	REINFORCED/
ALT.	ALTERNATE	GYP.	GYPSUM	REIN.	REINFORCING
ALUM.	ALUMINUM	H.	HEIGHT	RES.	RESILIENT
A/V	AUDIO / VISUAL	HGT.	HEIGHT	RM.	ROOM
BD.	BOARD	H.I.	HEIGHT OF INSTRUMENT	RMV.	REMOVE
BLDG.	BUILDING	H.M.	HOLLOW METAL	RUB.	RUBBER
BLK.	BLOCK	H.P.	HIGH POINT	SAN.	SANITARY
BLKG.	BLOCKING	H.R.	HOUR	SCH.	SCHEDULE
BOT.	BOTTOM	INS.	INSULATION	SC.	SCAFFOLD
BRG.	BEARING	INS.	INSULATION	SS.	STAINLESS STEEL
C.J.	CONTROL JOINT	L.	LINEN CLOSET	STL.	STEEL
C.L.	CENTER LINE	LOC.	LOCATED / LOCATIONS	SHT.	SHEET
CLO.	CLOSET	MAS.	MASONRY	THK.	THICK
CLO.	CLOSET	MAX.	MAXIMUM	TR.	TRIM
CMU	CONCRETE MASONRY UNIT	MEAS.	MEASURED	TYP.	TYPICAL
CLR.	CLEAR	MEZ.	MEZZANINE	T&B	TOP & BOTTOM
C.M.T.	CERAMIC MOSAIC TILE	M.H.	MAN HOLE	T&G	TONGUE & GROOVE
COL.	COLUMN	MIN.	MINIMUM	ULM.	UNDERLAYMENT
CONC.	CONCRETE	MINFR.	MINIMUM MANUFACTURER	UNL.	UNLESS NOTED
CONT.	CONTINUOUS	MIL.	METAL	OTHERWISE	OTHERWISE
COR.	CORNER	NOM.	NOMINAL	VARN.	VARNISH
C.T.	CERAMIC TILE	N.T.S.	NOT TO SCALE	VAR.	VARIABLE
D.	DEPTH	O.C.	ON CENTER	V.C.T.	VINYL COMPOSITE TILE
DBL.	DOUBLE	O.H.	OVER HEAD	VERT.	VERTICAL
DEL.	DOUGLAS FIR LARCH	OPNG.	OPENING	V.I.F.	VERIFY IN FIELD
DIA.	DIAMETER	PERF.	PERFORATED	W.	WIDTH
DN.	DOWN	PERIM.	PERIMETER	WD.	WOOD
DWG.	DRAWING	PLYWD.	PLYWOOD	WDW.	WINDOW
EPDM.	ETHYLENE PROPYLENE DIENE MONOMER	P.L.	PROPERTY LINE	WWF.	WELED WIRE FABRIC
EQ.	EQUAL	P.L.	PROPERTY LINE		
EX.	EXISTING	PREP.	PREPARE		
EXG.	EXISTING	PROJ.	PROJECTION		
EXIST.	EXISTING	PT.	PAINT		
ENG.	ENGINEERED	P.T.	PRESSURE TREATED		
EQUIP.	EQUIPMENT	Q.T.	QUARRY TILE		
E.D.	FLOOR DRAIN				
E.F.	FLASHED JOINT				
E.F.	FLASHED JOINT				
FIN.	FINISH				
FIN.	FINISH				
FNDR.	FOUNDATION				
FTG.	FOOTING				

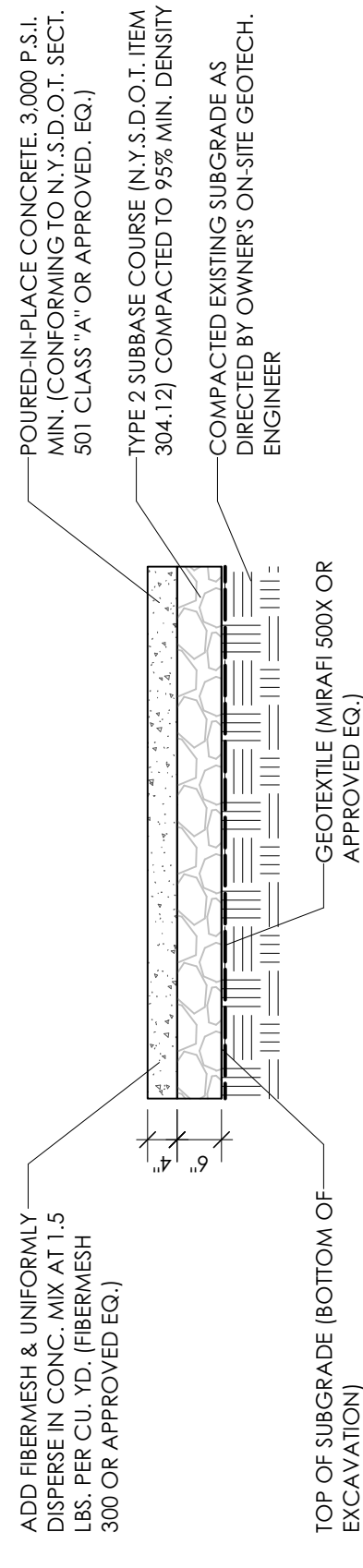


### DRAWING LIST:

T-100	TITLE SHEET & SITE PLAN
C-101	SITE DETAILS
A-100	GENERAL NOTES & ARCHITECTURAL SPECIFICATIONS
A-101	FOUNDATION PLAN
A-102	FLOOR PLANS
A-201	ELEVATIONS
A-301	WALL SECTION & DETAILS
A-302	PORCH DETAILS
A-601	SCHEDULES & WINDOW DETAILS
MEP-101	BASEMENT SCHEMATIC MECHANICAL, ELECTRIC, PLUMBING PLAN & PLUMBING SCHEMATIC ISOMETRIC
MEP-102	FLOOR PLANS SCHEMATIC MECHANICAL, ELECTRIC, PLUMBING

### RESIDENTIAL (R)

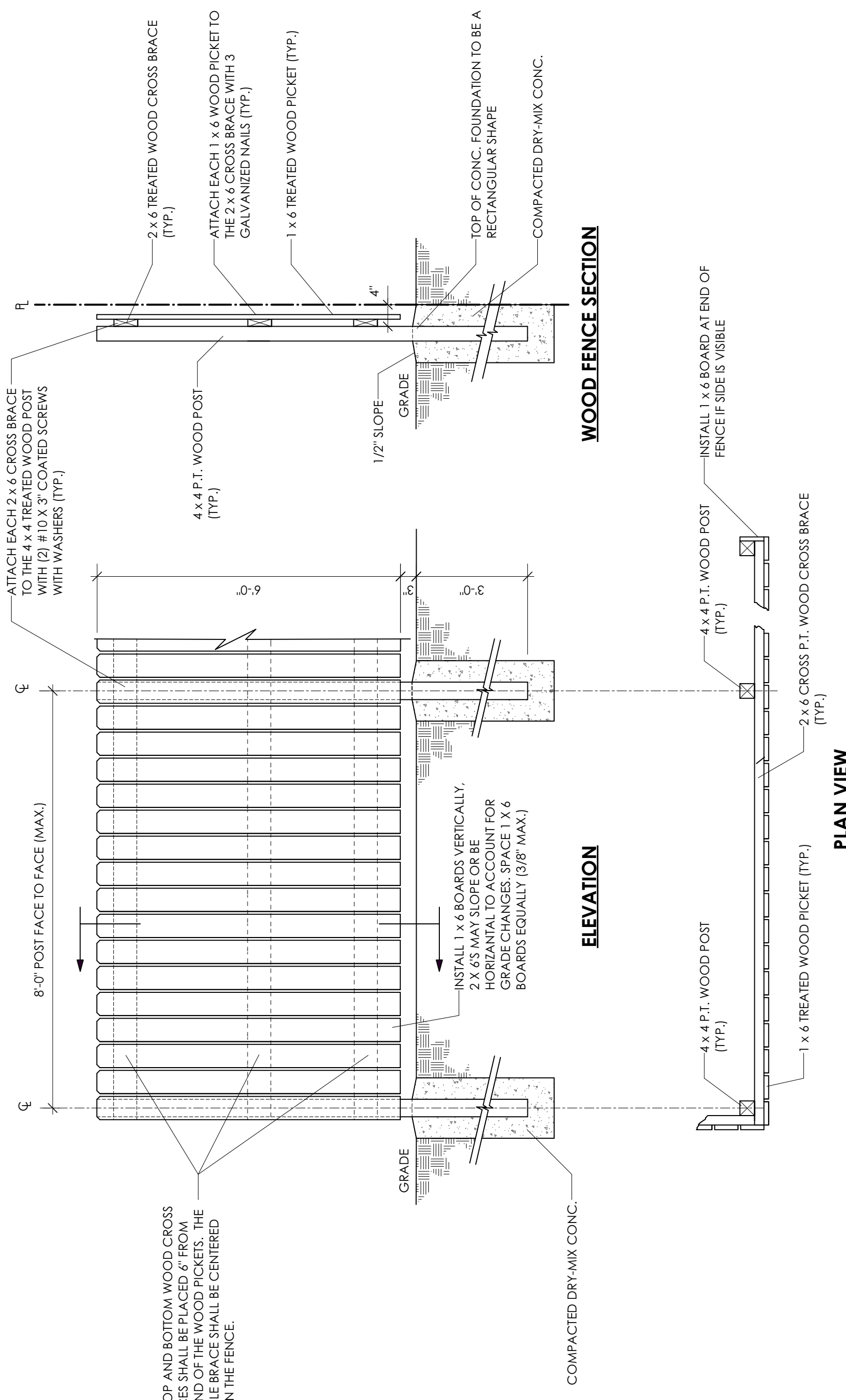
- LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:**  
 THE FOLLOWING ARE MINIMUM LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:
- MINIMUM AREA OF LOT IN SQUARE FEET:**  
 7,200 SF (INTERIOR LOT)  
 ACTUAL: 10,542 SF
- MINIMUM LOT WIDTH IN FEET:**  
 INTERIOR LOT: 60'  
 ACTUAL: 70'
- MAXIMUM BUILDING HEIGHT IN FEET:**  
 SINGLE OR TWO-FAMILY DWELLINGS: 30'  
 ACCESSORY BUILDINGS: ONE STORY < 12'  
 ACTUAL: 21'-6"
- MINIMUM FRONT YARD IN FEET:**  
 ACTUAL: 25'
- MINIMUM SIDE YARD IN FEET:**  
 10% LOT WIDTH (EA. SIDE & 25% LOT WIDTH TOTAL); NOT MORE THAN 25' NECESSARY  
 ACTUAL: 10' NORTH SIDE, 39'-4" SOUTH SIDE
- MINIMUM REAR YARD IN FEET:**  
 GREATER OF 25% OF LOT DEPTH (37'-8" MIN. & 25' MIN.)  
 ACTUAL: 69'-7"
- MINIMUM LIVEABLE GROUND FLOOR AREA IN SQUARE FEET:**  
 800 SF  
 ACTUAL: 964 SF



**1 CONCRETE PAVING SECTION**  
 1/2" = 1'-0"

**NOTES:**

- ALL CONCRETE FOR SIDEWALKS SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 501. CONSTRUCTION SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 608.3.
- ALL CONCRETE DRIVEWAY AREAS SHALL BE SCORED 10' ON CENTER (OR AS NOTED ON SHEET T-100) WITH TOOLED CONTROL JOINTS 1' INCH DEEP, WHILE CONCRETE IS GREEN.
- EXPANSION JOINTS IN CONCRETE AREAS SHALL BE NO MORE THAN 05' ON CENTER AND IT INTERFACES BETWEEN DRIVEWAYS, SIDEWALK SLABS, AND FOUNDATIONS. ALL SIDEWALK EDGES SHALL BE TOOLED WITH 1/2" RADIUS WITHIN 24 HOURS OF POURING CONCRETE. INSTALL FELT BOARD EXPANSION JOINT, SCORE FELT AND REMOVE TO DEPTH OF 1/2" BELOW SLAB. PROVIDE SEAL WITH 1/2" INCH PRE-MOLDED RESILIENT JOINT FILLER AT ALL EXPANSION JOINTS.
- IN DRIVEWAY AREAS CONCRETE THICKNESS SHALL BE INCREASED TO 4 INCHES MINIMUM.
- CONCRETE SHALL HAVE A SLUMP OF NO MORE THAN 5" AND AN AIR ENTRAINMENT OF 4.4%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN CONFORMANCE WITH ALL A.C.I. REQUIREMENTS.



**2 WOOD FENCE DETAILS**  
 1/2" = 1'-0"

## GENERAL NOTES

- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
- THE CONTRACTOR IS TO MAINTAIN INSURANCES AS REQUIRED BY NEW YORK STATE AND THE TOWN OF CHEEKTOWAGA.
- BENIC IS TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
- THE CONTRACTOR IS TO REVIEW AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- NO SUBSTITUTIONS ARE TO BE MADE WITHOUT THE AUTHORIZATION OF THE OWNER AND ARCHITECT.
- WORK BEHIND WALLS TO BE PROTECTED BY TEMPORARY BRACING TO PROTECT AND COMPLETE THE CONSTRUCTION TO FINISH.
- PROPERLY DISPOSE OF AND REMOVE DEBRIS FROM THE WORK SITE DAILY OR STORE IN APPROPRIATE CONTAINER.
- COMPLY WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS.
- ALL COLORS AS INDICATED OR AS SELECTED BY ARCHITECT.
- THE CONTRACTOR IS TO PROVIDE THE NECESSARY MATERIALS, SAMPLES, AND SUBSTITUTION REQUESTS TO BENIC FOR APPROVAL. THE CONTRACTOR IS TO REVIEW, COORDINATE, AND VERIFY THAT SUBMITTALS MEET THE SPECIFIED REQUIREMENTS PRIOR TO SUBMISSION.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT UNITS AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS REQUIRED FOR THE WORK. COORDINATE TOWN W/BENIC INSPECTOR.
- THE CONTRACTOR IS TO REQUEST FINAL INSPECTION BY THE ARCHITECT PRIOR TO ISSUE OF FINAL CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY INFORMATION TO THE ARCHITECT FOR WORK IDENTIFIED IN PREVIOUS INSPECTIONS. THE CONTRACTOR WILL REQUEST A REINSPECTION BY THE ARCHITECT.
- THE CONTRACTOR IS TO SUPPLY THE OWNER WITH OPERATIONS AND MAINTENANCE MANUAL AND WARRANTIES OF ALL PRODUCTS AND SYSTEMS AT CLOSEOUT.
- THE CONTRACTOR IS TO SUBMIT A WRITTEN LIST OF ALL SUBCONTRACTORS PROPOSED FOR THE WORK. THE OWNER AND ARCHITECT RESERVE THE RIGHT TO REJECT THE USE OF A SUBCONTRACTOR.
- THE CONTRACTOR IS TO PROVIDE AND MAINTAIN TEMPORARY FENCING, BARRICADES, SIGNS, SAFETY LIGHTS, ETC. TO PROTECT THE WORK AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DOCUMENTATION OF THE CONSTRUCTION AT THE PROJECT SITE IN A PROFESSIONAL AND READABLE MANNER AND SUBMIT TO THE OWNER AT SUBSTANTIAL COMPLETION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITIES AND FACILITIES TO PERFORM THE WORK.
- THE CONTRACTOR SHALL COORDINATE ALL TRADES AND SEQUENCE OF CONSTRUCTION TO ENSURE CONTINUITY OF THE AIR BARRIER SYSTEM. COORDINATE WITH OWNER'S INDEPENDENT TESTING AGENCY FOR INSPECTION OF THE AIR BARRIER SYSTEM. CONTRACTOR TO REMEY ALL CONDITIONS OUT OF COMPLIANCE WITH THE AIR BARRIER SYSTEM. CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED.

## ARCHITECTURAL SPECIFICATIONS

### SITE WORK

- CONTRACTOR TO PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED FOR PROTECTION OF EXISTING UTILITIES AND ADJACENT FACILITIES BY WORK AT NO COST TO OWNER. MATCH EXIST.
- CONTRACTOR TO REMOVE ANY AND ALL MISCELLANEOUS DEBRIS.
- CONCRETE PAVING TO HAVE BROOM FINISH. PROVIDE REINFORCING AS INDICATED.
- CONTRACTOR TO PROVIDE OWNER WITH WRITTEN INSTRUCTIONS FOR MAINTENANCE OF LANDSCAPE WORK.
- CONCRETE KIT TO BE 18" x 22" W/ 10" W x 8" H. METAL O.H. DOOR & ELEC. OPERATOR. GARAGE SIDING TO MATCH HOUSE.

### WOOD, PLASTIC, & COMPOSITES

- WOOD FRAMING MEMBERS NOT IN CONTACT WITH CONCRETE OR MASONRY TO BE SFR NO. 2 GRADE OR BETTER. ALL WOOD MEMBERS TO BE DRY KILN DRIED TO 19% MOISTURE. ALL WOOD MEMBERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESURE TREATED WITH AMERICAN WOOD PRESERVERS BUREAU LP-2 SOFTWOOD LUMBER AND PLYWOOD PRESSURE TREATED WITH WATERBORNE SALT PRESERVATIVES FOR USE ABOVE GROUND.
- INSULATED SHEATHING WITH INTEGRAL WEATHER RESISTIVE AND AIR BARRIER TO BE ZIP R SHEATHING BY HUBER ENGINEERED WOODS OR APPROVED EQUAL. PROVIDE MANUFACTURER'S RECOMMENDED SEAM AND FLASHING TAPE OR SEALANT.
- ROOF SHEATHING TO APA RATED PLYWOOD STRUCTURAL SHEATHING WITH EXPOSURE 1 CLASSIFICATION.

### THERMAL & MOISTURE

- ARCH. SHINGLES TO BE CERTANTEED LANDMARKPRO OR EQ. UNDERLAYMENT TO BE GRACE VYCOR ICE & WATER SHIELD AND ROOF RUNNERS SYNTHETIC UNDERLAYMENT OR EQ.
- PROVIDE DOOR HARDWARE IN ACCORDANCE WITH BHMA A156. COORDINATE WITH OWNER ON KEYING. WINDOWS SHALL BE EQUAL TO PELLA LIFESTYLE METAL CLAD WOOD.
- UNIT TYPE: SEE ELEVATIONS & SCHEDULE
- EXTERIOR FINISH: WHITE OR BEIGE
- GLASS INFORMATION: I.G. LOW E2, WIAGRON, 95%- 96% UV, BLOCKAGE
- HARDWARE TYPE: PELLA STD. COLOR AS SELECTED BY THE ARCHITECT.

