



The Land Bank

Buffalo Erie Niagara Land Improvement Corporation

- Project Title:** Cheektowaga Infill Project 44 Long Ave (REBID)
- Date Released:** February 10, 2025
- Bid:** One (1) new construction single-family home
Modular or Stick Construction is acceptable
- Q&A Meeting:** February 17, 2025, 10:00 AM to 11:00 AM
- Location:** 403 Main Street, Suite 521
Buffalo, NY 14203
- Deadline:** Monday, March 17, 2025 at 3:00 PM
- Submit bids to:** BENLIC
403 Main Street, Suite 602
Buffalo, NY 14203
- Method of Submittal:** Sealed Bid - US overnight mail, priority mail, 1st class mail, or in-person
- Contact – Questions regarding project:**
John Good, Construction Manager
Phone: 716-609-1473
Email: j.good@benlic.org
- Contact – Questions regarding all other:**
Ben Brown, Project Manager
Phone: 716-243-3996 ext. 105
Email: b.brown@benlic.org

BEFORE SUBMITTING BID, PLEASE ENSURE YOU HAVE REVIEWED
THE ENTIRE SET OF PLANS AND SPECIFICATIONS INCLUDED ON THE
FOLLOWING PAGES.

IF THERE ARE ANY QUESTIONS OR CONFLICTS WHICH REQUIRE
CLARIFICATION, PLEASE CONTACT CONSTRUCTION MANAGER
JOHN GOOD.

Please write your total bid amount next to the corresponding property in both numbers and words.

(For example: “ \$10,250 ; Ten thousand two hundred and fifty Dollars”)

In case of discrepancy, the amounts shown in words will govern.

INCOMPLETE, IMPROPERLY SUBMITTED OR LATE BID SUBMISSIONS MAY BE REJECTED AT THE SOLE DISCRETION OF BENLIC

Minority- and Women-owned Business participation:

In accordance with funding requirements Minority and Woman Owned Business Enterprise (MWBE) participation must be a minimum of 10% and 2%, respectively, of the total bid amount for each property. MWBE businesses must be state certified and on the New York State List of Certified MWBE businesses, local or county certification alone is not acceptable.

New York State Apprenticeship Program:

The form on the following page must be completed and submitted as part of the bid package with all necessary details.

NEW YORK STATE CERTIFIED APPRENTICESHIP TRAINING PROGRAM CERTIFICATION

Pursuant to Erie County Local Law 3-2018 the following MUST be submitted along with supporting documentation unless the Contracting Agency has otherwise determined under Section 2f of the Erie County Rules and Regulations that the New York State Certified Apprenticeship Training Program does not apply. TO BE FILLED OUT BY BIDDER: please check that which applies on sign below.

Enclosed is a copy of the certification of approval of the New York State Certified Apprenticeship Training Program (NYSCATP) by the New York State Department of Labor which, as Bidder, will use in connection with the construction contract. Also Enclosed is a written plan demonstrating how apprentices will be utilized by the Bidder As Prime Contractor or by the Subcontractor(s) to the Bidder as Prime Contractor. Such Plan shall include at a minimum:

- i. An organized written plan in place that embodies the terms and conditions of employment, training and supervision of one or more apprentices;
- ii. A schedule of wages to be paid to the apprentices consistent with the skills required and approved by the New York State Department of Labor;
- iii. Equal employment and affirmative action plans;
- iv. A minimum of ten percent (10%) of the total construction workers, trades people, trainees, journeymen, and apprentices employed at any given time on a particular project by any and all contractors or subcontractors must consist of people participating in a NYSCATP; and
- v. In all cases, such a Certified Apprenticeship Training Program must be specific to the type and scope of work which is being performed and must have a graduation rate of at least thirty percent (30%) as determined by the New York State Department of Labor.

Enclosed is a detailed explanatory written statement as to the inapplicability of Apprenticeship participation due to: the lack of career opportunities in NYSCATP Approved by New York State Department of Labor Commissioner; OR the magnitude of the construction contract which would make use of apprentices impracticable.

SIGNATURE

COMPANY NAME

44 Long Avenue, Cheektowaga, NY

Total bid amount for Property Address: \$ _____ ; _____ Dollars

Total MBE amount for Property Address: \$ _____ ; _____ Dollars

Total WBE amount for Property Address: \$ _____ ; _____ Dollars

ALTERNATE BIDS: (Circle ADD or DEDUCT and insert price difference)

1. Change driveway from concrete to asphalt (see plan details)

ADD / DEDUCT: \$ _____ ; _____ Dollars

2. Change front porch from post hole foundation to full foundation (see plan details)

ADD / DEDUCT: \$ _____ ; _____ Dollars

3. Change from Anderson 400 series or equal to Anderson 200 series windows

ADD / DEDUCT: \$ _____ ; _____ Dollars

4. 20 amp electric circuit to garage in underground conduit

ADD / DEDUCT: \$ _____ ; _____ Dollars

5. 50 amp circuit to garage underground in conduit with subpanel in garage

ADD / DEDUCT: \$ _____ ; _____ Dollars

Business Name: _____

Mailing Address: _____

Federal EIN #: _____

Primary Contact: _____

Phone Number: _____

Email: _____

CONTRACTOR QUALIFICATIONS

In addition to filling out the bid sheet, attach the following:

- Provide three past customers as references
- Provide a brief description of your construction experience along with before and after photos of past projects if available
- Insurance Certificates
- EPA Lead Paint Contractor Certification
- Subcontractor Utilization Plan

BID DETAILS:

BENLIC is not responsible for delays occasioned by the U.S. Postal Service, the internal mail delivery system or any other means of delivery employed by the bidder. Similarly, BENLIC is not responsible for, and will not consider, any response which was received in our office later than the date and time stated above. Late bids shall not be considered and shall be returned to the late bidder. BENLIC reserves the right to reject any or all bids or waive any informality in a bid if it believes that the public interest will be promoted thereby. BENLIC may reject any bid, if, in its judgment, the business and technical organization, plant, resources, financial standing, or experience of the bidder justifies such rejection in view of the work to be performed. Any questions about the meaning, intent or specifications must be inquired into by the Bidder via mail, fax or email prior to the time set for the Bid Opening.

Bids will be submitted to the BENLIC Board of Directors for consideration and approval at a regularly scheduled meeting. Bid may be awarded to the lowest responsible bidder who, in the opinion of the corporation and approved by the Board, is qualified to perform the work required and who is responsible and reliable. The meeting is open to the public. In the case of tie bids, BENLIC will make the award based on priority factors. A bid tabulation summary of the received, reviewed and appropriate bids will be included in the minutes of BENLIC. Bidder agrees that his/her bid price remains effective for 120 days past the Deadline for Submittal.

The work cannot begin until the contractor executes a BENLIC Standard Construction Contract and proves proper Certificate(s) of Insurance has been reviewed and approved by BENLIC.

Subcontractors may be used. All subcontractors will need to provide adequate insurance certificates. The job is not prevailing wage rate.

EQUAL EMPLOYMENT OPPORTUNITY

This organization will not discriminate against any employee or applicant for employment because of race, creed, color, national origin, sex, age, disability or marital status, will undertake or continue existing programs of affirmative action to ensure that minority group members are afforded equal employment opportunities without discrimination, and shall make and document its conscientious and active efforts to employ and utilize minority group members and women in its work force on State contracts.

This organization shall state in all solicitation or advertisements for employees that in the performance of the State contract all qualified applicants will be afforded equal employment opportunities without discrimination because of race, creed, color, national origin, sex disability or marital status.