### OPENINGS

- DOOR TYPES SOLID CORE MASONITE OR THERMA-TRU INSUL.
- PROVIDE DOOR HARDWARE IN ACCORDANCE WITH BHMA A156. COORDINATE WITH OWNER ON KEYING.
- WINDOWS SHALL BE EQUAL TO PELLA LIFESTYLE METAL CLAD WOOD.
- UNIT TYPE: SEE ELEVATIONS & SCHEDULE
- EXTERIOR FINISH: WHITE OR BEIGE
- GLASS INFORMATION: I.G. LOW E2, WIAGRON, 95%- 96% UV, BLOCKAGE
- HARDWARE TYPE: PELLA STD. COLOR AS SELECTED BY THE ARCHITECT.

### FINISHES

- PROVIDE SEALANT AT INTERSECTION OF ALL DISSIMILAR MATERIALS. ALL ADHESIVES & SEALANTS THAT ARE INSIDE THE WEATHERPROOFING SYSTEM SHALL COMPLY WITH THE FOLLOWING VOC CONTENT LIMITS WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D (EPA METHOD 24):
  - WOOD GLUES: 30 g/L
  - METAL-TO-METAL ADHESIVES: 30 g/L
  - ADHESIVES FOR FIBROUS MATERIALS (EXCEPT WOOD): 30 g/L
  - SUBFLOOR ADHESIVES: 50 g/L
  - PLASTIC FLOOR ADHESIVES: 50 g/L
  - BOILER TILE ADHESIVES: 50 g/L
  - ROOF FLOOR ADHESIVES: 50 g/L
  - CEMENT ADHESIVES: 50 g/L
  - GYPNUM BOARD AND PANEL ADHESIVES: 50 g/L
  - CERAMIC TILE ADHESIVES: 65 g/L
  - MULTI-PURPOSE CONSTRUCTION ADHESIVES: 70 g/L
  - FIBERGLASS ADHESIVES: 80 g/L
  - CONTACT ADHESIVE: 80 g/L
  - STRUCTURAL GLAZING ADHESIVES: 100 g/L
  - ADHESIVES FOR METAL PANELS: 100 g/L
  - STRUCTURAL WOOD MEMBER ADHESIVE: 140 g/L
  - SINGLE PLY ROOF MEMBRANE ADHESIVE: 250 g/L
  - SPECIAL-PURPOSE CONTACT ADHESIVE CONTACT ADHESIVE THAT IS USED TO BOND MELAMINE COVERED BOARD, METAL UNSUPPORTED VINYL RUBBER, OR WOOD VENEER 1/16 INCH OR LESS IN THICKNESS TO ANY SURFACE): 250 g/L
  - TOP AND TRIM ADHESIVE: 250 g/L
  - PLASTIC CEMENT WELDING COMPOUNDS: 250 g/L
  - ADHESIVES FOR METAL PANELS: 250 g/L
  - CPVC WELDING COMPOUNDS: 40 g/L
  - PVC WELDING COMPOUNDS: 510 g/L
  - ADHESIVE PRIMER FOR PLASTIC: 550 g/L
  - SHEET-APPLIED RUBBER LINING ADHESIVE: 850 g/L
  - AEROSOL ADHESIVE, GENERAL PURPOSE MIST SPRAY: 65 PERCENT BY WEIGHT.
  - AEROSOL ADHESIVE, GENERAL PURPOSE WEB SPRAY: 55 PERCENT BY WEIGHT.
  - SPECIAL PURPOSE AEROSOL ADHESIVE (ALL TYPES): 70 PERCENT BY WEIGHT.
  - ADHESIVES FOR METAL PANELS: 250 g/L
  - ARCHITECTURAL SEALANTS: 250 g/L
  - NONMEMBRANE ROOF SEALANTS: 300 g/L
  - SINGLE PLY ROOF MEMBRANE SEALANTS: 450 g/L
  - OTHER SEALANTS: 420 g/L
  - SEALANT PRIMERS FOR NONPOROUS SUBSTRATES: 250 g/L
  - SEALANT PRIMERS FOR POROUS SUBSTRATES: 775 g/L
  - MODIFIED BITUMINOUS SEALANT PRIMERS: 300 g/L
  - ADHESIVES FOR METAL PANELS: 250 g/L
- FOLLOWING VOC CONTENT LIMITS WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D (EPA METHOD 24):
  - FLAT PAINTS AND COATINGS: VOC NOT MORE THAN 50 g/L
  - NON-FLAT PAINTS AND COATINGS: VOC NOT MORE THAN 150 g/L
  - DRY-FOG COATINGS: VOC NOT MORE THAN 400 g/L
  - PRIMERS, SEALERS, AND UNDERCOATERS: VOC NOT MORE THAN 200 g/L
  - CORROSIVE AND ANTI-RUST PAINTS APPLIED TO FERROUS METALS: VOC NOT MORE THAN 250 g/L
  - ZINC-RICH INDUSTRIAL MAINTENANCE PRIMERS: VOC NOT MORE THAN 340 g/L
  - PRETREATMENT WASH PRIMERS: VOC NOT MORE THAN 420 g/L
  - CLEAR WOOD FINISHES, VARNISHES: VOC NOT MORE THAN 350 g/L
  - CLEAR WOOD COATINGS, LACQUERS: VOC NOT MORE THAN 550 g/L
  - FLOOR COATINGS: VOC NOT MORE THAN 100 g/L
  - STAINES: VOC NOT MORE THAN 200 g/L
  - SHELLACS, CLEAR: VOC NOT MORE THAN 200 g/L
  - SHELLACS, COLORED: VOC NOT MORE THAN 250 g/L
  - GYPNUM BOARD TO COMPLY WITH ASTM C 1396/C 1396M. MOISTURE AND MOLD RESISTANCE GYPNUM BOARD TO HAVE A MOLD RESISTANCE SCORE OF 10 COMPLYING WITH ASTM D 3273. GYPNUM BOARD APPLICATION AND FINISHING TO COMPLY WITH STANDARDS SET FORTH BY ASTM C 840 AND GA 216.
  - PAINT TYPE, FINISH, AND COLOR AS SELECTED BY ARCHITECT.
  - APPLY PAINT IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS. APPLY ADDITIONAL COATS AS NECESSARY TO PRODUCE A UNIFORM FINISH, COLOR, AND APPEARANCE.

## STRUCTURAL SPECIFICATIONS

### FOUNDATIONS

- EXPOSED SUBGRADE SOILS MAY BE SENSITIVE TO DISTURBANCE AND A REDUCTION IN STRENGTH WHEN IN CONTACT WITH MOISTURE. CONTROL SUBGRADE AND CIRCUMJACENT WATER BY APPROPRIATE MEANS AND AVOID CONSTRUCTION TRAFFIC OVER EXPOSED SUBGRADES.
- FOUNDATIONS SHALL BE PLACED CLEANED, LEVEL SOIL AT THE ELEVATIONS NOTED ON PLAN. IN NO CASES SHALL EXTERIOR CONSTRUCTION BEAR AT AN ELEVATION OF LESS THAN FOUR FEET BELOW EXTERIOR FINISHED GRADE.
- ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND. COMPACT FOOTING SUBGRADES TO A MINIMUM OF 95% OPTIMUM DENSITY AS MEASURED BY ASTM D1557. CONCRETE FOR FOOTINGS SHALL BE PLACED THE DAY BEFORE POURING. PROVIDE A MINIMUM OF 24 HOURS FOR CURE. PROVIDE A THREE INCH THICK LEAN CONCRETE PAD AT ALL FOUNDATION WALLS.
- ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED BEFORE BACKFILLING. BACKFILL SHALL BE UNIFORMLY PLACED AND COMPACTED ON BOTH SIDES OF WALLS AT THE SAME TIME.
- SHOULD OBSTRUCTIONS OR OTHERWISE UNDESIRABLE SOILS CONDITIONS BE ENCOUNTERED, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

### SUBBASE

- THE SUBBASE FOR THE SLAB ON GRADE SHALL CONSIST OF AN EIGHT INCH THICK #2 CRUSHED STONE OR CRUSHER RUN STONE COMPLYING WITH NYSDOT ITEM 304.03 THOROUGHLY COMPACTED TO 95% OPTIMUM DENSITY (MODIFIED PROCTOR ASTM D-1557), PRIOR TO PLACEMENT. SUBGRADE SHALL BE THOROUGHLY PROOF-ROLLED USING A MINIMUM 20-TON VIBRATORY ROLLER.
- THE CONTRACTOR SHALL HAVE COMPACTION TESTS TAKEN TO ENSURE PROPER COMPACTION OF FILL.

### CONCRETE

- CONCRETE SHALL BE THE STANDARD DESIGN MIX OF ANY OF THE LOCAL READY-MIX SUPPLIERS APPROVED BY THE NY S.D.O.T. AND MEETING THE FOLLOWING MINIMUM REQUIREMENTS (DESIGN MIXES TO BE SUPPLIED TO THE ARCHITECT FOR APPROVAL):
  - 4000 PSI, 3' SLUMP, 6% ENTRAINED, 0.45 MAX W/C RATIO
  - INTERIOR SLABS: 4.000 PSI, 3' SLUMP, ENTRAINED AIR, 0.45 MAX W/C RATIO
- THE CONTRACTOR SHALL TAKE FOUR (4) STANDARD CYLINDERS FOR EACH 30 CU. YD. OF CONCRETE POURED AND 28-DAY CYLINDERS FOR EACH 1000 SQ. YD. OF CONCRETE PLACED ON WALLS AND FOOTINGS.
  - PROTECTION FOR REINFORCING IN CONCRETE:
    - FOOTINGS = 3" COVER BOTTOM AND SIDES
    - WALLS AND GRADE BEAMS = 2" SIDES AND 3" BOTTOM PIERS = 2" SIDES
    - FLOOR SLABS = 1" TOP AND BOTTOM
  - ALL CONCRETE REINFORCEMENT SHALL BE DETAILED AND PLACED IN FULL ACCORDANCE WITH THE ACI CODE OF PRACTICE.
  - MINIMUM REINFORCEMENT LAYS = 36-DIA. FOR BARS AND 6" BEYOND FIRST INTACT CROSS WIRES FOR WELDED WIRE MESH.
  - WELDED WIRE MESH TO BE PLACED IN UPPER 1/3RD OF SLAB TYPICALLY.
  - BARS MARKED CONTINUOUS SHALL BE RUN CONTINUOUS THROUGH THE WALLS, AROUND CORNERS, LAPPED AT NECESSARY SPLICES AND HOOKED AT ENDS. REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
  - PROVIDE 1/2"ES CONTINUOUS TOP AND BOTTOM OF ALL CONCRETE WALLS AND GRADE BEAMS, UNLESS OTHERWISE SPECIFIED.
  - PROVIDE 1/2"ES X 30" LONG PLACED DIAGONALLY ACROSS EACH REINTEGRANT CORNER OF SLABS AND WALLS.
  - SUPPORT REINFORCING BARS IN ACCORDANCE WITH THE ACI CODE OF STANDARD PRACTICE. USE GALVANIZED OR STAINLESS STEEL EXCEPT WHERE BAR SUPPORTS ARE IN CONTACT WITH EXPOSED SURFACES, IN WHICH CASE THEY SHALL BE GALVANIZED AND PLASTIC TIPPED.

### PREFABRICATED ROOF TRUSS UNITS

- SUBMIT PRODUCT DATA FOR LUMBER, METAL CONNECTOR PLATES, HARDWARE, FABRICATION PROCESS, FASTENERS AND METAL FRAMING ANCHORS. SHOP DRAWINGS INDICATING SPECIES GROUP, SIZES AND STRESS GRADES OF LUMBER TO BE USED: PITCH, SPAN, CAMBER, CONFIGURATION AND SPACING FOR ANCHORS AND FASTENERS. PROVIDE DESIGN VALUES, AND LOCATION OF METAL CONNECTOR PLATES, BEARING ANCHORAGE DETAILS.
- THE DESIGN OF THESE PREFABRICATED BUILDING COMPONENTS, FOR THE FLOOR AND ROOF LOADS PROVIDED, SHALL BE THE RESPONSIBILITY OF THE FABRICATOR. INCLUDE DESIGN ANALYSIS INDICATING ALLOWABLE STRESSES OF MATERIALS USED, STRESS DIAGRAMS AND CALCULATIONS, AND OTHER INFORMATION NEEDED FOR REVIEW THAT HAVE BEEN SIGNED AND SEALED BY A QUALIFIED ENGINEER, LICENSED TO PRACTICE IN THE JURISDICTION WHERE THE PREFABRICATED WOOD UNITS WILL BE INSTALLED. RESPONSIBILITY FOR THEIR PREPARATION SHALL REST WITH THE FABRICATOR'S ENGINEER(S).
- MINIMUM DESIGN LOADINGS:

PREFABRICATED ROOF TRUSSES	SEE PLANS FOR ADDITIONAL REQUIREMENTS
TOP CHORDS	LL = 55 PSF, 10 PSF DL
BOTTOM CHORDS	DL = 5 PSF
WIND LOAD	WL = 10 PSF UP/LIFT

- ROOF CONSTRUCTION WHERE TRUSSES ARE BUILT OVER TRUSSES AS INDICATED ON THE PLANS SHALL BE DESIGNED WITH THE ADDITIONAL DEAD LOAD OF THE TRUSSES AND THE TOP CHORD SHALL BE DIRECTLY ON THEM.
  - WEB COMPONENTS METAL PLATE CONNECTED MEMBERS WHICH HAVE BEEN CUT AND ASSEMBLED PRIOR TO DELIVERY TO THE JOB SITE.
  - COMPLY WITH APPLICABLE REQUIREMENTS OF NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, PUBLISHED BY NATIONAL FOREST ASSOCIATION (N.F.P.A.). COMPLY WITH FS 20 AND WITH APPLICABLE RULES OF THE RESPECTIVE GRADING/INSPECTION AGENCIES FOR SPECIES GRADE OF LUMBER AND THE APPLICABLE RULES OF THE RESPECTIVE GRADING/INSPECTION AGENCIES FOR THE FABRICATION PROCESS. TREATMENT (IF ANY), HANDLING, AND ERECTION, SUBMIT CERTIFICATE SIGNED BY AN OFFICER OF FABRICATING FIRM, INDICATING THAT UNITS TO BE SUPPLIED FOR PROJECT COMPLY WITH INDICATED REQUIREMENTS.
  - ERECT AND BRACE UNITS TO COMPLY WITH APPLICABLE REQUIREMENTS OF REFERENCED TPI STANDARDS. WHERE UNITS DO NOT FIT, RETURN THEM TO THE FABRICATOR AND REPLACE WITH UNITS OF CORRECT SIZE. DO NOT ALTER UNITS IN FIELD. ERECT UNITS WITH PLANE OR TRUSS WEBS VERTICAL (PLUMB) AND PARALLEL TO EACH OTHER, LOCATED ACCURATELY AT DESIGN SPACINGS INDICATED. JOIST UNITS IN PLACE BY MEANS OF JOINTS BY OUT-OF-PLANE BENDING OR OTHER CAUSES. ANCHOR UNITS SECURELY AT ALL BEARING POINTS TO COMPLY WITH METHODS AND DETAILS INDICATED. INSTALL PERMANENT BRACING AND RELATED COMPONENTS TO ENABLE UNITS TO MAINTAIN DESIGN SPACING, WITH STAND LIVE AND DEAD LOADS INCLUDING LATERAL LOADS, AND COMPLY WITH OTHER INDICATED REQUIREMENTS. DO NOT CUT OR REMOVE TRUSS OR JOIST MEMBERS.
  - MEMBERS MUST BE HELD STRAIGHT AND PLUMB AT THEIR DESIGN SPACING WHILE ALL BRACING IS APPLIED. LATERAL BRACING SHOULD BE INSTALLED AS SPECIFIED BY MANUFACTURER AT SUPPORT LOCATIONS.
  - ALL TRUSS AND JOIST MEMBERS SHALL BE INSTALLED AS SPECIFIED BY MANUFACTURER. UNITS THAT DO NOT CUT OR REMOVE A PORTION OF MEMBERS' CHORDS OR WEBS, NAILING GUIDELINES FOLLOW.
  - APA RECOMMENDATIONS FOR NAILING SHEATHING TO TOP CHORDS OF TRUSSES, 8D BOX, 4D COMMON OR 6D DEFORMED SHANK NAILS MAY BE USED TO NAIL PLYWOOD TO TOP CHORD. STAGGER NAILS TO PREVENT SPLITTING OF THE CHORD. SPACE NAILS 1-1/2" FROM END AND 4" TO 8" APART.
  - NAIL UNITS TO BEARING WITH ONE 8D BOX NAIL THROUGH THE BOTTOM CHORD ON EACH SIDE OF THE WEB. PROVIDE MINIMUM OF 3" BEARING. CONCENTRATED LOADS IN EXCESS OF 30 POUNDS SHOULD NOT BE HUNG FROM BOTTOM CHORDS.

### SPECIALTIES

- PROVIDE ALUMINUM WINDOW BLINDS (TYPICAL)

## eco logic STUDIO

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BUFFALO, NY 14214  
716.834.9588

### GENERAL STRUCTURAL CRITERIA

- PRINCIPAL DESIGN LOADS:
  - A, SEI, ASCE 7-05
  - B, 2020 BUILDING CODE OF NYS
- DESIGN LOADS

FLOOR LIVE LOAD = 100 PSF LOBBY/CORRIDORS/PUBLIC  
40 PSF ROOMS

ROOF SNOW LOAD = CONCRETE FOR FOOTINGS SHALL BE PLACED THE  
DAY BEFORE POURING. PROVIDE A MINIMUM OF 24 HOURS FOR CURE.  
PROVIDE A THREE INCH THICK LEAN CONCRETE PAD AT ALL  
FOUNDATIONS WALLS.