At the request of the contracting agency, this organization shall request each employment agency, labor union, or authorized representative for a statement that it will not discriminate on the basis of race, creed, color, national origin, sex, age, disability or marital status and that such union or representative will affirmatively cooperate in the implementation of this organization's obligations herein.

Contractor shall comply with the provisions of the Human Rights Law, all other State and Federal statutory and constitutional non-discrimination provisions. Contractor and subcontractors shall not discriminate against any employee or applicant for employment because of race, creed (religion), color, sex, national origin, sexual orientation, military status, age, disability, predisposing genetic characteristic, marital status or domestic violence victim status, and shall also

follow the requirements of the Human Rights Law with regard to nondiscrimination on the basis of prior criminal conviction and prior arrest.

NEW YORK STATE SALES AND LOCAL TAX EXEMPTION NOTE

Some materials for this project may be purchased tax-exempt. BENLIC is exempt from payment of New York State and local sales and use tax. BENLIC will furnish the winning bidder an Exempt Purchase Certificate (ST 119.1) as proof of its exemption. Personal property made part of the real property of project sites (that is materials, e.g. siding, shingles, gutters, windows, etc.) may be purchased exempt from such taxes provided that the winning bidder provide to his seller(s) properly completed Contractor Exempt Purchase Certificate(s) (ST 120.1). The cost benefit of exemption from such taxes is the benefit of BENLIC only.

BENLIC seeks the lowest, responsible, and qualified bid. Bidders acknowledge that their bid herein contains pricing inclusive of this cost benefit.

TERM OF PAYMENT

Pursuant to Contractor Agreement

BID AGREEMENT

The undersigned bidder offers and agrees, if this bid is accepted, to enter into an agreement with the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION to complete all work as specified for the contract price and within the contract time indicated in accordance with these documents.

Bidder declares by submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of his knowledge and belief:

- 1) The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
- 2) Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to the opening, directly or indirectly, to any other bidder or to any competitor; and
- 3) No attempt has been made or will be made by the bidder to induce any other person partnership or corporation to submit or not to submit a bid for the purpose of restriction competition.

A bid shall not be considered for award, nor shall any award be made where (a) (1) (2) and (3) above have not been complied with; provided however, that if in any case the bidder cannot make the foregoing certification, the bidder shall so state and furnish with the bid a signed statement which sets forth in detail the reasons therefor. Where (a) (1) (2) and (3) above have not been complied with, the bid shall not be considered for award nor shall any award be made unless the agency to which the bid is made, or his designee, determines that such disclosure was not made for the purpose of restricting competition that no person(s) other than those named herein are interested in this bid;

In submitting this bid, Bidder represent that he has examined the Instruction to Bidders; all other documents; that he has examined the proposed work site; that he has familiarized himself with all legal requirements (federal, state and local laws; ordinances; rules and regulations); that he as made such independent investigations as he deems necessary; he has satisfied himself as to all conditions affecting cost, progress or

performance of work; and that by signing this bid waives all rights to plead to misunderstanding regarding the same.

The Bidder further agrees that:

1. This bid shall remain open and may not be withdrawn for the time period set forth in the Instruction to Bidders.
2. That he accepts all terms and conditions in the Instruction to Bidders
3. The BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION has the right to delete bid items and/or sections prior to award if the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION deems this to be in the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION'S best interest.
4. That upon acceptance of this bid, he will execute the agreement and will furnish the required contract insurance certificates (if not submitted with his bid) within a time period acceptable to the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION.

Respectfully Submitted on _____ 2024

By _____ (Signature of Bidder)

Title: _____

Phone Number: _____

Email: _____

BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION

BENLIC – BID – 44 LONG

TERMS AND CONDITIONS

1. Bidder agrees to provide goods and/or services as described in this bid proposal to complete the Work, in a manner consistent with the highest standards of persons regularly engaged in providing such goods or services.
2. Bidder shall be compensated at the rates and prices set forth in this bid proposal once approved by the BENLIC Board of Directors, for goods and/or services actually provided and only after receipt of an original invoice within thirty (30) days and after all services are rendered, inspected and accepted. Surcharges (i.e. fuel surcharges) shall NOT be allowed to be added to invoices. In no event shall the BENLIC's liability for payment to Bidder under this Contract, exceed the sum stated in the bid proposal and approved by the BENLIC Board of Directors.
3. Bidder shall have seven (7) days from receipt of a Project Award Letter to provide BENLIC proof of insurance as detailed in the insurance requirements. Upon receipt of proof of insurance, BENLIC may issue a Notice and Order to Proceed Letter and Bidder shall within fifteen (15) days from receipt of same letter secure permits and start work. Bidder must forward copies of permits secured and notify BENLIC of the Start Date. From the Start Date, Bidder shall have six (6) months to complete the work after receipt of notice to proceed. Bidder shall immediately inform the BENLIC in writing by mail or facsimile transmission of any delay in providing goods and services to the BENLIC.
4. BENLIC may, with or without cause, terminate Bidder's services, in whole or in part, immediately upon giving notice to Bidder. In such event Bidder shall be compensated and the BENLIC shall be liable only for payment for services already rendered.
5. All records, if any, compiled by Bidder in providing services to BENLIC shall become and remain the property of BENLIC. Bidder may retain copies of such records for its own use.
6. No portion of the work necessary to provide goods or services to BENLIC may be assigned or subcontracted without the prior written consent of BENLIC.
7. Bidder agrees that it is an independent contractor and hereby waives all claims to benefits or privileges, if any available to persons as employees. Bidder shall comply, at Bidder's own cost and expense, with the provisions of all federal, state or local laws, ordinances, regulations or rules applicable to Bidder including, without limitation, the N.Y.S. Labor Law and Worker's Compensation Law and any applicable license requirements.
9. Bidder agrees that in providing goods or services to BENLIC, Bidder or any person working on Bidder's behalf, shall not, by reason of race, creed, color, sex, age, physical disability, national origin, genetic predisposition, carrier status, marital status or any other protected class, discriminate against, intimidate or harass any individual.
10. Bidder agrees that, except for the amount, if any, of damage contributed to, caused by or resulting from the acts or omissions of BENLIC, Bidder shall indemnify, defend and hold harmless the BENLIC, its governmental sponsors- County of Erie, Cities of Buffalo, Lackawanna and/or Tonawanda, the Empire State Development Corporation, the Office of the New York Attorney General, their officers, employees and agents from and against any and all liability, damage, claims, demands, costs, judgments, fees, attorney's fees or loss arising directly or indirectly out of Bidder's acts or omissions or the acts or omissions of third parties under Bidder's direction and control.

STANDARD INSURANCE PROVISIONS

BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION

STANDARD INSURANCE REQUIREMENTS

Vendor Insurance Classification A: Contracts Involving Construction or Maintenance

1. The contractor shall obtain, at its own cost and expense, the following insurance coverages with insurance companies licensed in the State of New York and shall provide a certificate of insurance as evidence of such coverages on the standard ACCORD Certificate.