WIND LOAD  
BASING WIND SPEED = 115 MPH  
EXPOSURE "B"  
lw = 1.00

## MECHANICAL SPECIFICATIONS SEE DWG MEP-101, MEP-102

## ELECTRICAL SPECIFICATIONS SEE DWG MEP-101, MEP-102



BENLIC



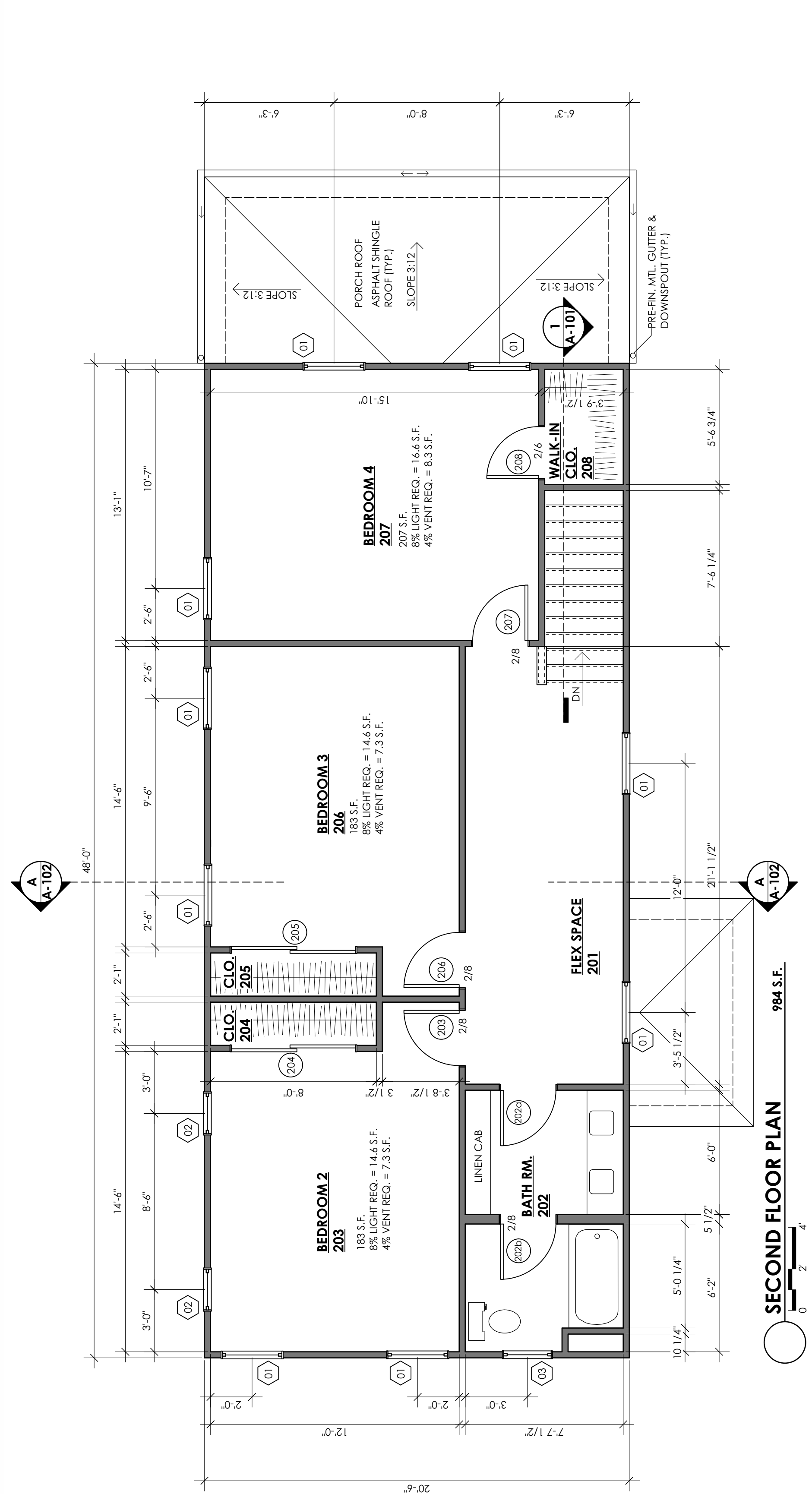
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SUBDIVISION 2, IS ILLEGAL.

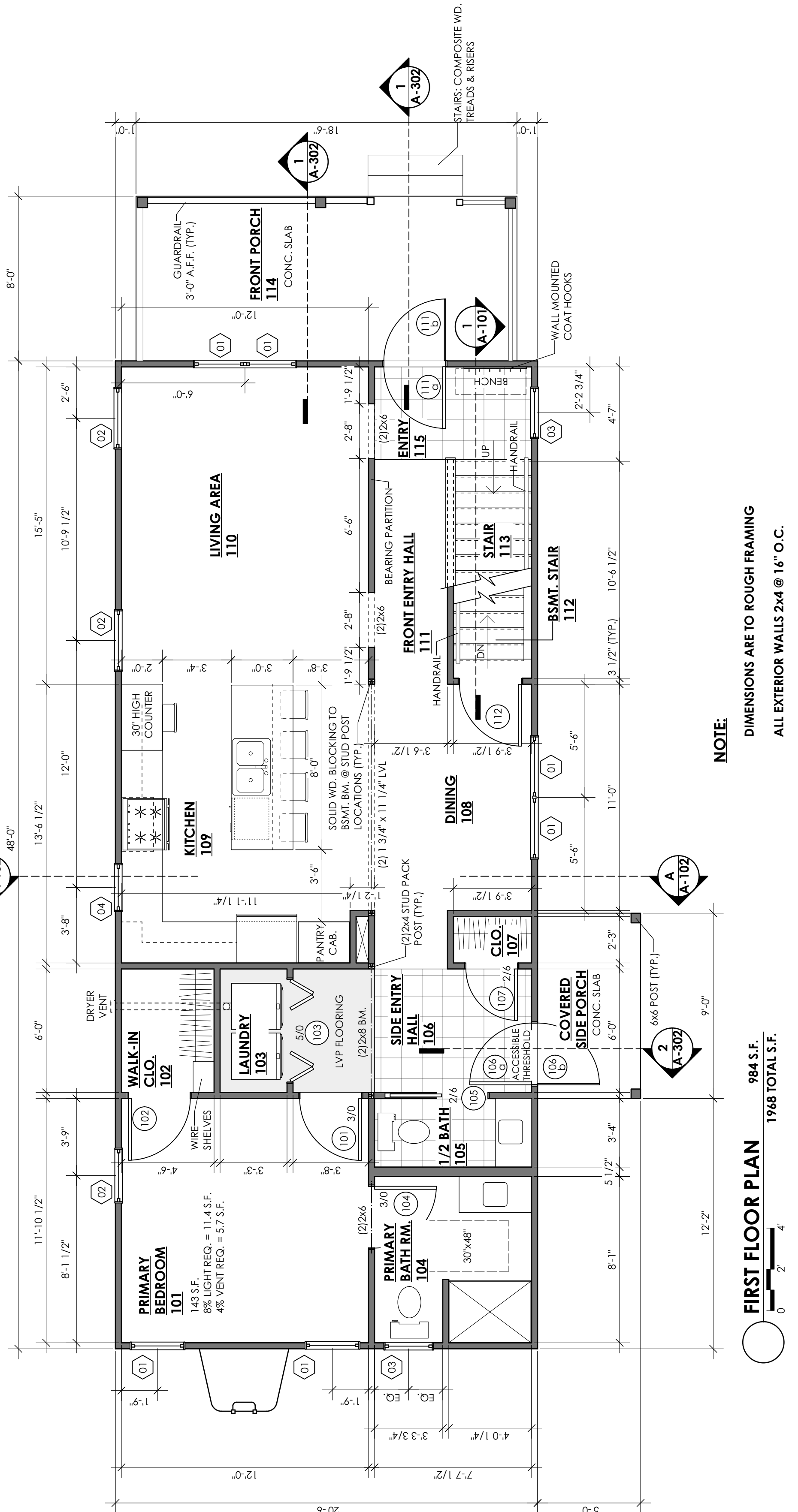
### CONSTRUCTION DOCUMENTS

<b>CHEEKTOWAGA SINGLE FAMILY INFILL</b>
44 Long Avenue Cheektowaga, NY 14225 <b>NEW RESIDENCE</b>
Project # 2414
DRAWN BY: slh, gq
21-Oct-24
<b>GENERAL NOTES &amp; SPECIFICATIONS</b>
DWG. NO. <b>A-100</b>



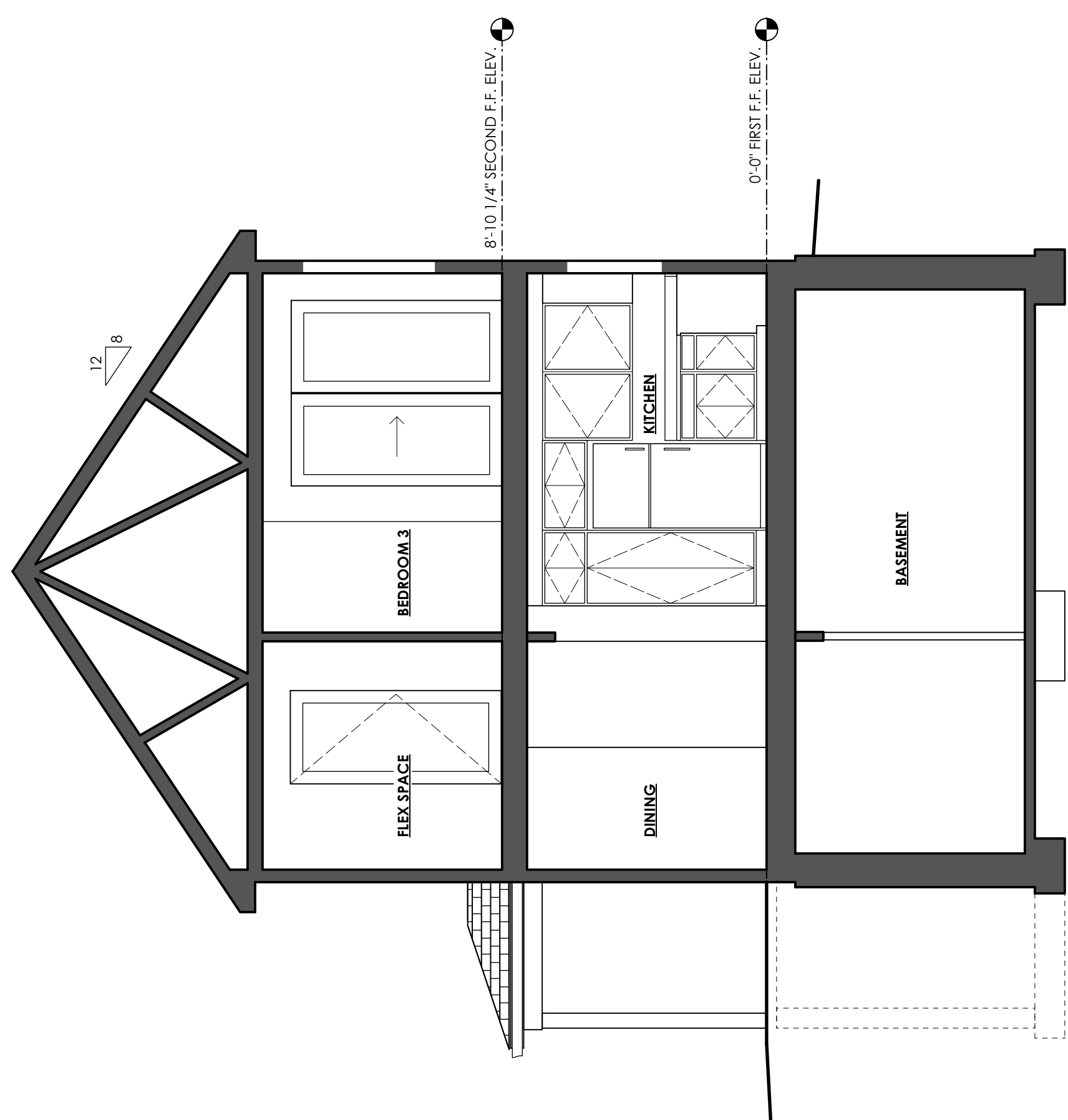


**SECOND FLOOR PLAN**  
 984 S.F.



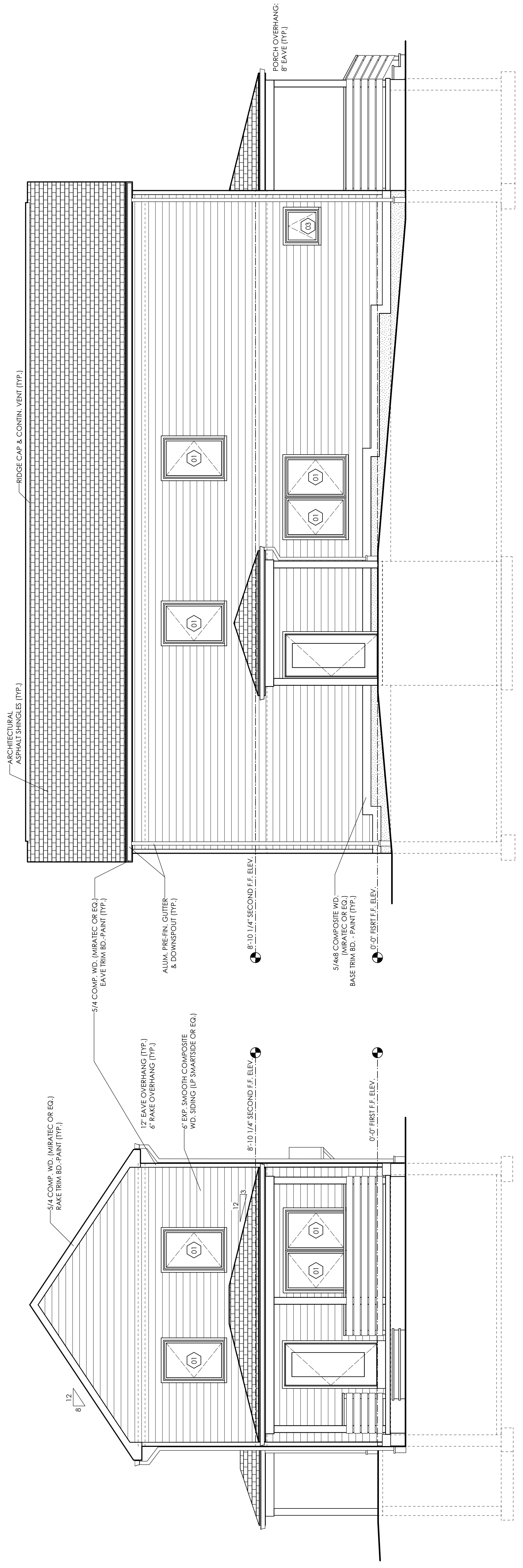
**FIRST FLOOR PLAN**  
 984 S.F.  
 1968 TOTAL S.F.

**NOTE:**  
 DIMENSIONS ARE TO ROUGH FRAMING  
 ALL EXTERIOR WALLS 2x4 @ 16" O.C.  
 ALL INTERIOR PARTITIONS 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE

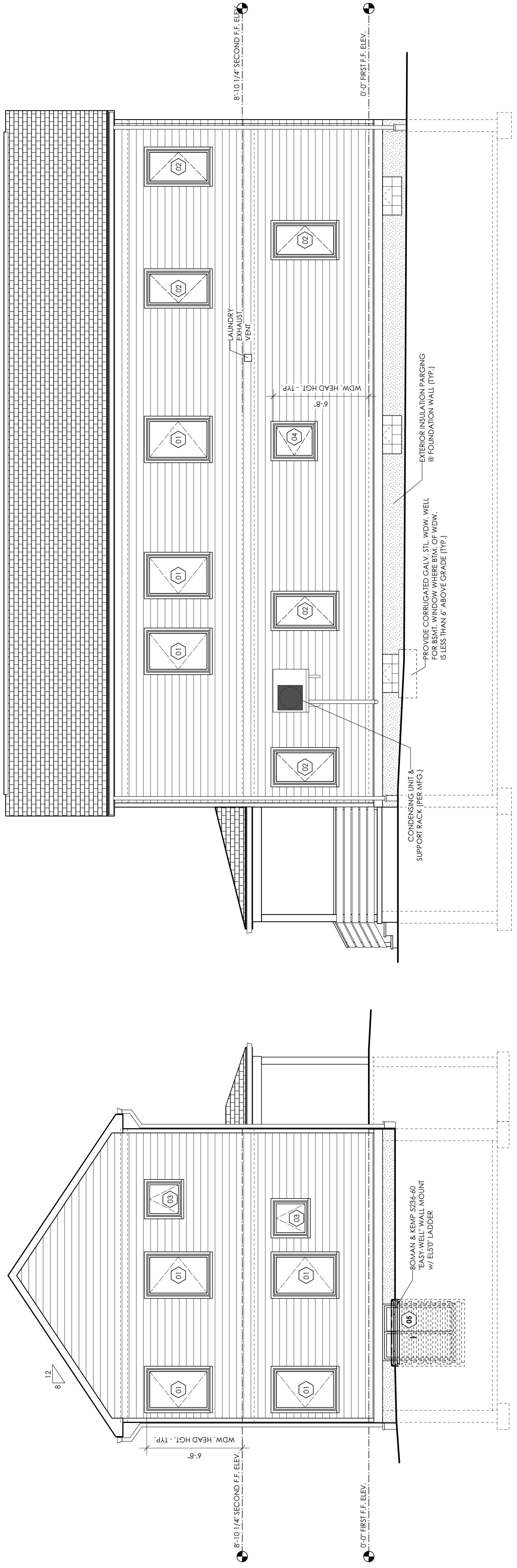


**A BUILDING SECTION**

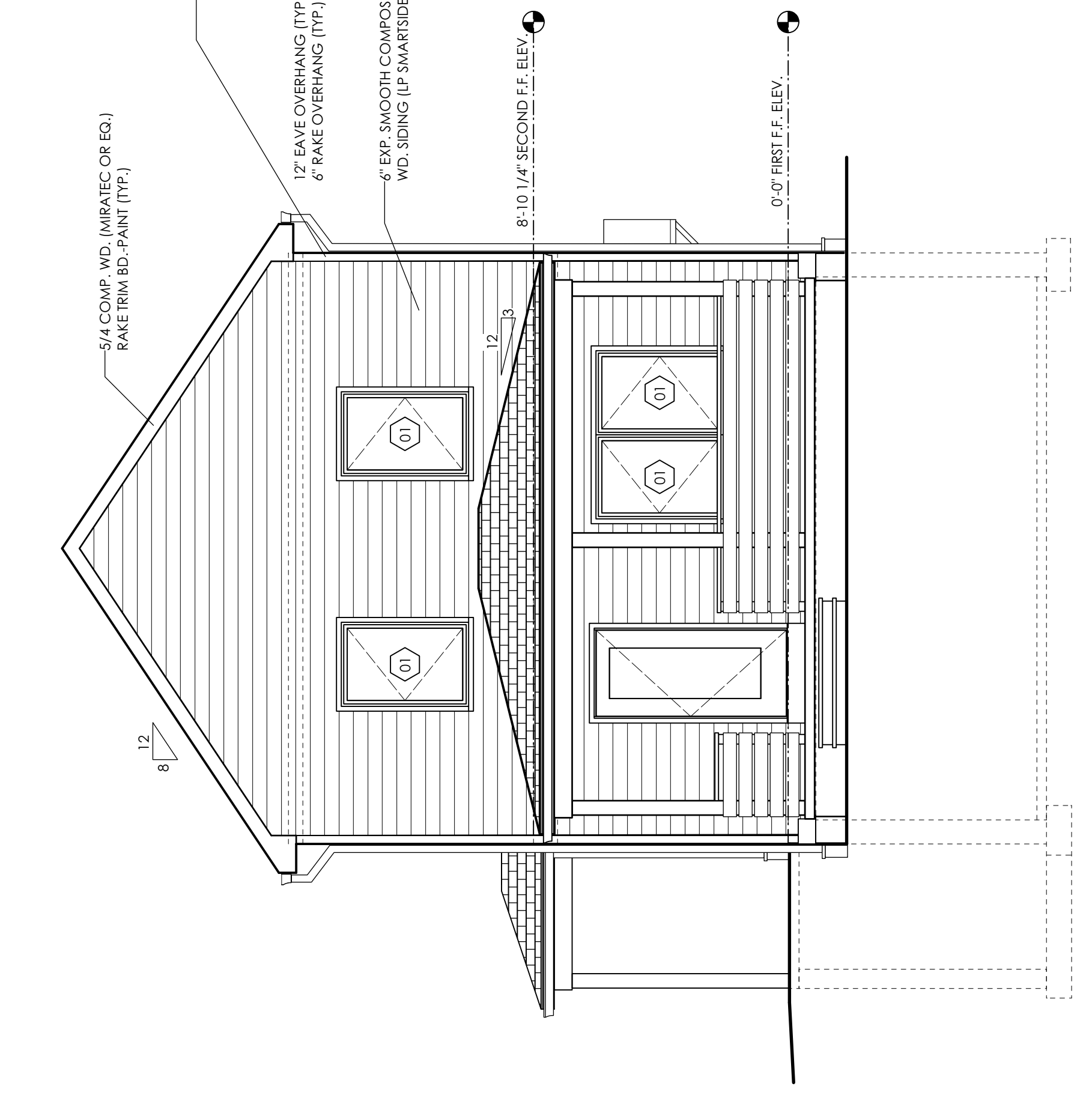




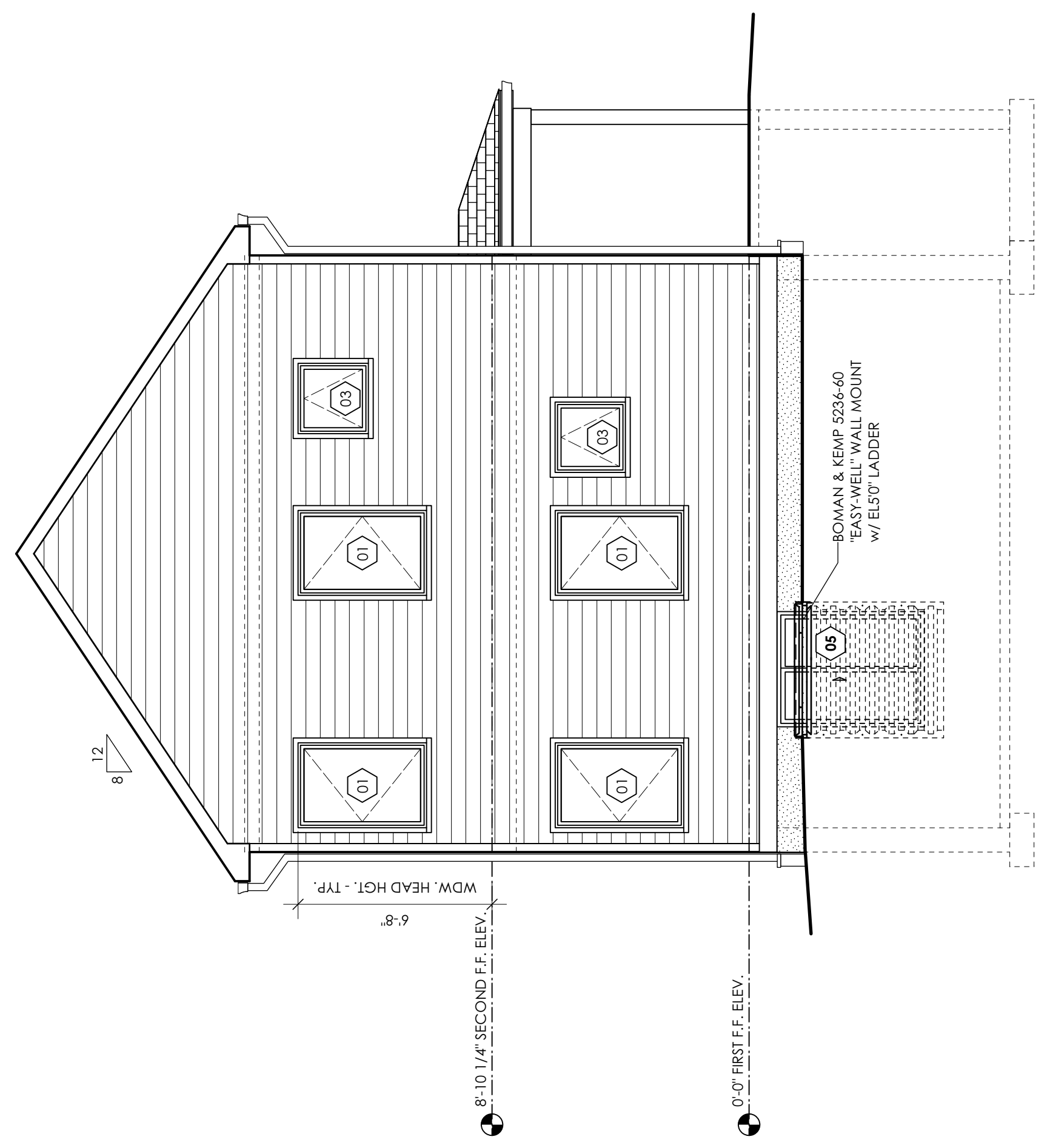
**SOUTH ELEVATION**  
 0 2 4



**NORTH ELEVATION**  
 0 2 4



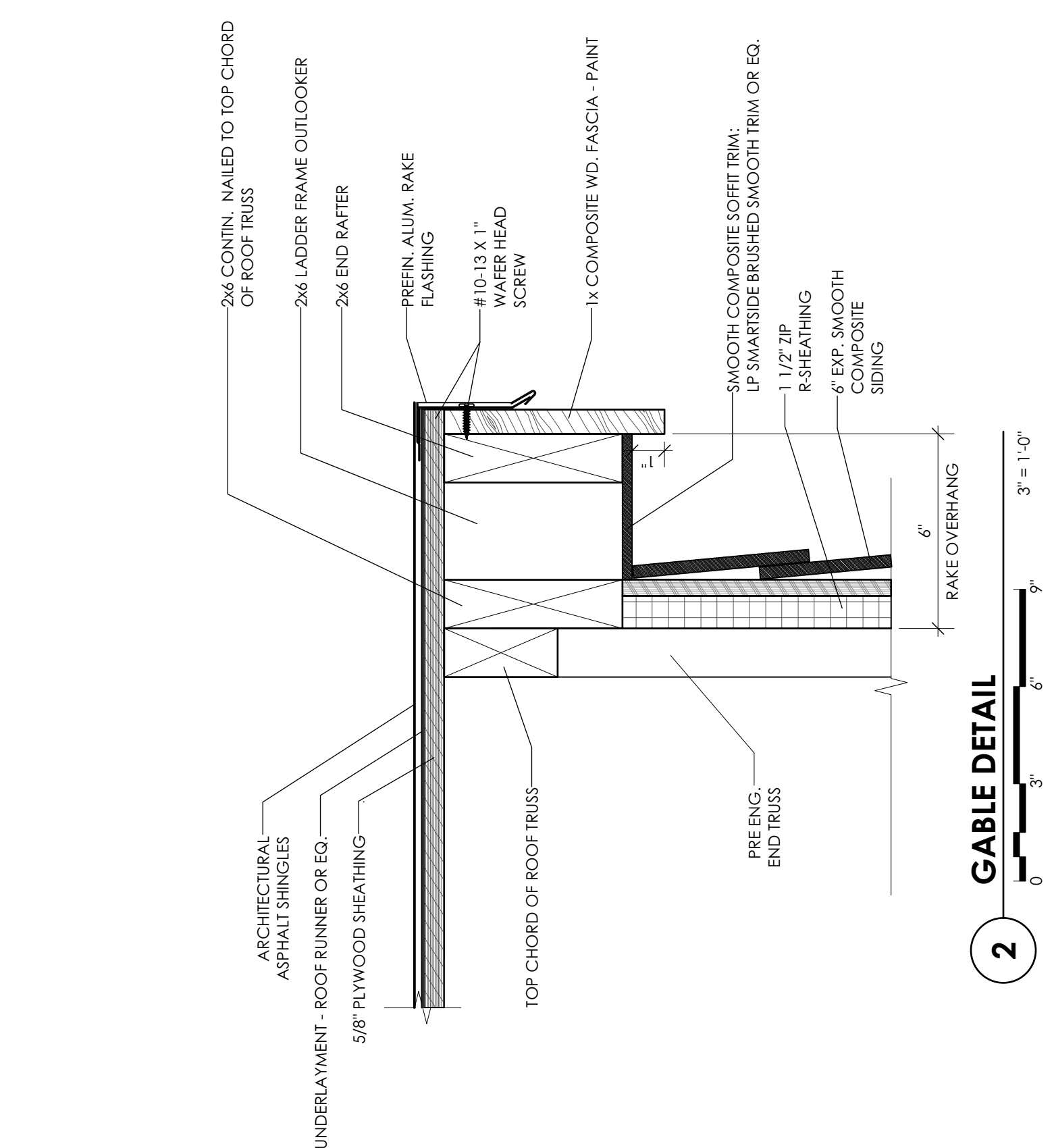
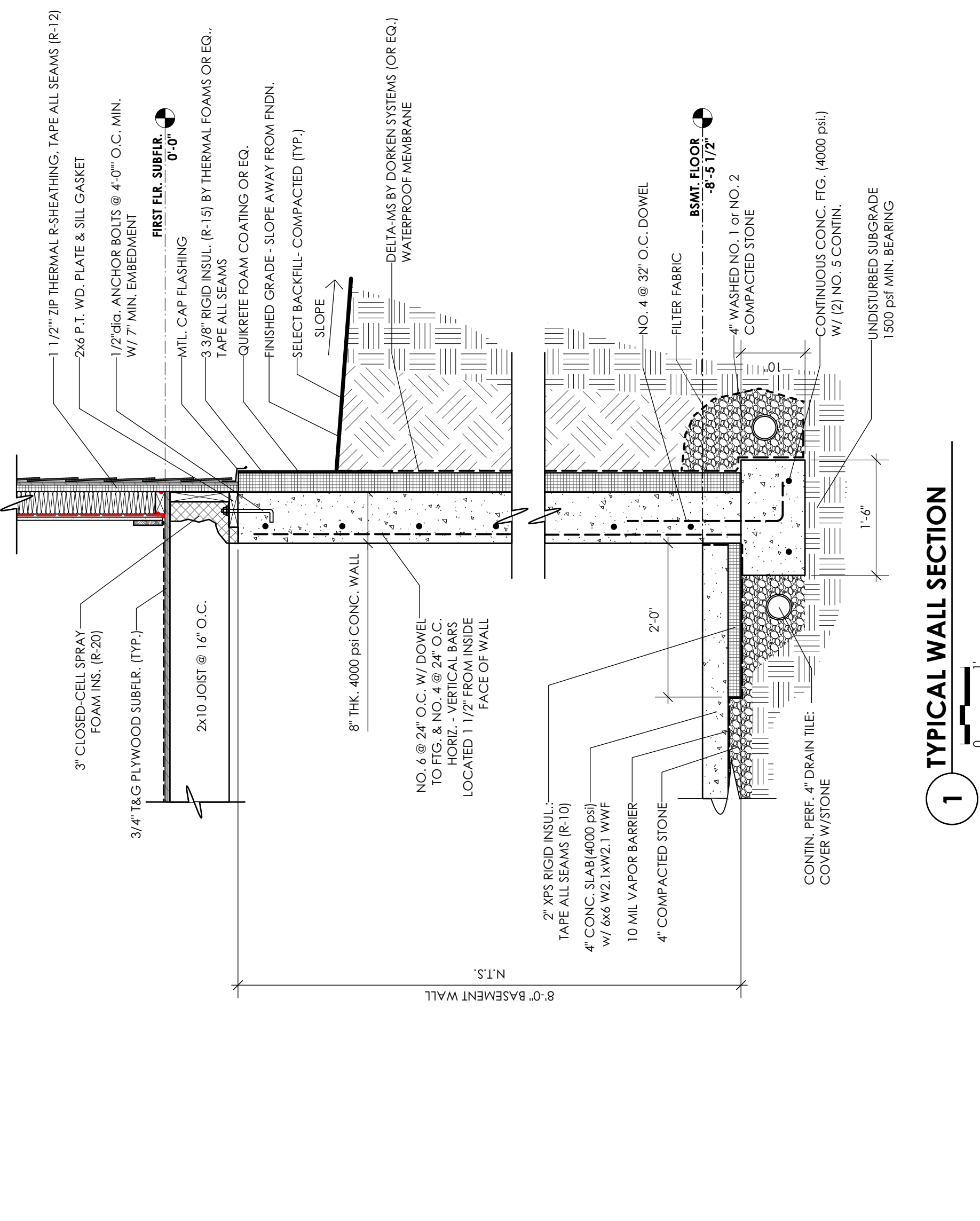
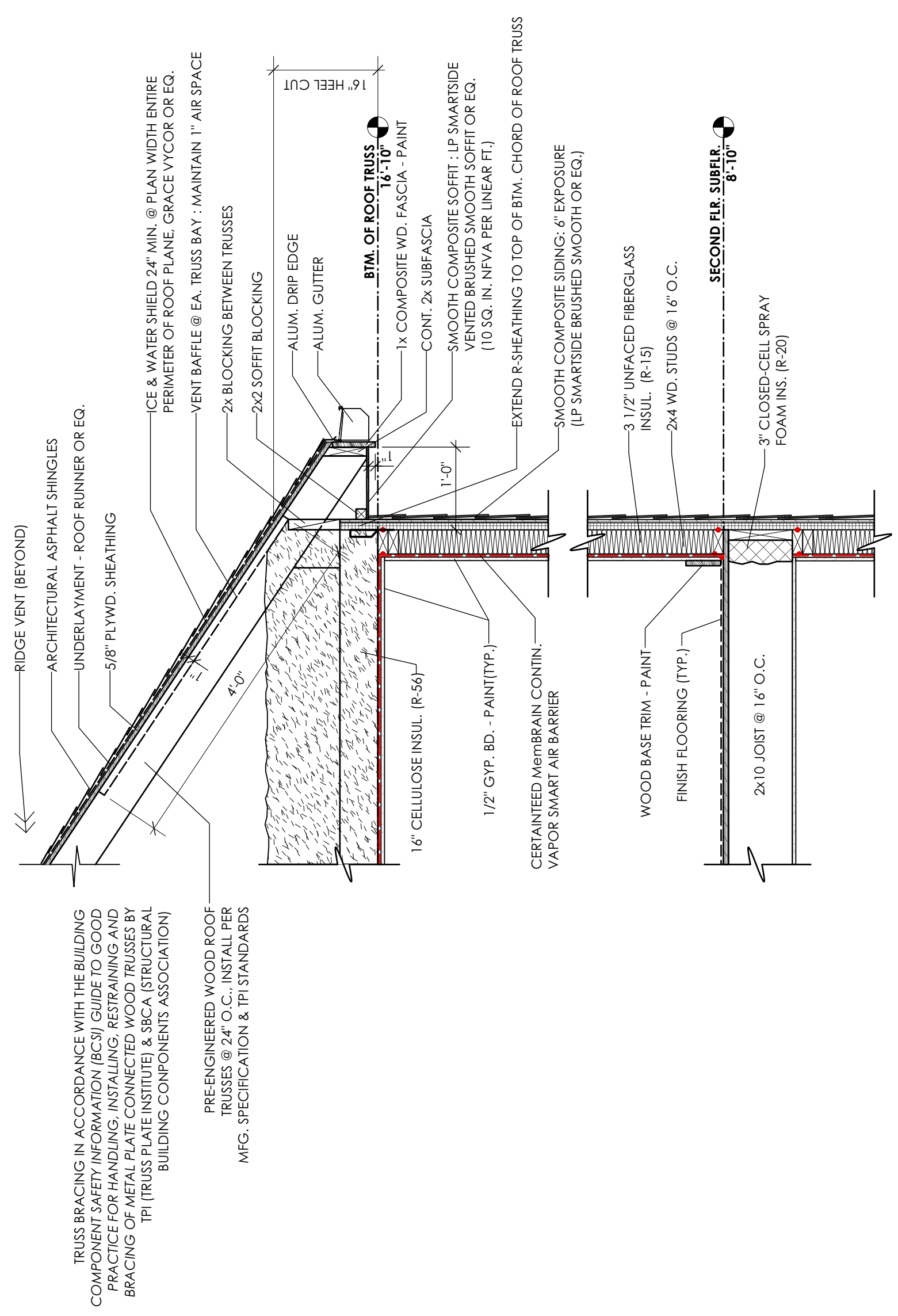
**EAST ELEVATION**  
 0 2 4



**WEST ELEVATION**  
 0 2 4

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<b>CONSTRUCTION DRAWINGS</b>

<b>BENLIC CHEEKTOWAGA IN-FILL</b>
44 Long Avenue Cheektowaga, NY 14225
<b>NEW CONSTRUCTION</b>
Project # 2414
DRAWN BY: slh
21-Oct-24
<b>WALL SECTION &amp; DETAILS</b>
DWG. NO. <b>A-301</b>



TRUSS BRACING IN ACCORDANCE WITH THE BUILDING COMPONENT SAFETY INFORMATION (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES BY TPI (TRUSS PLATE INSTITUTE) & SBCA (STRUCTURAL BUILDING COMPONENTS ASSOCIATION)

PRE-ENGINEERED WOOD ROOF TRUSSES @ 24" O.C., INSTALL PER MFG. SPECIFICATION & TPI STANDARDS

ICE & WATER SHIELD 24" MIN. @ PLAN WIDTH ENTIRE PERIMETER OF ROOF PLANE, GRACE VYCOR OR EQ.