- A. Commercial General Liability - with a minimum combined single limit of liability for Bodily Injury and Property Damage of \$1,000,000 per occurrence and \$2,000,000 general aggregate and \$2,000,000 Products – Completed Operation Aggregate. The coverage shall include:
- Premises and Operations
 - Products and Completed Operations
 - Independent Contractors
 - Blanket Broad Form Contractual Liability (sufficient to cover all liability assumed under contracts with BENLIC)
 - Broad Form Property Damage
 - Explosion, Collapse and Underground Hazards (x, c, u) must NOT be excluded. Deductible must not exceed \$10,000
- B. Automobile Liability - with a minimum combined single limit of liability for Bodily Injury and Property Damage of \$1,000,000 each occurrence. The coverage shall include Owned, Hired, and Non-Owned Autos (Symbol "1" should be designated for Liability coverage on the Business Auto Policy). The deductible shall not exceed \$10,000.
- C. Excess "Umbrella" Liability - with a minimum limit of \$1,000,000 each occurrence / \$1,000,000 aggregate.
- D. Worker's Compensation and Employer's Liability - providing statutory coverage in compliance with the Worker's Compensation Law of the State of New York (Forms C-105.2; SI-12; GSI-105.2; or U-26.3). The deductible shall not exceed \$10,000.
- E. Disability Benefits - providing statutory coverage in compliance with the New York State Disability Benefits Law (Forms DB-120.1 or DB-155).

2. Commercial General Liability, Automobile Liability and Excess "Umbrella" Liability shall name the Buffalo Erie Niagara Land Improvement Corporation (BENLIC). Coverage should be provided on a primary and non-contributory basis. Designated Construction Project General Aggregate Limit Per Person Endorsement CG 2503 is required. Waiver of Subrogation is required on all lines in favor of BENLIC.

3. All policies in which BENLIC is named as an additional insured(s) shall provide that:

- A. The insurance company or companies issuing the policies shall have no recourse against BENLIC for payment of any premiums or for assessments under any form of policy.
 - B. The insurance shall apply separately to each insured (except with respect to the limit of the liability).
4. Prior to cancellation, non-renewal or material change of the above policies, at thirty (30) days advance written notice shall be given to BENLIC Counsel c/o County of Erie, Department of Law, 95 Franklin Street, Room 1634, Buffalo, N.Y. 14202, and the Agency requesting the certificate.
5. All certificates of insurance shall be approved by the BENLIC Counsel prior to the inception of any work. Any request for a waiver of the above requirements shall be in writing to BENLIC Counsel c/o County of Erie, Department of Law, 95 Franklin Street, Room 1634, Buffalo, N.Y. 14202.

Failure to maintain coverage herein shall constitute a material breach of the contract and the Contractor shall suspend all work immediately upon such lapse in coverage.

Specification of Repairs

FHA Case Number

Project Name: Cheektowaga Infill Project 44 Long Ave (REBID)		Owner: BENLIC (The Land Bank)	
Property Address: 44 Long Ave Cheektowaga, NY 14225		Owners Address and Contact Number: 403 Main Street, Suite 602 Buffalo, NY 1420	
Contact Name: John L. Good	Contact Phone Number: (716) 609-1473	Best Time to Call: Daytime	
Contractor's Name (If Applicable)			
Contractor's Address:			
Telephone Number:	Contractor License Number:	Estimated Number of Months to Complete Work (Six Months Maximum)	

1. Masonry

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 1
XXXX

2. SIDING

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials (V.A. #26-1852/hud#92005)

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 2
XXXX

3. GUTTERS & DOWNSPOUTS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

Gutters shall be seamless gutters installed with adequate downspouts to control water run off from roof. All downspouts shall terminate at concrete splash blocks.

SUB-TOTAL SECTION No. 3
XXXX

4. ROOF

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

Ice shield shall be installed from eave to minimum of 24 inches past interior walls of heated space. In addition ice shield shall be installed at all flashing, valley, and roof penetration areas. Roofs over unheated areas shall be covered with ice shield 100%.

SUB-TOTAL SECTION No. 4
XXXX

5. SHUTTERS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

See Item Nos.: _____

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 5
XXXX

6. EXTERIORS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 6
XXXX

7. WALKS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

Sidewalks shall be a minimum of 4 feet wide and shall flare out to full porch width at all all porch entries.

SUB-TOTAL SECTION No. 7
XXXX

8. DRIVEWAYS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

Any existing driveways shall be completely demolished and property removed from site and disposed of.

SUB-TOTAL SECTION No. 8
XXXX

9. PAINTING - EXTERIOR

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 9
XXXX

10. CAULKING

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials (V.A. #26-1852/hud#92005)

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS, MANUFACTURER RECOMMENDATIONS AND BEST CONSTRUCTION PRACTICES.

SUB-TOTAL SECTION No. 10
XXXX

11. FENCING

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 11
XXXX

12. GRADING

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

Any plant life or trees which interfere with the construction or will endanger the structures will be removed with the stumps ground out to a point at least 10inches below grade. New trees shall be installed per architectural plans.

At completion of construction site will be graded to ensure proper drainage away from dwelling preventing runoff in excess of existing into any neighboring yards.

After final grade all areas shall be hydro seeded and maintained until grass reaches a minimum of 4 inches with proper root system.

SUB-TOTAL SECTION No. 12
XXXX

Contractor shall provide a \$2500 allowance for landscaping of yards at completion of project. This will require landscape plan to be submitted to BENLIC for review and approval.

Grade shall be minimum of 6 (six) inches below top of foundation wall around entire dwelling. No grade shall be allowed to extend above top of foundation wall. Flashing in plans where grade shown above foundation wall will be deleted.

13. WINDOWS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOWING INDIVIDUAL BUILDING PLANS ALL SCREENS SHALL BE FULL WINDOW, HALF SCREENS WILL NOT BE ACCEPTED.

SUB-TOTAL SECTION No. 13
XXXX

14. WEATHERSTRIPPING

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 14
XXXX

15. DOORS - EXTERIOR

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS DOORS TO BE KEYED ALIKE.

SUB-TOTAL SECTION No. 15
XXXX

16. DOORS - INTERIOR

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS. DOORS TO BATHROOMS AND BEDROOMS TO BE PROVIDED WITH PRIVACY LOCK SETS.

SUB-TOTAL SECTION No. 16
XXXX

17. PARTITION

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS.

SUB-TOTAL SECTION No. 17
XXXX

18. PLASTER/DRYWALL

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 18
XXXX

19. DECORATING

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 19
XXXX

20. WOOD TRIM

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 20
XXXX

21. STAIRS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 21
XXXX

22. CLOSETS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS. Each closet to be supplied with shelf and hanging rod.

SUB-TOTAL SECTION No. 22
XXXX

23. WOOD FLOORS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 23
XXXX

24 FINISH FLOORS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 24
XXXX

25. CERAMIC TILE

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 25
XXXX

26. BATH ACCESSORIES

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS. Bathrooms to be provided with recessed medicine cabinets, paper holders, shower curtain rods and towel racks.

SUB-TOTAL SECTION No. 26
XXXX

27. PLUMBING

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS. Frost proof exterior spigots to be installed at the front and rear of each dwelling.

SUB-TOTAL SECTION No. 27
XXXX

28. ELECTRIC

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 28
XXXX

29. HEATING

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

Contractor will perform blower door testing at completion with reports provided to BENLIC.

SUB-TOTAL SECTION No. 29
XXXX

30. INSULATION

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials
Other documentation:
Comments:

FOLLOW INDIVIDUAL BUILDING PLANS.

SUB-TOTAL SECTION No. 30
XXXX

31. CABINETRY

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

Kitchen Cabinets to be Homecrest Cabinets Standard MDF Case Construction, Dovetail Wood Drawers, Full extension slides, soft close hinges with 36" upper cabinets. Standard stock hardware, standard depth over refrigerator cabinet, toe kick cover, matching laminate back and side panels or equal.

Kitchen Counters to be 3/4" plywood with grade 10 high pressure plastic laminate (wilson art or equal) and integral backsplash or equal.

SUB-TOTAL SECTION No. 31
XXXX

32. APPLIANCES

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

Contractor shall supply fully electric appliances from either Samsung or Whirlpool match sets to include Refrigerator, Stove, Dishwasher and combination stove vent hood microwave.

SUB-TOTAL SECTION No. 32
XXXX

33. BASEMENTS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

FOLLOW INDIVIDUAL BUILDING PLANS

SUB-TOTAL SECTION No. 33
XXXX

34. CLEANUP

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

Contractor shall keep site neat and clean, providing silt socks at entire perimeter to prevent mud and debris from reaching public areas. Care shall be taken to protect all public infrastructure and any damage will be repaired at contractors cost. Dumpsters are to be removed and emptied within 48hours of being filled. Site will be protected from accidental entry.

During construction period contractor shall be responsible for site maintenance such as lawn mowing and snow removal.

SUB-TOTAL SECTION No. 34
XXXX

35. MISCELLANEOUS

This portion of the work will be done by (check one)

Contractor

Sub-Contractor

See description of materials

Other documentation:

Comments:

(Describe any main dwelling materials, equipment or construction items not shown elsewhere: or use to provide addition information where the space provided was inadequate, always reference by item number to correspond to numbering used on this form)

SUB-TOTAL SECTION No. 35
XXXX

REMARKS:

Contractor will be required to provide product information sheets, color palletes and material samples for all materials to be used in construction.

Contractor shall provide design and layout plans for interior layouts of Kitchen and bathroom as submittals for approval.

All submittals shall be accompanied by submittal sheet provided by contractor and acceptable to BENLIC. Submittal sheet shall at a minimum include decription of materials submitted and location of material installation. Submittal sheets shall have spaces for contractor signature and date of submittal and BENLIC acceptance or rejection, signature and date.

Any materials installed without approved submittals will be removed at the contractors cost.

CONTRACTOR WILL BE RESPONSIBLE FOR ADHERENCE TO PLANS, SPECS, BUILDING AND ZONING CODES AND OWNER DIRECTION. ANY CONFLICTS WILL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF BENLIC CONSTRUCTION MANAGER.



2/17/2025

RE: Addendum #1 Cheektowaga Infill Project 44 Long Rebid

To Whom it May Concern,

Regarding the above project, currently out to bid, the following questions and information are provided:

1. Deduct cost for change of windows from Anderson 400 series to 100 series with full screens.
2. Deduct cost all grade to be below top of foundation no special flashing required.

I encourage all potential bidders to fully review the bid package and all addendums prior to sending in request for information.

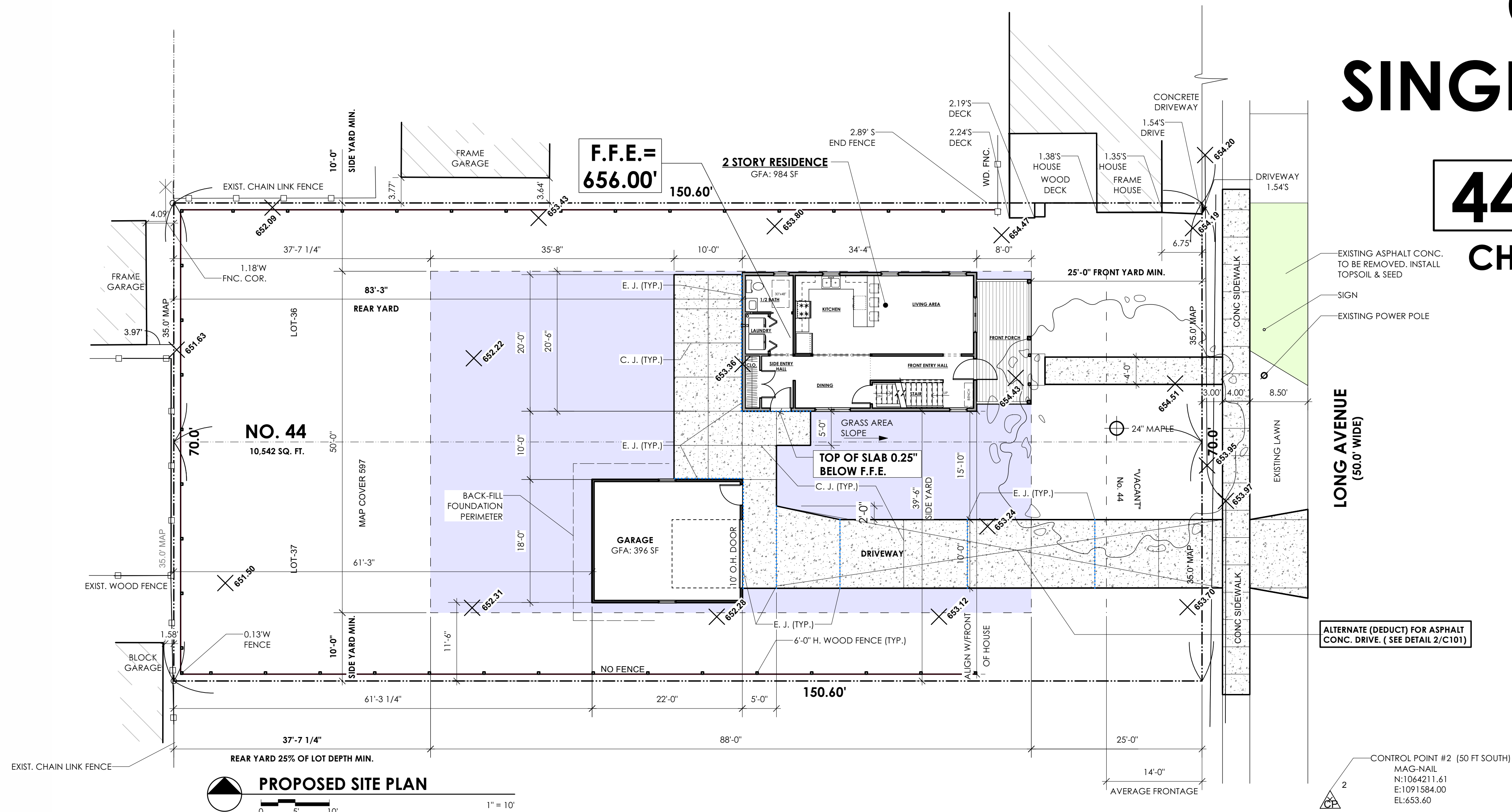
Thank You,

John L Good

John Good
Construction Manager
BENLIC
j.good@benlic.org
716.609.1473 (cell)

CHEEKTOWAGA SINGLE FAMILY INFILL

44 LONG AVENUE CHEEKTOWAGA, NEW YORK 14225



GENERAL NOTES:

1. COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
2. MAINTAIN INSURANCE AS REQUIRED BY NEW YORK STATE AND TOWN OF CHEEKTOWAGA.
3. OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
4. REVIEW AND VERIFY ALL EXISTING CONDITIONS AND THE SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
5. NO SUBSTITUTIONS WITHOUT AUTHORIZATION OF OWNER AND ARCHITECT.
6. PROVIDE ALL NECESSARY TEMPORARY SUPPORT OR ENCLOSURE TO PROPERLY PROTECT AND COMPLETE THE WORK.
7. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS USED IN CONSTRUCTION WORK.
8. COMPLY WITH THE TOWN OF CHEEKTOWAGA REQUIREMENTS FOR STORMWATER RUNOFF.
9. PROVIDE TREE PROTECTION PER TOWN OF CHEEKTOWAGA REQUIREMENTS.