VENT BAFFLE @ EA. TRUSS BAY : MAINTAIN 1" AIR SPACE

2x BLOCKING BETWEEN TRUSSES

ALUM. DRIP EDGE

ALUM. GUTTER

1x COMPOSITE WD. FASCIA - PAINT

SMOOTH COMPOSITE SOFFIT : LP SMARTSIDE VENTED BRUSHED SMOOTH SOFFIT OR EQ. (10 SQ. IN. N.F.V.A. PER LINEAR FT.)

EXTEND R-SHEATHING TO TOP OF BTM. CHORD OF ROOF TRUSS

SMOOTH COMPOSITE SIDING: 6" EXPOSURE (LP SMARTSIDE BRUSHED SMOOTH OR EQ.)

3 1/2" UNFACED FIBERGLASS INSUL. (R-15)

2x4 WD. STUDS @ 16" O.C.

3" CLOSED-CELL SPRAY FOAM INS. (R-20)

WOOD BASE TRIM - PAINT

FINISH FLOORING (TYP.)

2x10 JOIST @ 16" O.C.

3" CLOSED-CELL SPRAY FOAM INS. (R-20)

1 1/2" ZIP THERMAL R-SHEATHING, TAPE ALL SEAMS (R-12)

2x6 P.T. WD. PLATE & SILL GASKET

1 1/2" RIGID ANCHOR BOLTS @ 4'-0" O.C. MIN. W/ 7" MIN. EMBEDMENT

MIL CAP FLASHING

3 3/8" RIGID INSUL. (R-15) BY THERMAL FOAMS OR EQ., TAPE ALL SEAMS

QUIKRETE FOAM COATING OR EQ.

FINISHED GRADE - SLOPE AWAY FROM FNDN.

SELECT BACKFILL- COMPACTED (TYP.)

SLOPE

DELTA-MS BY DORKEN SYSTEMS (OR EQ.) WATERPROOF MEMBRANE

NO. 6 @ 24" O.C. W/ DOWEL TO FIG. & NO. 4 @ 24" O.C. HORIZ. - VERTICAL BARS LOCATED 1 1/2" FROM INSIDE FACE OF WALL

8" THK. 4000 PSI CONC. WALL

2x10 JOIST @ 16" O.C.

3" CLOSED-CELL SPRAY FOAM INS. (R-20)

3/4" T&G PLYWOOD SUBFLR. (TYP.)

2' XFS RIGID INSUL. TAPE ALL SEAMS (R-10)

4" CONC. SLAB (4000 PSI) W/ 6x6 W2, 1xW2, 1 WVF

10 MIL VAPOR BARRIER

4" COMPACTED STONE

BSMT. FLOOR

8" - 5 1/2" WASHED NO. 1 or NO. 2 COMPACTED STONE

FILER FABRIC

NO. 4 @ 32" O.C. DOWEL

CONTIN. PER. 4" DRAIN TILE COVER W/ STONE

4" CONTINUOUS CONC. FIG. (4000 PSI) W/ (2) NO. 5 CONTIN.

UNDISTURBED SUBGRADE 1500 PSF MIN. BEARING

1'-6"

1'-6"

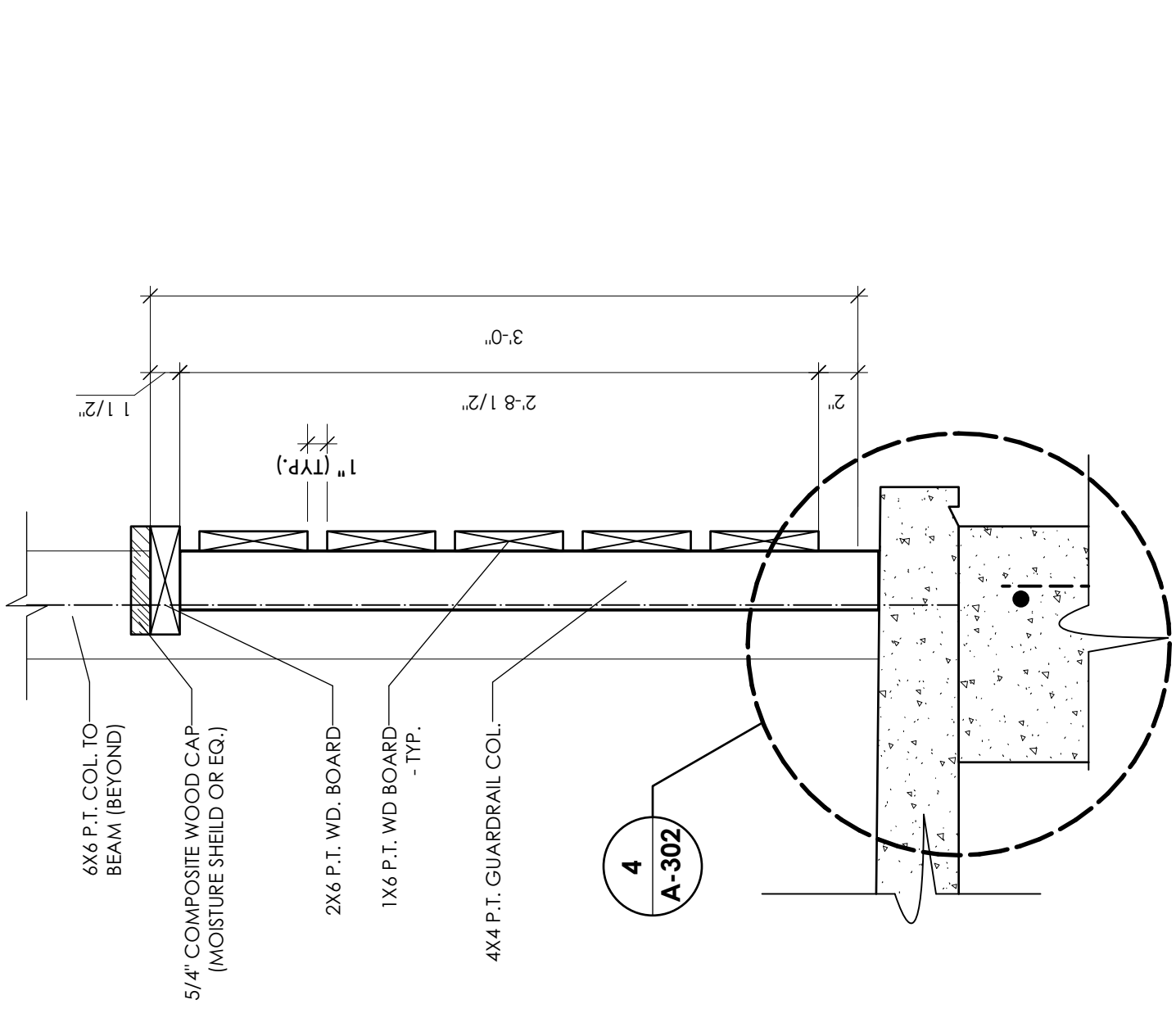
8'-0" BASEMENT WALL

N.T.S.

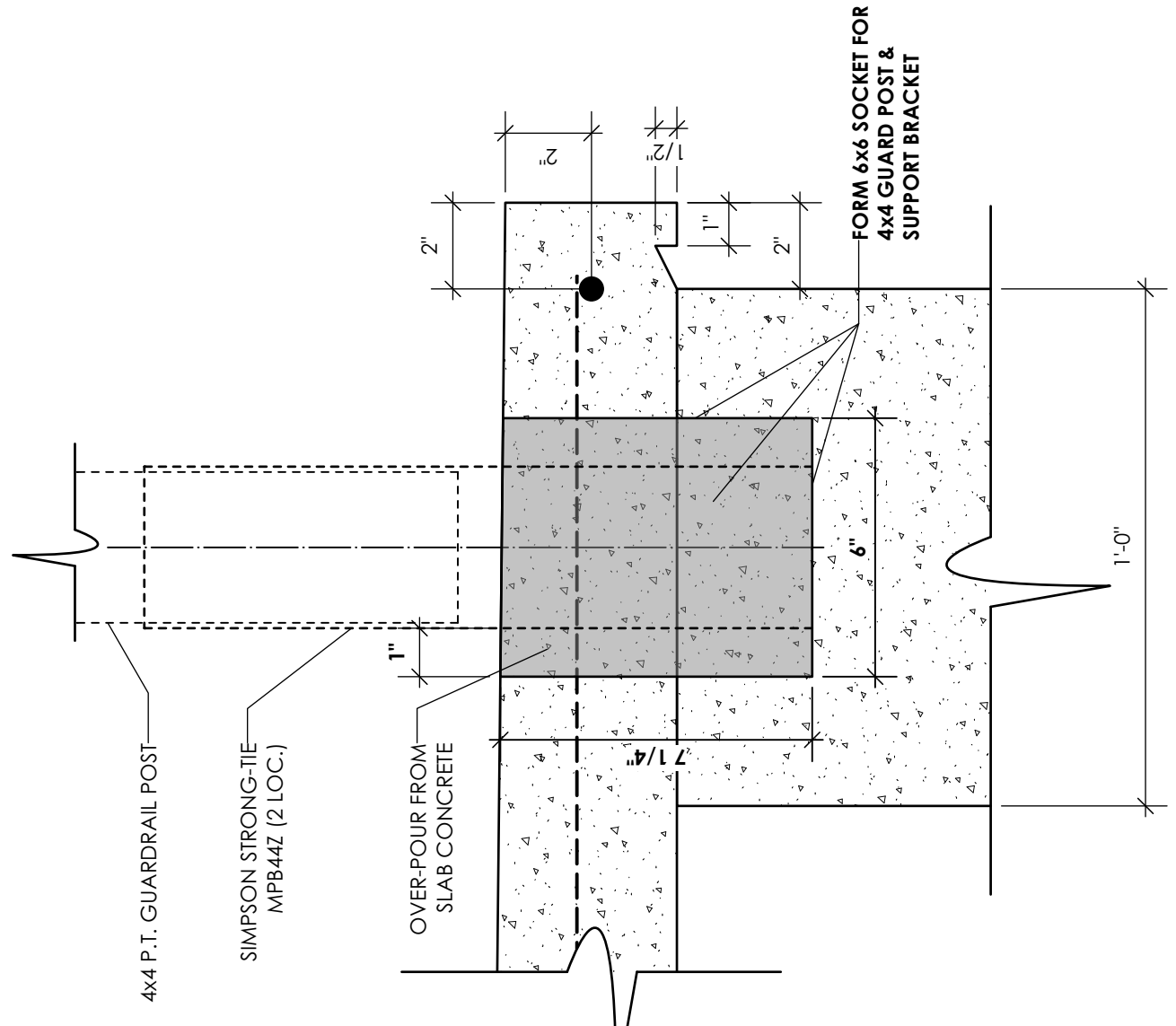
1

TYPICAL WALL SECTION

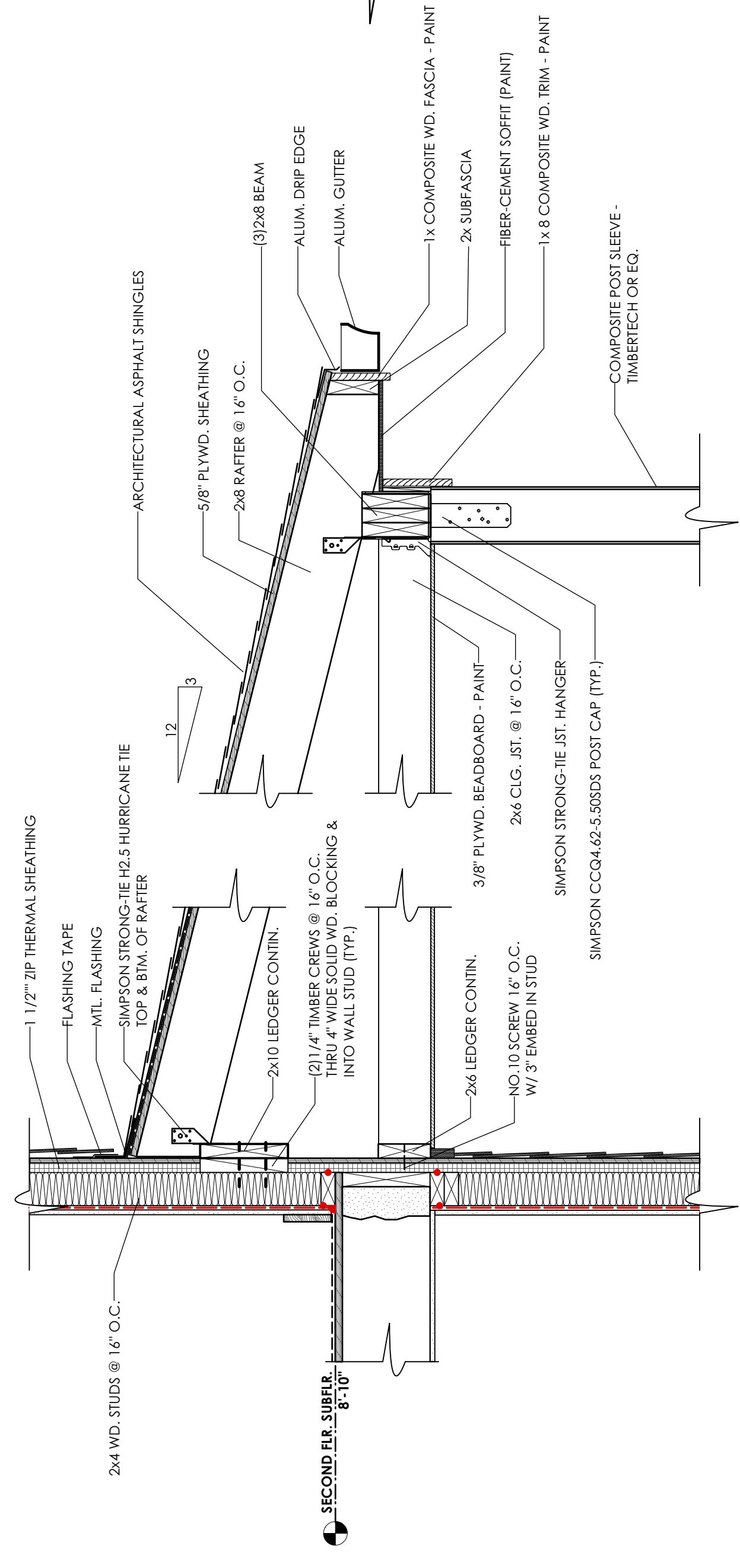
0 3' 1'-0"



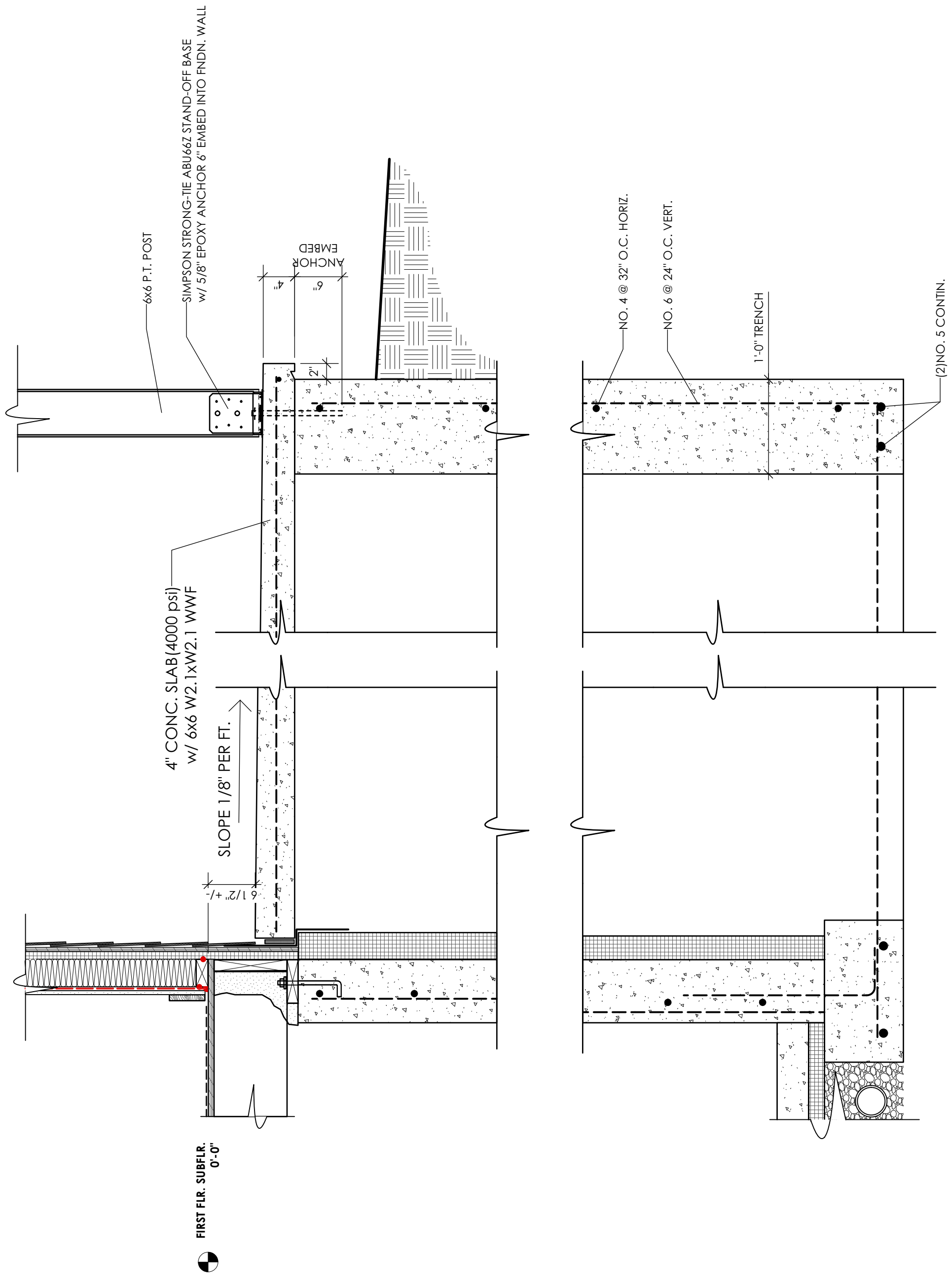
**3 RAILING DETAIL**  
 1" = 1'-0"  
 0 6" 1'