SURVEY INFORMATION BY:

KHEOPS ARCHITECTURE, ENGINEERING & SURVEY, DPC
392 PEARL STREET, BUFFALO, NEW YORK 14202
SURVEY DATE: 11/14/2024
JOB NO.: 24NY16.04

PART OF THE HOLLAND LAND COMPANY
LOT 34, TOWNSHIP 11, RANGE 7
TOWN OF CHEEKTOWAGA, COUNTY OF ERIE,
STATE OF NEW YORK

PROPOSED SITE PLAN

0 5' 10' 1" = 10'

KEY	
---	SETBACK
---	EXISTING TOPO
---	PROPOSED TOPO
---	EXPANSION JOINT
---	BUILDABLE AREA
---	EXISTING TOPO ELEVATION
---	PROPOSED TOPO ELEVATION

ABBREVIATION INDEX

A.F.F.	ABOVE FINISHED FLOOR	GALV.	GALVANIZED	REIN.	REINFORCED/
ALT.	ALTERNATE	GYP.	GYPSUM	REPR.	REPAIR
ALUM.	ALUMINUM	H.	HEIGHT	RES.	RESILIENT
A/V	AUDIO / VISUAL	HGT.	HEIGHT	RM.	ROOM
BD.	BOARD	H.I.	HEIGHT OF INSTRUMENT	RMV.	REMOVE
BLDG.	BUILDING	H.M.	HOLLOW METAL	RUB.	RUBBER
BLK.	BLOCK	H.P.	HIGH POINT	SAN.	SANITARY
BLKG.	BLOCKING	HR.	HOUR	SCH.	SCHEDULE
BOT.	BOTTOM	INS.	INSULATION	S.J.	SAWCUT JOINT
BRG.	BEARING	L.	LINEN CLOSET	SS.	STAINLESS STEEL
C.J.	CONTROL JOINT	LIN.	LINOLEUM	STN.	STAIN
C.L.	CENTER LINE	LOC.	LOCATED/LOCATIONS	STL.	STEEL
CLO.	CLOSET	MAS.	MASONRY	SHT.	SHEET
CLR.	CLEAR	MAX.	MAXIMUM	THK.	THICK
CMU	CONCRETE MASONRY UNIT	MEAS.	MEASURED	TR.	TRIM
C.M.T.	CERAMIC MOSAIC TILE	MEZZ.	MEZZANINE	TYP.	TYPICAL
COL.	COLUMN	M.H.	MAN HOLE	T&B	TOP & BOTTOM
CONC.	CONCRETE	MIN.	MINIMUM	T&G	TONGUE & GROOVE
CONT.	CONTINUOUS	MNFR.	MANUFACTURER	ULM.	UNDERLAYMENT
COR.	CORNER	MTL.	METAL	U.N.O.	UNLESS NOTED OTHERWISE
C.T.	CERAMIC TILE	NOM.	NOMINAL	VRN.	VARNISH
D.	DEPTH	N.T.S.	NOT TO SCALE	V.A.T.	VINYL ASBESTOS TILE
DBL.	DOUBLE	O.C.	ON CENTER	VAR.	VARIABLE
DFL.	DOUGLAS FIR LARCH	O.E.	OVERHEAD ELECTRIC	V.C.T.	VINYL COMPOSITE TILE
DIA.	DIAMETER	O.H.	OVER HEAD	VERT.	VERTICAL
DN.	DOWN	OPNG.	OPENING	V.I.F.	VERIFY IN FIELD
DWG.	DRAWING	PERF.	PERFORATED	W.	WIDTH
EPDM.	ETHYLENE PROPYLENE DIENE MONOMER	PERIM.	PERIMETER	WD.	WOOD
EQ.	EQUAL	PL.	PLATE	WDW.	WINDOW
EQ.	EXISTING	PLYWD.	PLYWOOD	WWF.	WELDED WIRE FABRIC
EX.	EXISTING	P.L.	PROPERTY LINE		
EXG.	EXISTING	PREP.	PREPARE		
EXIST.	EXISTING	PROJ.	PROJECTION		
ENG.	PRE-ENGINEERED	PT.	PAINT		
EQUIP.	EQUIPMENT	P.T.	PRESSURE TREATED		
F.D.	FLOOR DRAIN	Q.T.	QUARRY TILE		
F.F.	FINISHED FLOOR				
F.J.	FORMED JOINT				
FIN.	FINISH				
FLR.	FLOOR				
FNDN.	FOUNDATION				
FTG.	FOOTING				

SYMBOLS INDEX

1	DIAMOND	INTERIOR ELEVATION	A-301	BLDG. SECTION	(D01)	DOOR NUMBER
2	DIAMOND	INTERIOR ELEVATION	A-301	BLDG. SECTION	(W01)	WINDOW NUMBER
3	DIAMOND	DETAIL NUMBER	A-111	SECTION DETAIL	(01)	WALL TYPE
4	DIAMOND	DETAIL NUMBER	A-111	SECTION DETAIL	(01)	WORK NOTE

DRAWING LIST:

T-100	TITLE SHEET & SITE PLAN
C-101	SITE DETAILS
A-100	GENERAL NOTES & ARCHITECTURAL SPECIFICATIONS
A-101	FOUNDATION PLAN
A-102	FLOOR PLANS
A-103	GARAGE PLAN, SECTION & ELEVATIONS.
A-201	ELEVATIONS
A-301	WALL SECTION & DETAILS
A-302	PORCH DETAILS
A-601	SCHEDULES & WINDOW DETAILS
MEP-101	BASEMENT SCHEMATIC MECHANICAL, ELECTRIC, PLUMBING PLAN & PLUMBING SCHEMATIC ISOMETRIC
MEP-102	FLOOR PLANS SCHEMATIC MECHANICAL, ELECTRIC, PLUMBING

RESIDENTIAL (R)

LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:
THE FOLLOWING ARE MINIMUM LOT, YARD AND COVERAGE REQUIREMENTS IN RESIDENTIAL DISTRICTS:

MINIMUM AREA OF LOT IN SQUARE FEET:

7,200 SF (INTERIOR LOT)
ACTUAL: 10,542 SF

MINIMUM LOT WIDTH IN FEET:

INTERIOR LOT: 60'
ACTUAL: 70'

MAXIMUM BUILDING HEIGHT IN FEET:

SINGLE OR TWO-FAMILY DWELLINGS: 30'
ACCESSORY BUILDINGS: ONE STORY < 12'
ACTUAL: 21'-6"

MINIMUM FRONT YARD IN FEET:

25'
ACTUAL: 25'

MINIMUM SIDE YARD IN FEET:

10% LOT WIDTH EA. SIDE & 25% LOT WIDTH TOTAL; NOT MORE THAN 25' NECESSARY
ACTUAL: 10' NORTH SIDE, 39'-6" SOUTH SIDE

MINIMUM REAR YARD IN FEET:

GREATER OF 25% OF LOT DEPTH (37'-8") MIN. & 25' MIN.
ACTUAL: 69'-7"

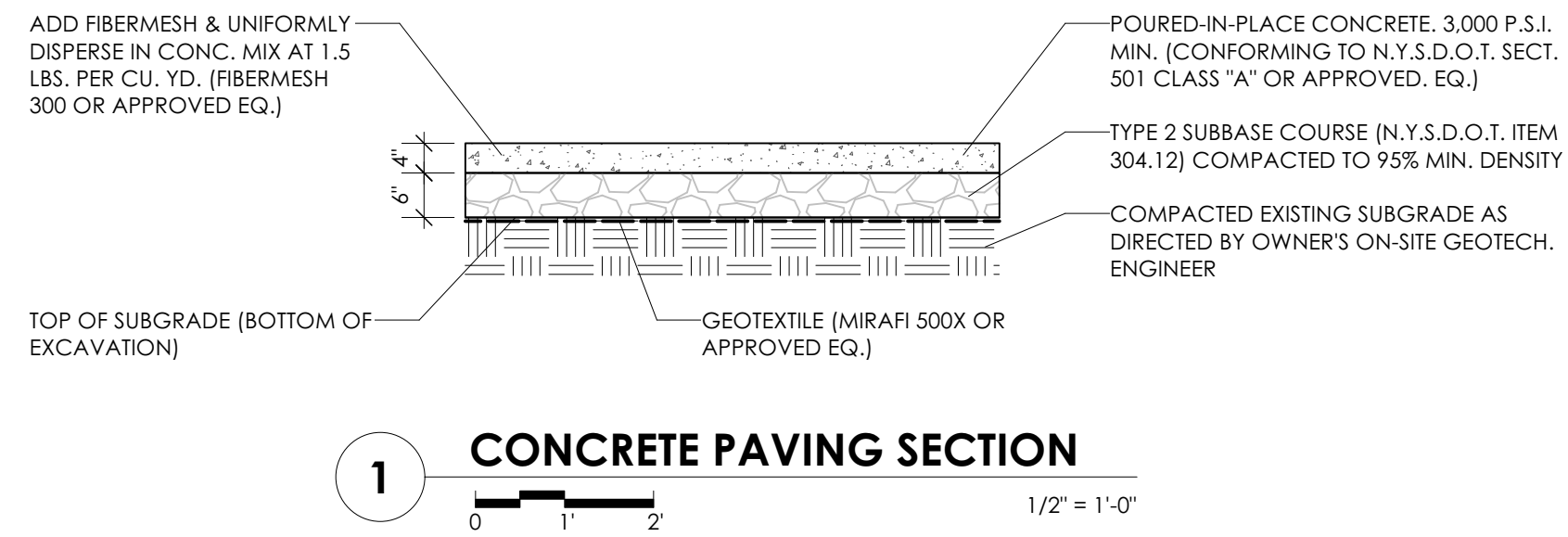
MINIMUM LIVEABLE GROUND FLOOR AREA IN SQUARE FEET:

900 SF
ACTUAL: 964 SF



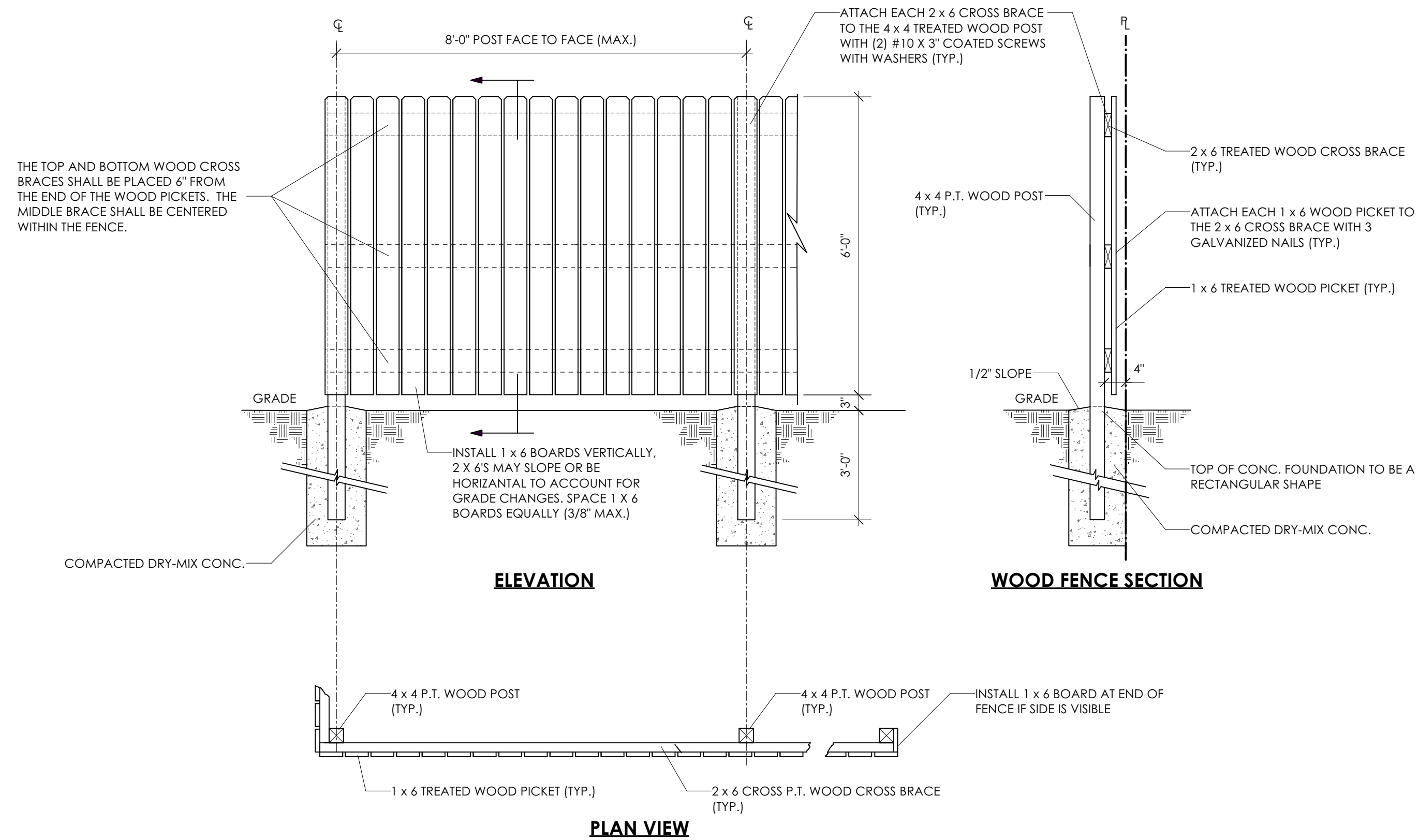
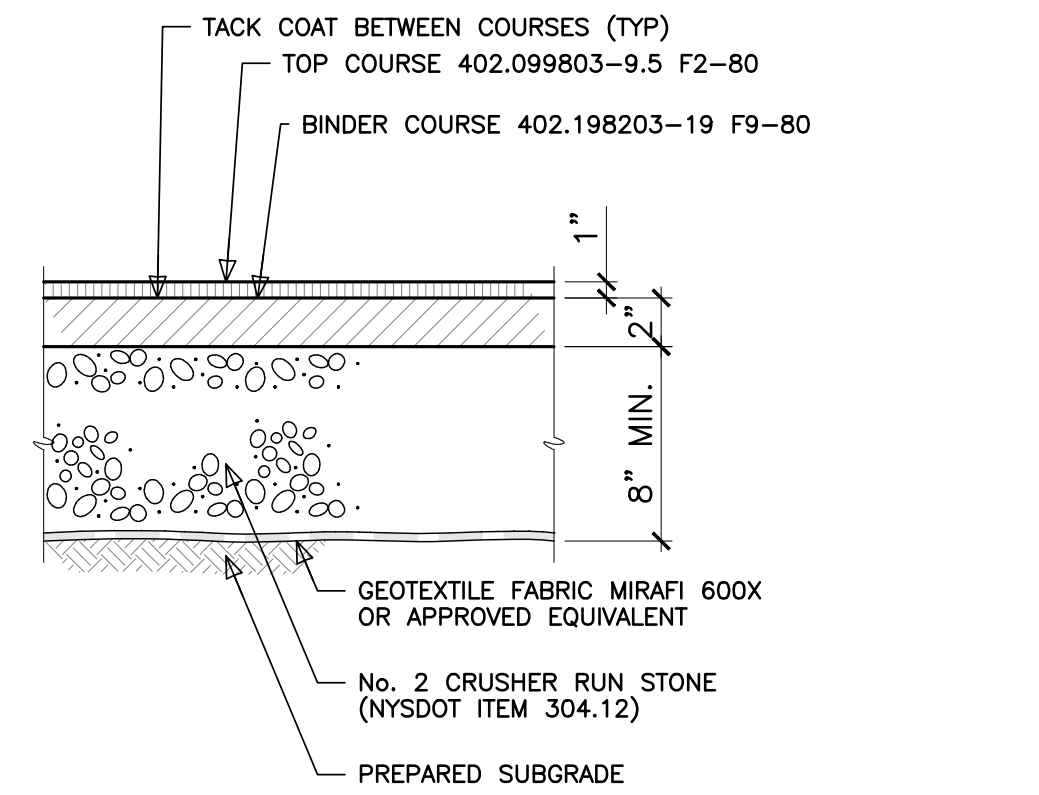
COPYRIGHT 2025 eco logic STUDIO eco logic STUDIO architecture & engineering, PLLC WARNING: ALTERATIONS TO THIS DOCUMENT, EXCEPT IN ACCORDANCE WITH THE NEW YORK STATE EDUCATION LAW, SECTION 7209 SUBDIVISION 2, IS ILLEGAL.	
CONSTRUCTION DOCUMENTS	