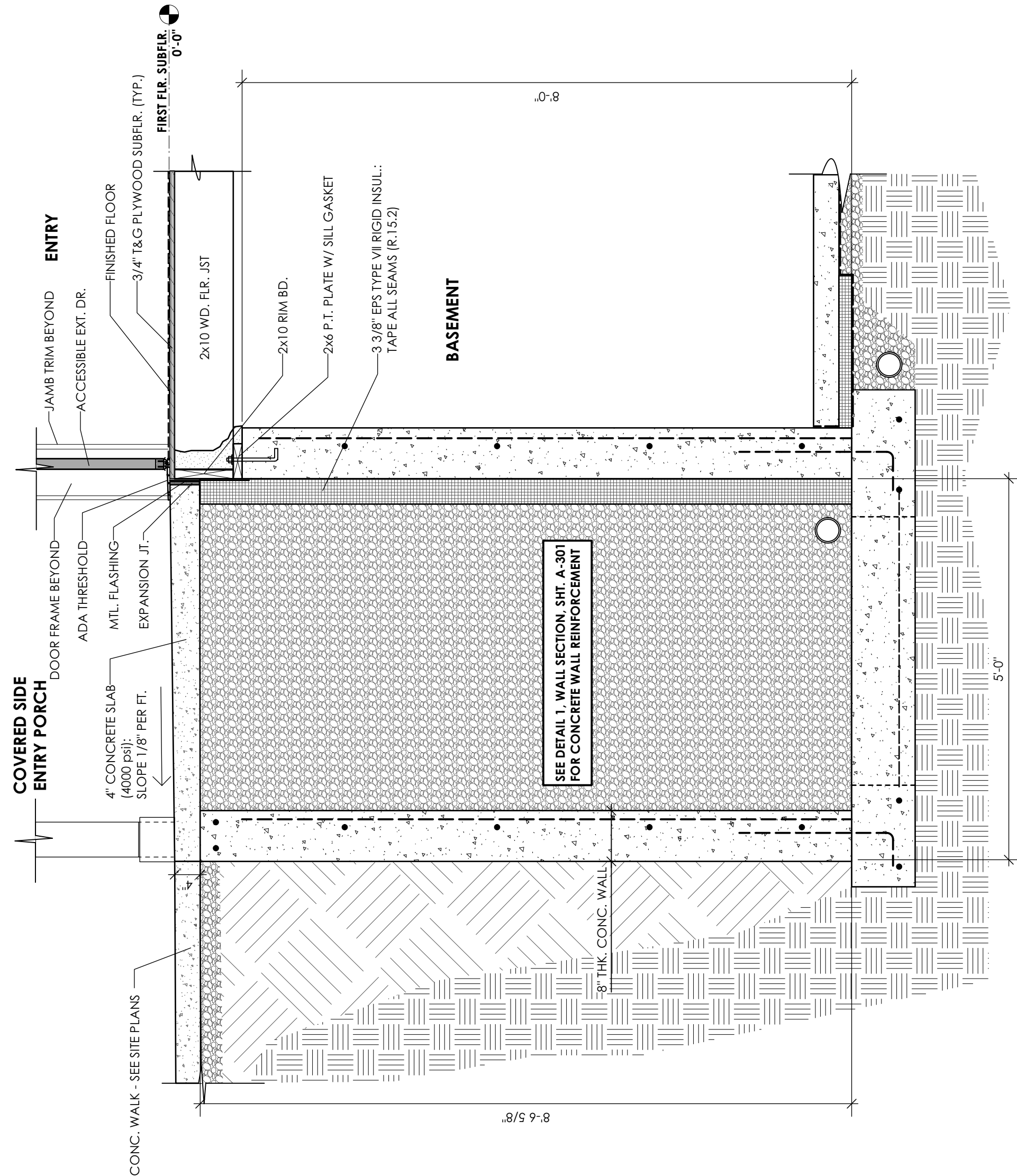
**4 GUARD POST SUPPORT**  
 3" = 1'-0"  
 0 3" 6" 9" 1'-0"



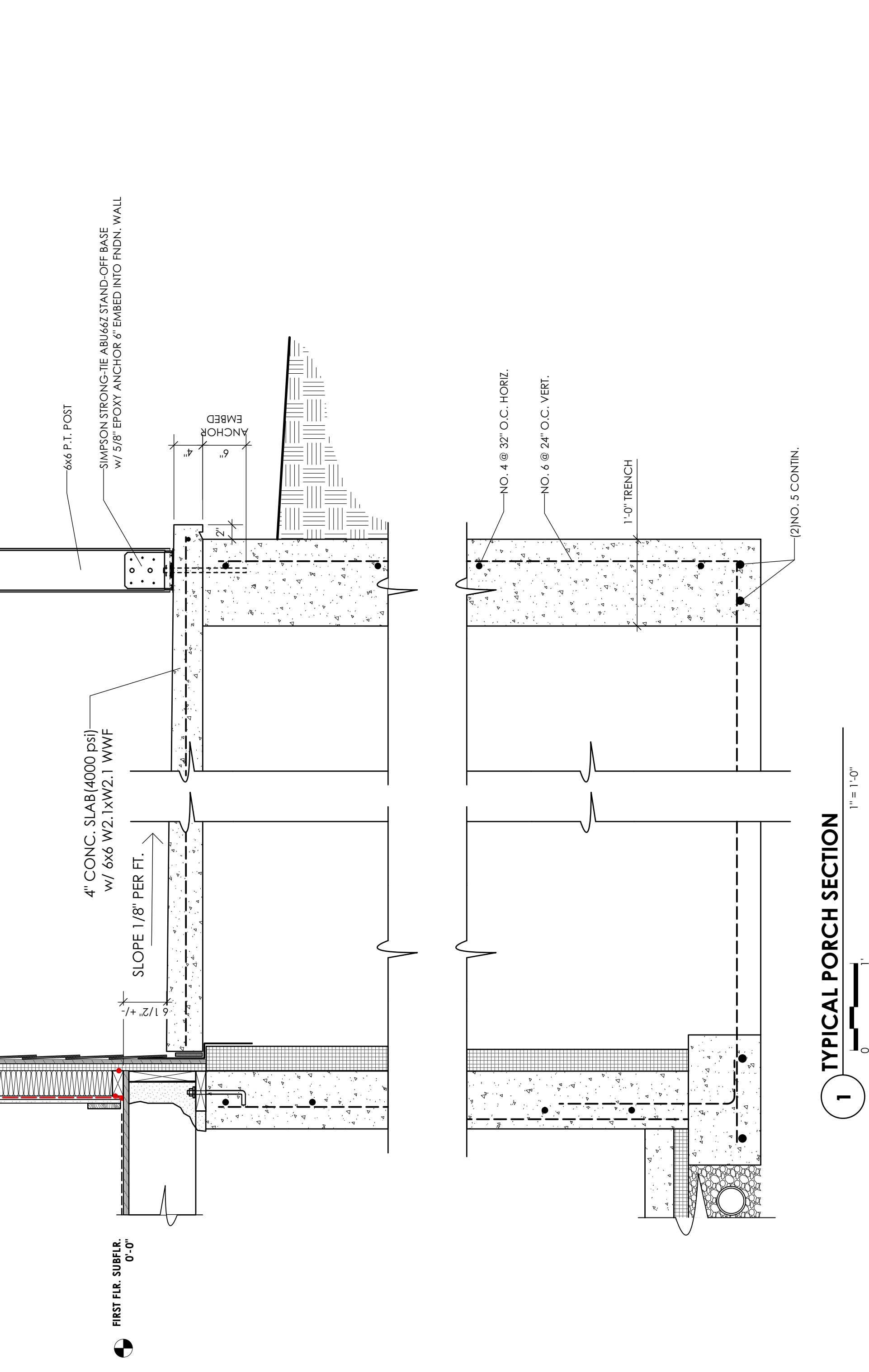
**1 TYPICAL PORCH SECTION**  
 1" = 1'-0"  
 0 1'



**2 SIDE ENTRY TO HOUSE SECTION**  
 3/4" = 1'-0"  
 0 3" 1'



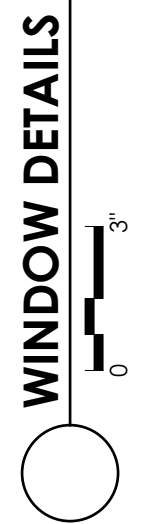
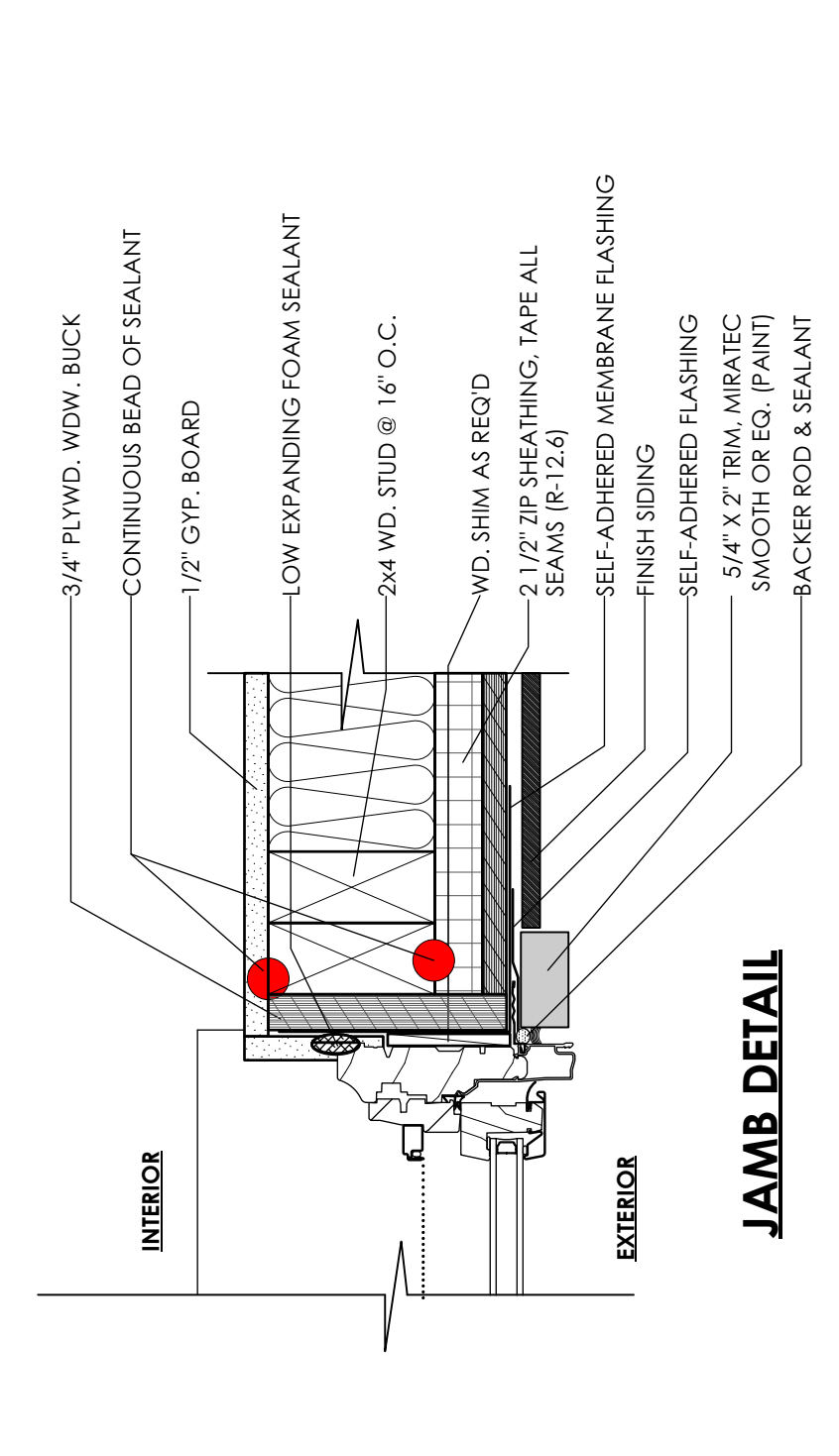
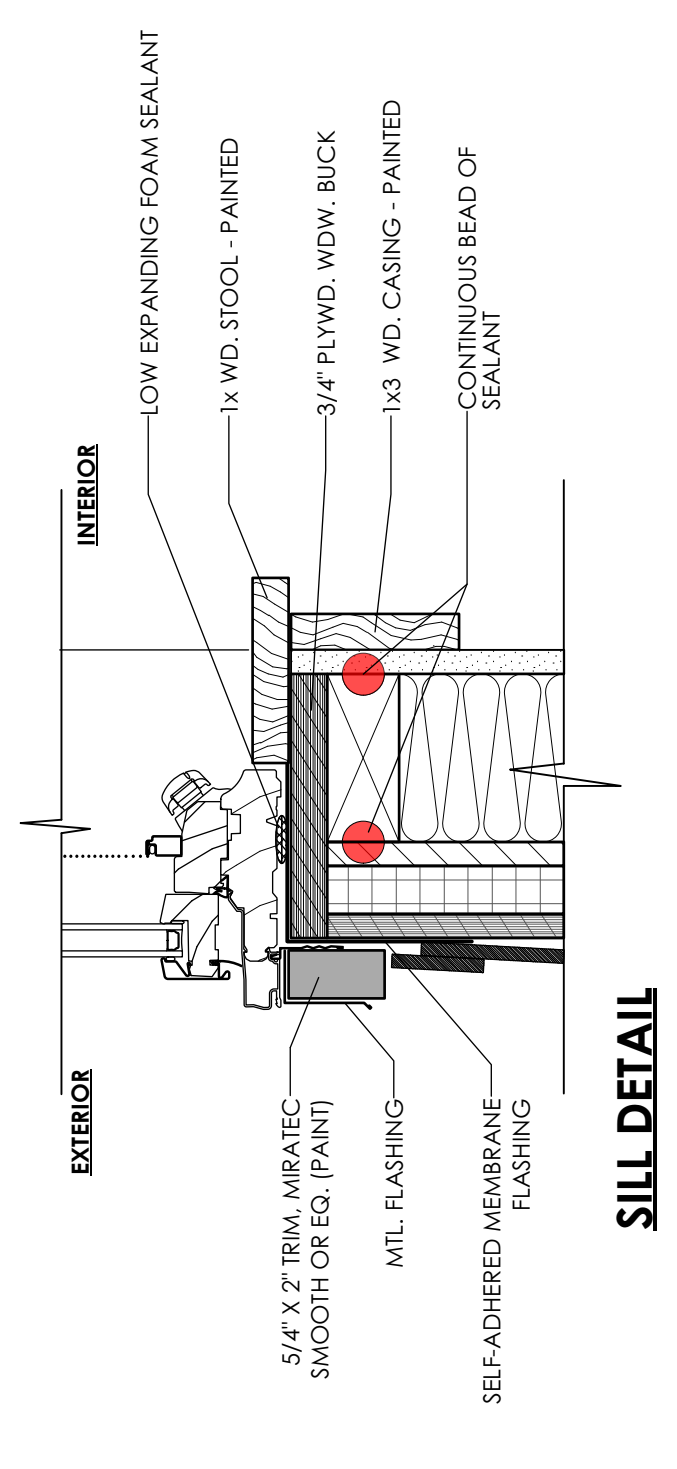
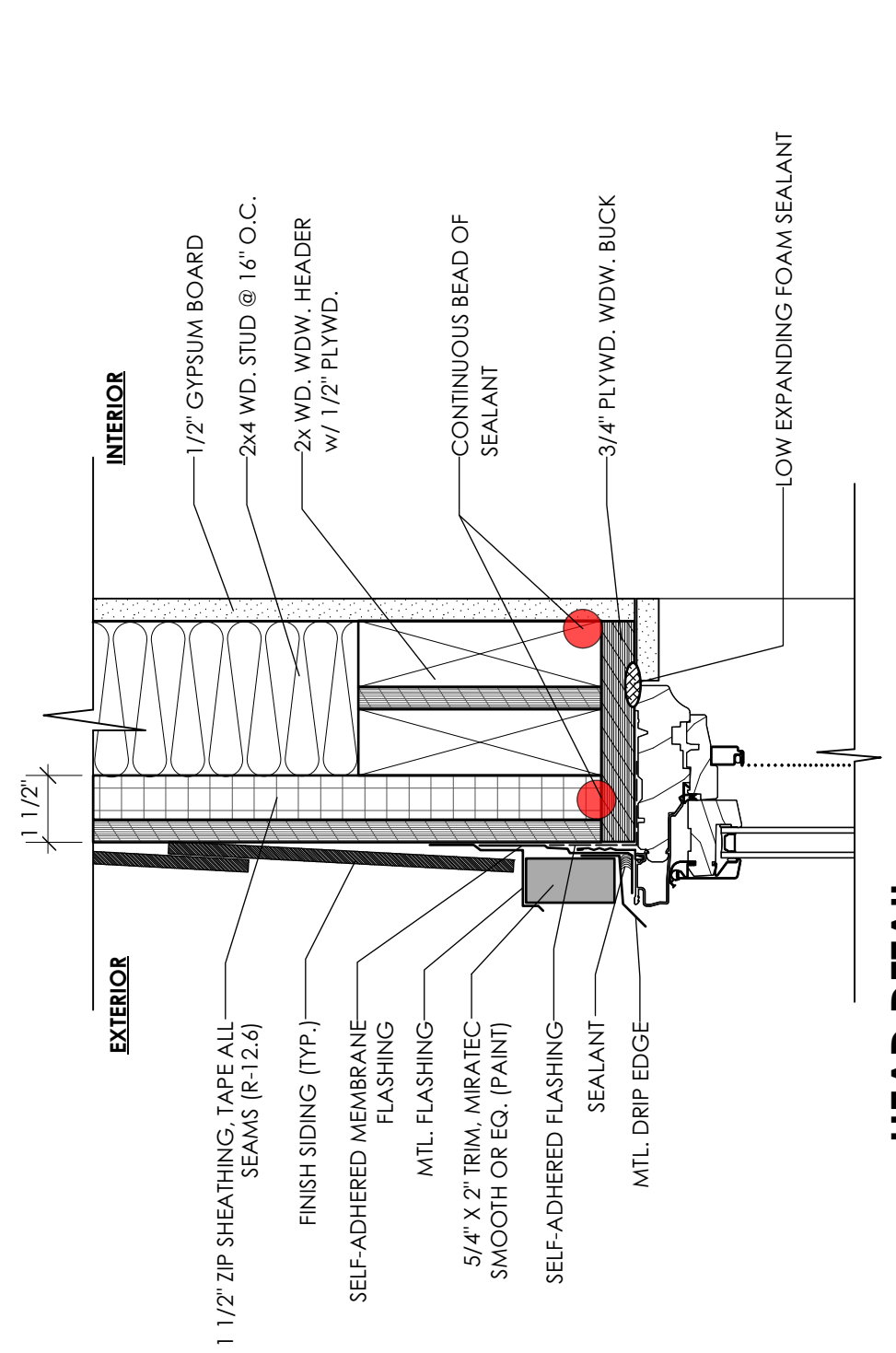
**3 RAILING DETAIL**  
 1" = 1'-0"  
 0 6" 1'