BENLIC CHEEKTOWAGA INFILL	
44 Long Avenue Cheektowaga, NY 14225 NEW RESIDENCE	
Project #	2414.1
DRAWN BY: slh,aq,caw	
6-Feb-25	
TITLE SHEET & SITE PLAN	
DWG. NO.	T-100



NOTES:

1. ALL CONCRETE FOR SIDEWALKS SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 501. CONSTRUCTION SHALL CONFORM TO N.Y.S.D.O.T. STANDARD SPECIFICATION 608-3.
2. ALL CONCRETE DRIVEWAY AREAS SHALL BE SCORED 10' ON CENTER (OR AS NOTED ON SHEET T-100) WITH TOOLED CONTROL JOINTS 1 INCH DEEP, WHILE CONCRETE IS GREEN.
3. EXPANSION JOINTS IN CONCRETE AREAS SHALL BE NO MORE THAN 25' ON CENTER AND IT INTERFACES BETWEEN DRIVEWAYS, SIDEWALKS, SLABS, AND FOUNDATIONS. ALL SIDEWALK EDGES SHALL BE TOOLED WITH A 1/4" EDGE RADIUS WITHIN 24 HOURS OF POURING CONCRETE. INSTALL FELT BOARD EXPANSION JOINT, SCORE FELT AND REMOVE TO DEPTH OF 1/2" BELOW SLAB. PROVIDE SEAL WITH 1/2" INCH PRE-MOLDED RESILIENT JOINT FILLER AT ALL EXPANSION JOINTS.
4. **IN DRIVEWAY AREAS CONCRETE THICKNESS SHALL BE INCREASED TO 6 INCHES MINIMUM.**
5. CONCRETE SHALL HAVE A SLUMP OF NO MORE THAN 5" AND AN AIR ENTRAINMENT OF 4-6%. THE USE OF CALCIUM CHLORIDE IS NOT PERMITTED. PROVIDE PROPER CONCRETE PROTECTION IN COLD WEATHER AND MAINTAIN PROPER CURING PROCEDURES IN CONFORMANCE WITH ALL A.C.I. REQUIREMENTS.



COPYRIGHT 2025
 eco logic STUDIO
 eco logic STUDIO
 architecture & engineering, PLLC
 WARNING: ALTERATIONS TO
 THIS DOCUMENT, EXCEPT IN
 ACCORDANCE WITH THE
 NEW YORK STATE EDUCATION
 LAW, SECTION 7209
 SUBDIVISION 2, IS ILLEGAL.

REV. 6-FEB-25

CONSTRUCTION DOCUMENTS

**BENLIC
 CHEEKTOWAGA
 INFILL**
 44 Long Avenue
 Cheektowaga, NY 14225
 NEW RESIDENCE

Project # 2414.1
 DRAWN BY: slh, aq
 6-Feb-25

SITE DETAILS

DWG. NO.
C-101

GENERAL NOTES

1. THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS.
2. THE CONTRACTOR IS TO MAINTAIN INSURANCES AS REQUIRED BY NEW YORK STATE AND THE TOWN OF CHEEKTOWAGA.
3. BENLIC IS TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK.
4. THE CONTRACTOR IS TO REVIEW AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND SCOPE OF WORK PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
5. NO SUBSTITUTIONS ARE TO BE MADE WITHOUT THE AUTHORIZATION OF THE OWNER AND ARCHITECT.
6. PROVIDE ALL NECESSARY TEMPORARY SUPPORT OR ENCLOSURE TO PROPERLY PROTECT AND COMPLETE THE WORK. REPAIR ANY DAMAGE TO EXISTING CONSTRUCTION CAUSED BY THE WORK TO MATCH ORIGINAL CONSTRUCTION & FINISH.
7. PROPERLY DISPOSE OF AND REMOVE DEBRIS FROM THE WORK SITE DAILY OR STORE IN APPROPRIATE CONTAINER.
8. COMPLY WITH MANUFACTURERS' WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION OF ALL PRODUCTS.
9. ALL COLORS AS INDICATED OR AS SELECTED BY ARCHITECT.
10. THE CONTRACTOR IS TO SUBMIT PRODUCT DATA, SHOP DRAWINGS, SAMPLES, AND SUBSTITUTION REQUESTS TO BENLIC FOR APPROVAL. THE CONTRACTOR IS TO REVIEW, COORDINATE, AND VERIFY THAT SUBMITTALS MEET THE SPECIFIED REQUIREMENTS PRIOR TO SUBMISSION.
11. WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT UNITS AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS.
12. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS REQUIRED FOR THE WORK, COORDINATE TOWN W/BENLIC INSPECTOR.
13. THE CONTRACTOR IS TO REQUEST FINAL INSPECTION BY THE ARCHITECT PRIOR TO ISSUE OF FINAL CERTIFICATE OF PAYMENT AND CORRECT WORK NOTED BY THE ARCHITECT UPON COMPLETION OF WORK IDENTIFIED IN PREVIOUS INSPECTIONS. THE CONTRACTOR WILL REQUEST A REINSPECTION BY THE ARCHITECT.
14. THE CONTRACTOR IS TO SUPPLY THE OWNER WITH OPERATIONS AND MAINTENANCE MANUAL AND WARRANTIES OF ALL PRODUCTS AND SYSTEMS AT CLOSEOUT.
15. THE CONTRACTOR IS TO SUBMIT A WRITTEN LIST OF ALL SUBCONTRACTORS PROPOSED FOR THE WORK. THE OWNER AND ARCHITECT RESERVE THE RIGHT TO REJECT THE USE OF A SUBCONTRACTOR.
16. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN TEMPORARY FENCING, BARRICADES, SIGNS, SAFETY LIGHTS, ETC. TO PROTECT THE WORK AND MAINTAIN PUBLIC SAFETY AND ACCESS AT ALL TIMES DURING CONSTRUCTION.
17. THE CONTRACTOR SHALL KEEP AND MAINTAIN AS-BUILT DOCUMENTATION OF THE CONSTRUCTION AT THE PROJECT SITE IN A PROFESSIONAL AND READABLE MANNER AND SUBMIT TO THE OWNER AT SUBSTANTIAL COMPLETION.
18. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY UTILITIES AND FACILITIES TO PERFORM THE WORK.
19. THE CONTRACTOR SHALL COORDINATE ALL TRADES AND SEQUENCE OF CONSTRUCTION TO ENSURE CONTINUITY OF THE AIR BARRIER SYSTEM, COORDINATE WITH OWNER'S INDEPENDENT TESTING AGENCY FOR INSPECTION OF THE AIR BARRIER SYSTEM. CONTRACTOR TO REMEDY ALL CONDITIONS OUT OF COMPLIANCE WITH AIR BARRIER REQUIREMENTS AND FACILITATE SUBSEQUENT TESTING UNTIL RECTIFIED.
20. THE CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS. NOTIFY ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED.