**2 SIDE ENTRY TO HOUSE SECTION**  
 3/4" = 1'-0"  
 0 3" 1'

### WINDOW SCHEDULE

NO.	CALL NO.	TYPE	WINDOW FRAME SIZE		U-FACTOR	SHGC	EGRESS OPNG. S.F.	DAYLIGHT S.F.	OPERABLE	VENT AREA S.F.	MATERIAL	REMARKS
			WIDTH	HEIGHT								
01	3553	1	2'-11"	4'-5"	0.29	0.27	8.6	10.0	YES	9.3	ALUM CLAD WD. CASEMENT	PELLA LIFESTYLE SERIES OR EQ. U.N.O.
02	2953	1	2'-5"	4'-5"	0.29	0.27	6.8	8.0	YES	7.4	ALUM CLAD WD. CASEMENT	CASEMENT
03	2929	2	2'-5"	2'-5"	0.29	0.27	-----	4.0	YES	3.7	ALUM CLAD WD. AWNING	CASEMENT
04	2935	1	2'-5"	2'-11"	0.29	0.27	-----	5.0	YES	4.6	ALUM CLAD WD. CASEMENT	CASEMENT
05	470-5/0	3	3'-11"	4'-11"	0.28	0.27	7.84	14.6	YES	7.8	FIBERGLASS	PELLA IMPERVIA ADVANCED COMFORT LOW-E
06	VENT GLS. BLC.	4	2'-7"	1'-5 1/2"	0.51	0.51	-----	3.0	YES	0.8	-----	8'X8' GLASS BLOCK W/8" x 16" HOPPER WDW.

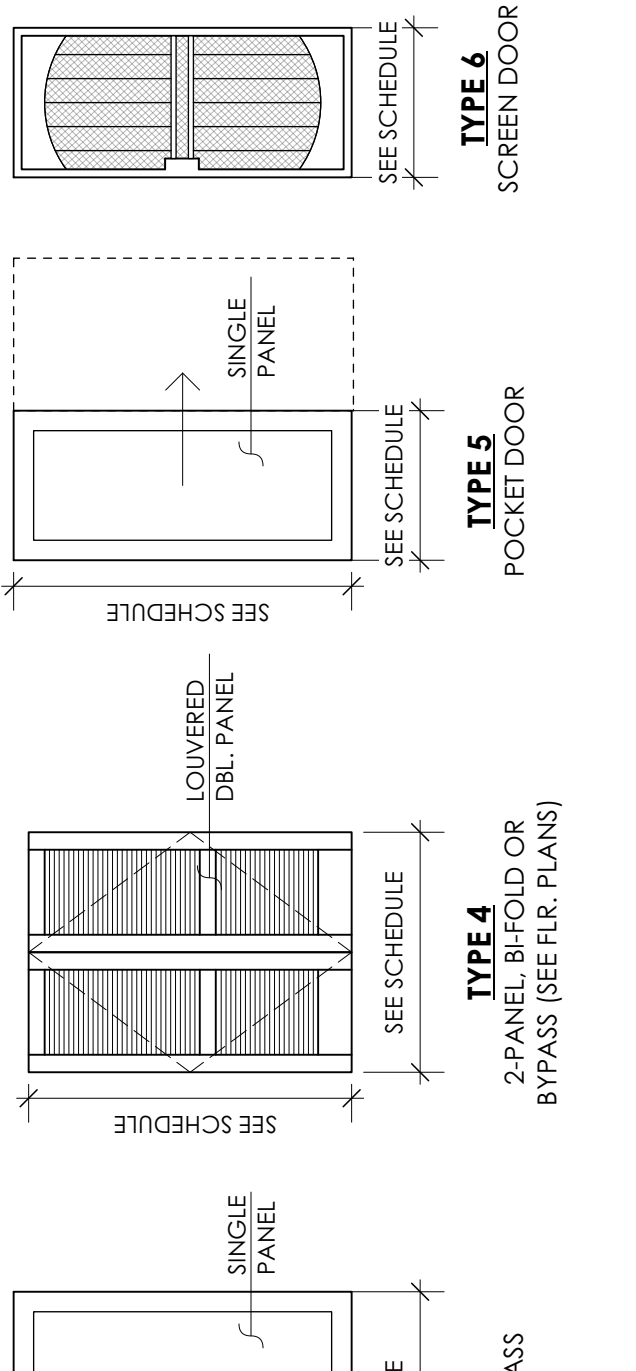
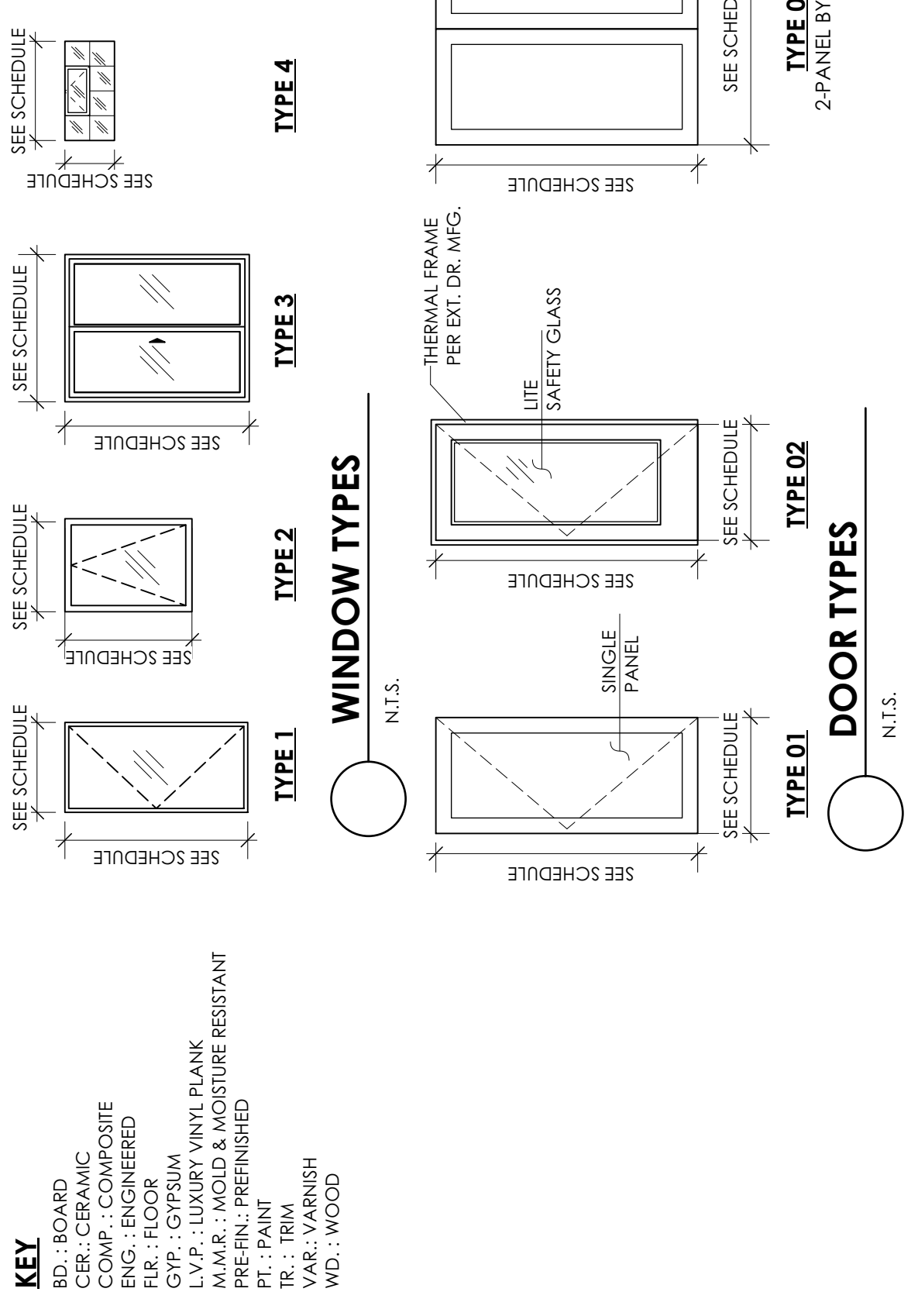


### DOOR SCHEDULE

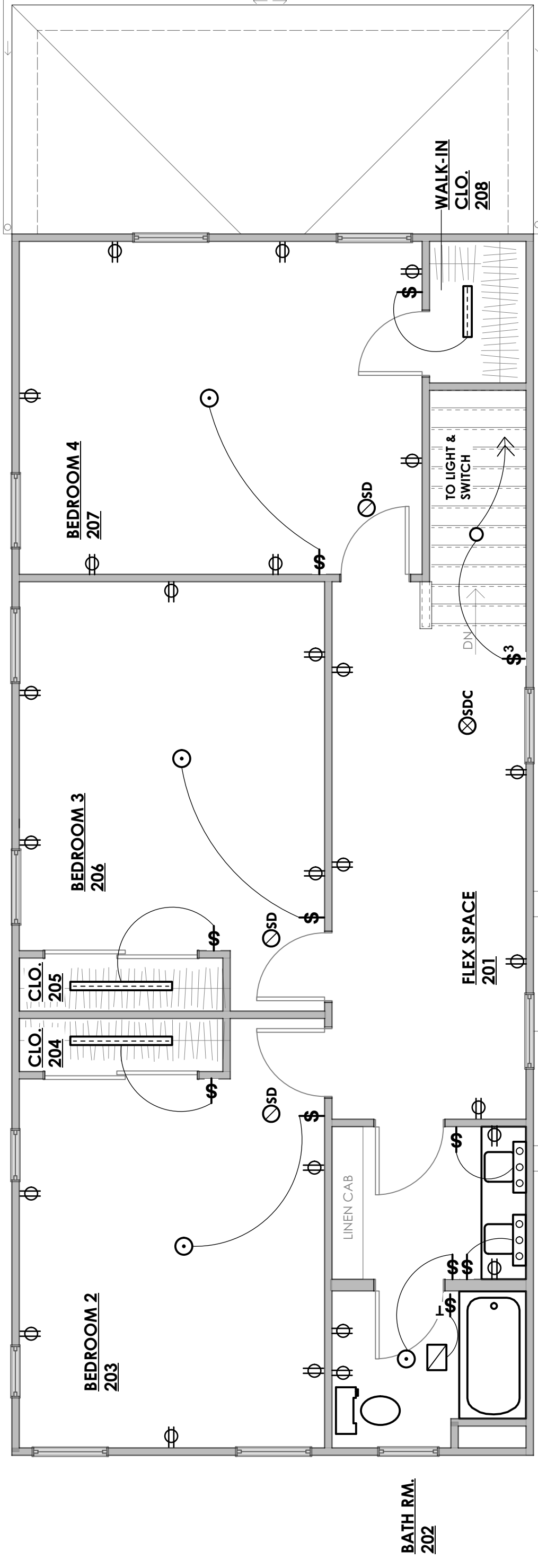
DOOR #	ROOM TITLE	DOOR			HEIGHT	FRAME		GLASS	HARDWARE SET	REMARKS
		MATERIAL	TYPE	WIDTH		MATERIAL	FINISH			
101	PRIMARY BEDROOM	WD. COMP.	1	36"	80"	WD.	PAINT	-	MFR.	UNDERCUT
102	WALK-IN CLOSET	WD. COMP.	1	36"	80"	WD.	PAINT	-	MFR.	DOUBLE BIFOLD
103	LAUNDRY	WD. COMP.	4	60"	80"	WD.	PAINT	-	MFR.	POCKET DOOR
104	PRIMARY BATH ROOM	WD. COMP.	1	36"	80"	WD.	PAINT	-	MFR.	ACCESSIBLE THRESHOLD, WEATHERSTRIPPING
105	1/2 BATH	WD. COMP.	1	30"	80"	WD.	PAINT	-	MFR.	
106G	ACCESSIBLE SIDE ENTRY	FIBERGLASS	2	36"	80"	F.G.	PAINT	Y	MFR.	
106B	ACCESSIBLE SIDE ENTRY	SCREEN & STL.	6	36"	84"	PWDR-CT.	STL.	PWDR-CT.	MFR.	
107	CLOSET	WD. COMP.	1	30"	80"	WD.	PAINT	-	MFR.	
108	NOT USED									
109	NOT USED									
111a	FRONT ENTRY	FIBERGLASS	2	36"	84"	F.G.	PAINT	Y	MFR.	WEATHERSTRIPPING.
111b	FRONT ENTRY	SCREEN & STL.	6	36"	84"	PWDR-CT.	STL.	PWDR-CT.	MFR.	
112	BASEMENT STAIRS	WD. COMP.	1	36"	80"	WD.	PAINT	-	MFR.	
202a	BATH ROOM	WD. COMP.	1	32"	80"	WD.	PAINT	-	MFR.	
202b	BATH ROOM	WD. COMP.	1	32"	80"	WD.	PAINT	-	MFR.	
203	BEDROOM 2	WD. COMP.	1	32"	80"	WD.	PAINT	-	MFR.	UNDERCUT
204	CLOSET	WD. COMP.	3	72"	80"	WD.	PAINT	-	MFR.	2 PANEL SLIDING
205	CLOSET	WD. COMP.	3	72"	84"	WD.	PAINT	-	MFR.	2 PANEL SLIDING
206	BEDROOM 3	WD. COMP.	1	32"	80"	WD.	PAINT	-	MFR.	UNDERCUT
207	BEDROOM 4	WD. COMP.	1	32"	84"	WD.	PAINT	-	MFR.	UNDERCUT
208	CLOSET	WD. COMP.	1	30"	80"	WD.	PAINT	-	MFR.	

### ROOM FINISH SCHEDULE

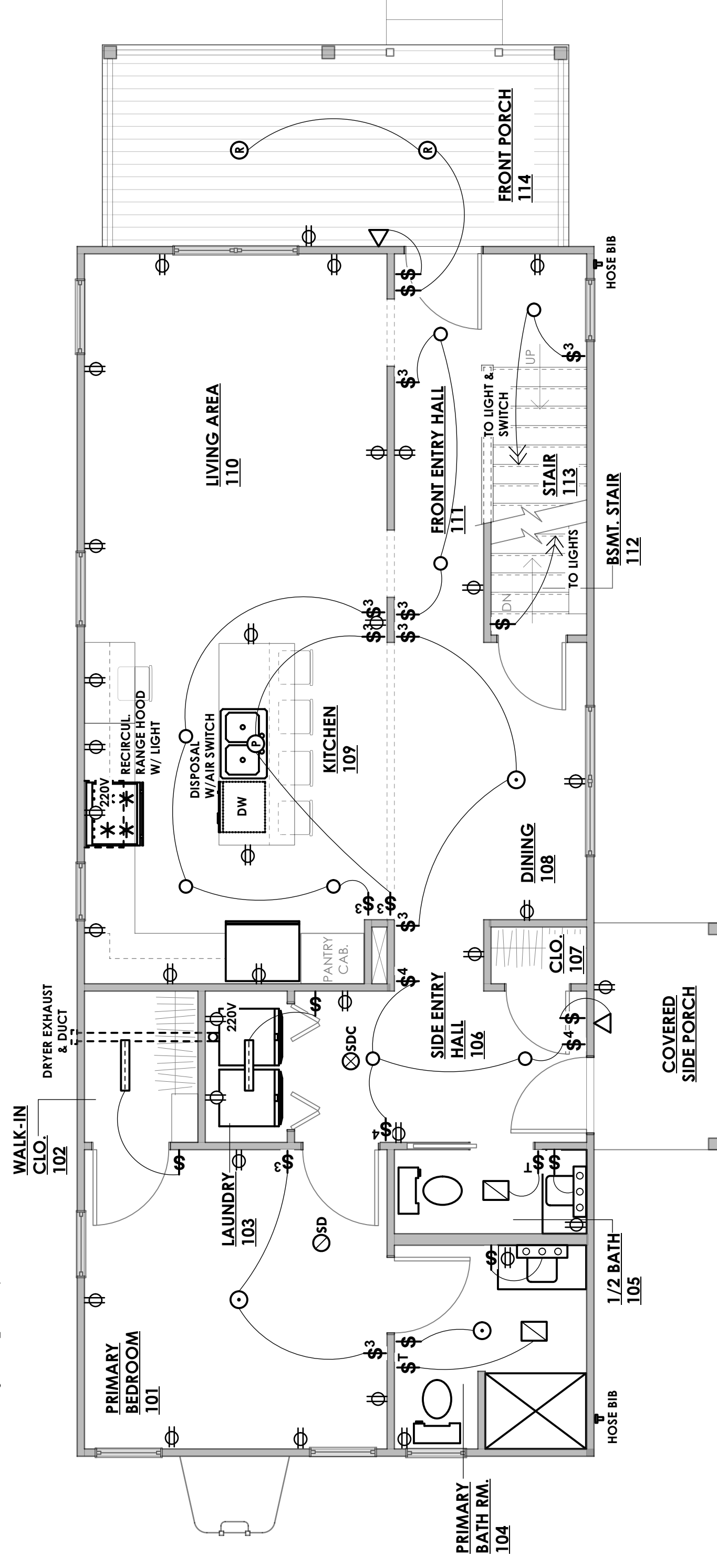
RM. #	ROOM TITLE	FLOOR		BASE		WALL		CEILING		REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
101	PRIMARY BEDROOM	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
102	WALK-IN CLOSET	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
103	LAUNDRY	L.V.P.	-	RUBBER	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
104	PRIMARY BATH RM.	CER. TILE	-	CER. TILE	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
105	1/2 BATH	CER. TILE	-	CER. TILE	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
106	SIDE ENTRY HALL	CER. TILE	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
107	COAT CLOSET	CER. TILE	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
108	DINING	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
109	KITCHEN	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
110	LIVING AREA	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
111	FRONT ENTRY HALL	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
112	BASEMENT STAIRS	WOOD	PAINT	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
113	STAIRS	WOOD	STAIN&VAR.	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
114	FRONT PORCH	CONC.	-	-	-	-	-	-	-	-
201	FLEX SPACE	L.V.P.	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
202	BATH ROOM	CER. TILE	-	CER. TILE	-	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
203	BEDROOM 2	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
204	CLOSET	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
205	CLOSET	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
206	BEDROOM 3	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
207	BEDROOM 4	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"
208	WALK-IN CLOSET	CARPET	-	WOOD	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"







**SECOND FLOOR SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN**



**FIRST FLOOR SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN**

- NOTES:
1. ALL RECEPTACLES IN KITCHEN, BATH ROOMS TO BE GFCI
  2. PROVIDE SEPARATE CIRCUIT FOR EACH KITCHEN APPLIANCE
  3. LIGHT FIXTURES AS SELECTED BY OWNER
  4. ALL OUTDOOR RECEPTACLES TO BE GFCI & WATERPROOF
  5. ALL RECESSED LIGHTS IN INSULATED SPACES SHALL HAVE INSULATED COVERS

**ELECTRICAL LEGEND**

- |  |                                     |  |   |
|--|-------------------------------------|--|---|
|  | DUPLEX RECEPTACLE                   |  | LED RECESSED LIGHT FIXTURE  |
|  | 220V DUPLEX RECEPTACLE              |  | LED PENDANT LIGHT FIXTURE   |
|  | SINGLE POLE SWITCH                  |  | CEILING MOUNTED SMOKE & CARBON MONOXIDE ALARM (HARD WIRED INTERCONNECTED) |
|  | DOUBLE POLE SWITCH                  |  | CEILING MOUNTED SMOKE ALARM (HARD WIRED INTERCONNECTED)                   |
|  | TIMER SWITCH                        |  | LED MEDICINE CABINET LIGHTING   |
|  | LED SURFACE MOUNT FIXTURE           |  | LED WALL SCONCE   |
|  | LED SURFACE MOUNT DOWNLIGHT FIXTURE |  | LED 2 LED STRIP LIGHT   |
|  | EXHAUST FAN & LIGHT                 |  | LED 4 LED STRIP LIGHT   |
|  |                                     |  | LED UNDER CABINET LED STRIP LIGHT   |

**MECHANICAL SPECIFICATIONS**

ALL MECHANICAL SYSTEMS SHALL BE IN ACCORDANCE WITH LOCAL CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED CONTRACTOR SHALL PERFORM ALL WORK. THE CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF MECHANICAL SYSTEM INSPECTIONS.

1. DUCTED ASPH UNIT TO G.E. H.P. 8KW HEATER W/ 65A BREAKER; MODEL #UAZEH 08A OR EQ.

**ELECTRICAL SPECIFICATIONS**

ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH LOCAL CODES, NEC, NFPA, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED ELECTRICIAN SHALL PERFORM ALL WORK. THE ELECTRICIAN SHALL APPLY FOR ALL NECESSARY ELECTRICAL PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMITS. THE ELECTRICIAN SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY ELECTRICAL INSPECTIONS.

1. ALL EXPOSED WIRING TO BE SHIELDED BY METAL CONDUIT AS APPROVED BY TOWN OF CHEEKTOWAGA.
2. FIXTURES AS SELECTED BY OWNER.
3. PROVIDE ADDITIONAL DOCUMENTATION OF ELECTRICAL SCOPE AND EQUIPMENT AS REQUIRED BY TOWN.
4. RECEPTACLES SHALL BE PROVIDED WITH GFCI AS REQUIRED BY NFPA, 70 AS INDICATED.
5. PROVIDE LED LAMPS PER FIXTURE MANUFACTURER REQUIREMENTS.

**PLUMBING SPECIFICATIONS**

ALL PLUMBING SHALL BE IN ACCORDANCE WITH LOCAL CODES, AND 2020 RESIDENTIAL CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED PLUMBER SHALL PERFORM ALL WORK. THE PLUMBER SHALL APPLY FOR ALL NECESSARY PLUMBING PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMITS. THE PLUMBER SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY PLUMBING INSPECTIONS.



12/4/2024

RE: Addendum Cheektowaga Infill Project (5 new build single-family Homes)

To Whom it May Concern,

Regarding the above project, currently out to bid, the following questions and information is provided:

What is the project timeline?

Construction is expected to begin April 2025 with substantial completion of all 5 homes by October 2025.

Are there any liquidation damages?

Yes, contract will have provisions for \$201/day beyond the completion deadline of the contract.

Is a bond required?

No bonds are required for this project, and it is not a prevailing wage project.

Thank You,

*John L Good*

John Good  
Construction Manager  
BENLIC  
j.good@benlic.org  
716.609.1473 (cell)



12/4/2024

RE: Addendum Cheektowaga Infill Project (5 new build single-family Homes)

To Whom it May Concern,

Regarding the above project, currently out to bid, the following questions and information is provided:

What will be done with the existing garage/deck at 305B Hyland?

They will be demolished and removed from site prior to the new home construction.

Are contractors responsible for Utility hook ups?

Yes, Contractor will be responsible for hooking up at street and house for all utilities including but not limited to hook ups to water, sewer and electric.

Thank You,

*John L Good*

John Good  
Construction Manager  
BENLIC  
j.good@benlic.org  
716.609.1473 (cell)





Generated by REScheck-Web Software

# Compliance Certificate

Project 305A HYLAND AVENUE

Energy Code: **2018 IECC**  
 Location: **Erie County, New York**  
 Construction Type: **Single-family**  
 Project Type: **New Construction**  
 Project SubType: **None**  
 Conditioned Floor Area: **2,688 ft2**  
 Glazing Area: **20%**  
 Climate Zone: **5 (6999 HDD)**  
 Permit Date:  
 Permit Number:  
 All Electric: **true**  
 Is Renewable: **false**  
 Has Charger: **false**  
 Has Battery: **false**  
 Has Heat Pump: **true**



Construction Site:  
305A Hyland Avenue  
Cheektowaga, NY 14043

Owner/Agent:  
BENLIC  
403 Main St., Suite 521  
Buffalo, NY 14203

Designer/Contractor:  
eco\_logic STUDIO  
2495 Main Street Suite 431  
Buffalo, NY 14214

## Compliance: Passes using UA trade-off

Compliance: **10.2% Better Than Code** Maximum UA: **225** Your UA: **202**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

## Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Raised or Energy Truss	1,344	19.2	36.8	0.017	0.026	23	35
Wall: Wood Frame, 16" o.c.	1,218	15.0	6.0	0.050	0.060	50	60
Door: Glass Door (over 50% glazing)	83			0.310	0.300	26	25
Window: Wood Frame	134			0.290	0.300	39	40
Basement Wall: Solid Concrete or Masonry Wall height: 8.0' Depth below grade: 6.0' Insulation depth: 8.0'	1,194	0.0	15.0	0.049	0.050	58	59
Window: Other	20			0.280	0.300	6	6

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

KEVIN V CONNORS, PRINCIPAL  
Name - Title

  
Signature

4 DEC 2024  
Date



Generated by REScheck-Web Software  
**Compliance Certificate**

Project 305B HYLAND AVENUE

Energy Code: **2018 IECC**  
 Location: **Erie County, New York**  
 Construction Type: **Single-family**  
 Project Type: **New Construction**  
 Project SubType: **None**  
 Conditioned Floor Area: **2,688 ft2**  
 Glazing Area: **20%**  
 Climate Zone: **5 (6999 HDD)**  
 Permit Date:  
 Permit Number:  
 All Electric: **true**  
 Is Renewable: **false**  
 Has Charger: **false**  
 Has Battery: **false**  
 Has Heat Pump: **true**



Construction Site:  
 305A Hyland Avenue  
 Cheektowaga, NY 14043

Owner/Agent:  
 BENLIC  
 403 Main St., Suite 521  
 Buffalo, NY 14203

Designer/Contractor:  
 eco\_logic STUDIO  
 2495 Main Street Suite 431  
 Buffalo, NY 14214

**Compliance: Passes using UA trade-off**

Compliance: **10.2% Better Than Code** Maximum UA: **225** Your UA: **202**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.


Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Raised or Energy Truss	1,344	19.2	36.8	0.017	0.026	23	35
Wall: Wood Frame, 16" o.c.	1,218	15.0	6.0	0.050	0.060	50	60
Door: Glass Door (over 50% glazing)	83			0.310	0.300	26	25
Window: Wood Frame	134			0.290	0.300	39	40
Basement Wall: Solid Concrete or Masonry Wall height: 8.0' Depth below grade: 6.0' Insulation depth: 8.0'	1,194	0.0	15.0	0.049	0.050	58	59
Window: Other	20			0.280	0.300	6	6

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

KEVIN V CONNORS, PRINCIPAL  
Name - Title

  
Signature

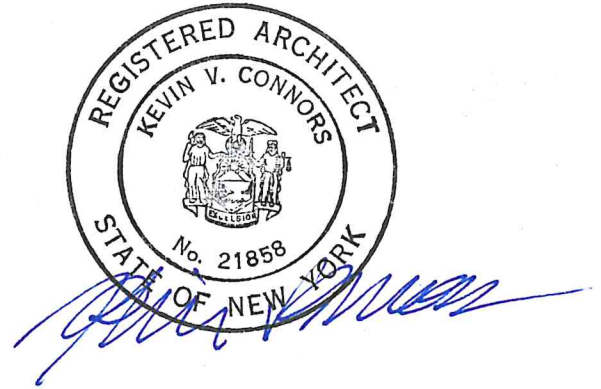
4 DEC. 2024  
Date



Generated by REScheck-Web Software  
**Compliance Certificate**

Project 195 NORTHCREST AVENUE

Energy Code: **2018 IECC**  
 Location: **Erie County, New York**  
 Construction Type: **Single-family**  
 Project Type: **New Construction**  
 Project SubType: **None**  
 Conditioned Floor Area: **2,236 ft2**  
 Glazing Area: **21%**  
 Climate Zone: **5 (6999 HDD)**  
 Permit Date:  
 Permit Number:  
 All Electric: **true**  
 Is Renewable: **false**  
 Has Charger: **false**  
 Has Battery: **false**  
 Has Heat Pump: **true**



Construction Site:  
 195 Northcrest Avenue  
 Cheektowaga, NY 14224

Owner/Agent:  
 BENLIC  
 403 Main St., Suite 521  
 Buffalo, NY 14203

Designer/Contractor:  
 eco\_logic STUDIO  
 2495 Main Street Suite 431  
 Buffalo, NY 14214

**Compliance: Passes using UA trade-off**

Compliance: **12.0% Better Than Code** Maximum UA: **208** Your UA: **183**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

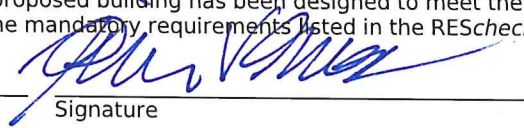
Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Raised or Energy Truss	1,118	19.2	36.8	0.017	0.026	19	29
Wall: Wood Frame, 16" o.c.	1,117	15.0	6.0	0.050	0.060	45	54
Door: Glass Door (over 50% glazing)	42			0.310	0.300	13	13
Window: Wood Frame	172			0.290	0.300	50	52
Basement Wall: Solid Concrete or Masonry Wall height: 8.0' Depth below grade: 7.0' Insulation depth: 8.0'	1,104	0.0	15.0	0.046	0.050	50	54
Window: Other	20			0.280	0.300	6	6

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

KEVIN V. CONNORS, PRINCIPAL  
Name - Title

  
Signature

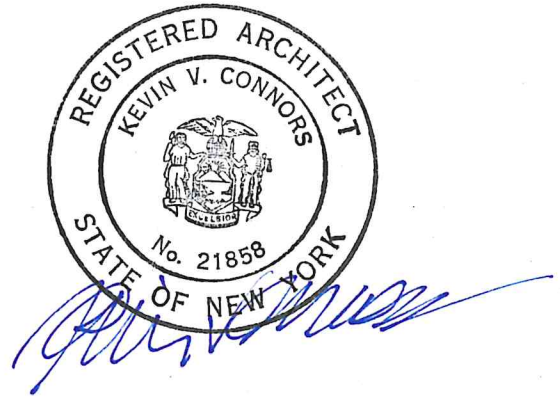
4 DEC 2024  
Date



# Compliance Certificate

Project 257 CHAPEL AVENUE

Energy Code: **2018 IECC**  
 Location: **Erie County, New York**  
 Construction Type: **Single-family**  
 Project Type: **New Construction**  
 Project SubType: **None**  
 Conditioned Floor Area: **2,236 ft2**  
 Glazing Area: **21%**  
 Climate Zone: **5 (6999 HDD)**  
 Permit Date:  
 Permit Number:  
 All Electric: **true**  
 Is Renewable: **false**  
 Has Charger: **false**  
 Has Battery: **false**  
 Has Heat Pump: **true**



Construction Site:  
257 Chapel Avenue  
Cheektowaga, NY 14225

Owner/Agent:  
BENLIC  
403 Main St., Suite 521  
Buffalo, NY 14203

Designer/Contractor:  
eco\_logic STUDIO  
2495 Main Street Suite 431  
Buffalo, NY 14214

## Compliance: Passes using UA trade-off

Compliance: **12.0% Better Than Code** Maximum UA: **208** Your UA: **183**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

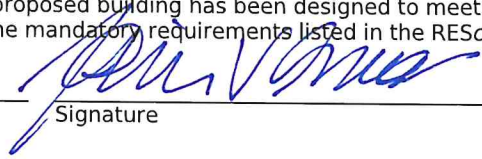
Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

## Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Raised or Energy Truss	1,118	19.2	36.8	0.017	0.026	19	29
Wall: Wood Frame, 16" o.c.	1,117	15.0	6.0	0.050	0.060	45	54
Door: Glass Door (over 50% glazing)	42			0.310	0.300	13	13
Window: Wood Frame	172			0.290	0.300	50	52
Basement Wall: Solid Concrete or Masonry Wall height: 8.0' Depth below grade: 7.0' Insulation depth: 8.0'	1,104	0.0	15.0	0.046	0.050	50	54
Window: Other	20			0.280	0.300	6	6

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

KEVIN V CONNORS, PRINCIPAL  
Name - Title

  
Signature

4 DEC 2024  
Date





Generated by REScheck-Web Software

# Compliance Certificate

Project 44 LONG AVE

Energy Code: **2018 IECC**  
 Location: **Erie County, New York**  
 Construction Type: **Single-family**  
 Project Type: **New Construction**  
 Project SubType: **None**  
 Conditioned Floor Area: **2,952 ft2**  
 Glazing Area: **14%**  
 Climate Zone: **5 (6999 HDD)**  
 Permit Date:  
 Permit Number:  
 All Electric: **true**  
 Is Renewable: **false**  
 Has Charger: **false**  
 Has Battery: **false**  
 Has Heat Pump: **true**



Construction Site:  
 44Long Avenue  
 Cheektowaga, NY 14225

Owner/Agent:  
 BENLIC  
 403 Main St., Suite 521  
 Buffalo, NY 14203

Designer/Contractor:  
 eco\_logic STUDIO  
 2495 Main Street Suite 431  
 Buffalo, NY 14214

## Compliance: Passes using UA trade-off

Compliance: **11.8% Better Than Code** Maximum UA: **304** Your UA: **268**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

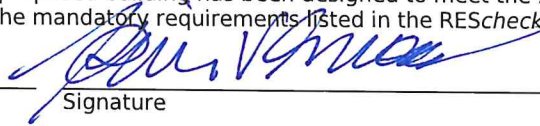
Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

## Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	984	19.2	36.8	0.018	0.026	18	26
Wall: Wood Frame, 16" o.c.	2,298	15.0	6.0	0.050	0.060	99	119
Door: Glass Door (over 50% glazing)	42			0.310	0.300	13	13
Window: Wood Frame	270			0.290	0.300	78	81
Basement Wall: Solid Concrete or Masonry Wall height: 8.0' Depth below grade: 7.0' Insulation depth: 8.0'	1,200	0.0	15.0	0.046	0.050	54	59
Window: Other	20			0.280	0.300	6	6

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

KEVIN V. CONNORS, PRINCIPAL  
Name - Title

  
Signature

4 DEC 2024  
Date