ARCHITECTURAL SPECIFICATIONS

SITE WORK

1. CONTRACTOR TO PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT PERSONNEL AND GENERAL PUBLIC.
2. CONTRACTOR TO PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY WORK AT NO COST TO OWNER. MATCH EXIST.
3. CONTRACTOR TO REMOVE ANY AND ALL MISCELLANEOUS DEBRIS.
4. CONCRETE PAVING TO HAVE COMPRESSIVE STRENGTH OF 4,000 PSI MIN. @ 28 DAYS UNLESS NOTED OTHERWISE. SURFACE TO HAVE BROOM FINISH. PROVIDE REINFORCING AS INDICATED.
5. CONTRACTOR TO PROVIDE OWNER WITH WRITTEN INSTRUCTIONS FOR MAINTENANCE OF LANDSCAPE WORK.
6. GARAGE TO INCLUDE 10' W. x 8' H. METAL O.H. DOOR & ELEC. OPERATOR. GARAGE SIDING TO MATCH HOUSE.

WOOD, PLASTIC & COMPOSITES

1. WOOD FRAMING MEMBERS NOT IN CONTACT WITH CONCRETE OR MASONRY TO BE SPF NO. 2 GRADE OR BETTER. COMPLY WITH AF&P'S "DETAILS FOR CONVENTIONAL WOOD FRAME CONSTRUCTION".
2. ALL WOOD MEMBERS IN CONTACT WITH CONCRETE/MASONRY SHALL BE PRESSURE TREATED WITH AMERICAN WOOD PRESERVERS BUREAU LP-2 SOFTWOOD LUMBER AND PLYWOOD PRESSURE TREATED WITH WATERBORNE SALT PRESERVATIVES FOR USE ABOVE GROUND.
3. SHEATHING WITH INTEGRAL WEATHER RESISTIVE AND AIR BARRIER TO BE ZIP BY HUBER ENGINEERED WOODS OR APPROVED EQUAL. PROVIDE MANUFACTURER'S RECOMMENDED SEAM AND FLASHING TAPE OR SEALANT.
4. ROOF SHEATHING TO APA RATED PLYWOOD STRUCTURAL I SHEATHING WITH EXPOSURE 1 CLASSIFICATION.

THERMAL & MOISTURE

1. ARCH. SHINGLES TO BE CERTAINTED LANDMARKPRO OR EQ. UNDERLAYMENT TO BE GRACE VYCOR ICE & WATER SHIELD AND ROOF RUNNER SYNTHETIC UNDERLAYMENT, OR EQ.
2. EPS FOAM INSULATION TO MEET REQUIREMENTS OF ASTM C578 TYPE IX WITH A COMPRESSIVE STRENGTH OF 25 PSI. PROVIDE IN THICKNESSES INDICATED. WHERE MULTIPLE LAYERS ARE USED STAGGER JOINTS. PROVIDE FOAM-CONTROL 250 BY THERMAL FOAMS OR APPROVED EQUAL.
3. INTERIOR AIR MEMBRANE TO BE CERTAINTED MEMBRAN OR APPROVED EQUAL. PROVIDE ASSOCIATED TAPES, PRIMERS, AND SEALANTS REQUIRED FOR INSTALLATION PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
4. SILL GASKET TO BE CONSERVATION TECH. (EPDM BG65) BULB TYPE.
5. PARGE COAT TO BE QUIKCREET FOAM COAT WITH FIBERGLASS REIN. MESH.
6. SIDING TO BE .044" VINYL 4" EXPOSURE BY ALSIDE.

OPENINGS

1. DOOR TYPES SOLID CORE MASONITE OR THERMA-TRU INSUL.
2. PROVIDE DOOR HARDWARE IN ACCORDANCE WITH BHMA A156. COORDINATE WITH OWNER ON KEYING.
3. WINDOWS SHALL BE EQUAL TO ANDERSON 400 SERIES:
 - A. UNIT TYPE: SEE ELEVATIONS & SCHEDULE
 - B. EXTERIOR FINISH: WHITE OR BEIGE (COLOR AS SELECTED BY ARCHITECT)
 - C. INTERIOR FINISH: WHITE OR BEIGE (COLOR AS SELECTED BY ARCHITECT)
 - D. GLASS INFORMATION: IG, LOW E2 W/AGRON, 95% - 96% UV, BLOCKAGE
 - E. HARDWARE TYPE: PELLA STD. COLOR AS SELECTED BY THE ARCHITECT.

FINISHES

1. PROVIDE SEALANT AT INTERSECTION OF ALL DISSIMILAR MATERIALS. ALL ADHESIVES & SEALANTS THAT ARE INSIDE THE WEATHERPROOFING SYSTEM SHALL COMPLY WITH THE FOLLOWING VOC CONTENT LIMITS WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D (EPA METHOD 24):
 1. WOOD GLUES: 30 g/L
 2. METAL-TO-METAL ADHESIVES: 30 g/L
 3. ADHESIVES FOR POROUS MATERIALS (EXCEPT WOOD): 50 g/L
 4. SUBFLOOR ADHESIVES: 50 g/L
 5. PLASTIC FOAM ADHESIVES: 50 g/L
 6. BIO BASED TILE ADHESIVES: 50 g/L
 7. COVE BASE ADHESIVES: 50 g/L
 8. GYPSUM BOARD AND PANEL ADHESIVES: 50 g/L
 9. CERAMIC TILE ADHESIVES: 65 g/L
 10. MULTIPURPOSE CONSTRUCTION ADHESIVES: 70 g/L
 11. FIBERGLASS ADHESIVES: 80 g/L
 12. CONTACT ADHESIVE: 80 g/L
 13. STRUCTURAL GLAZING ADHESIVES: 100 g/L
 14. WOOD FLOORING ADHESIVE: 100 g/L
 15. STRUCTURAL WOOD MEMBER ADHESIVE: 140 g/L
 16. SINGLE-PLY ROOF MEMBRANE ADHESIVE: 250 g/L
 17. SPECIAL-PURPOSE CONTACT ADHESIVE (CONTACT ADHESIVE THAT IS USED TO BOND MELAMINE COVERED BOARD, METAL, UNSUPPORTED VINYL, RUBBER, OR WOOD VENEER 1/16 INCH OR LESS IN THICKNESS TO ANY SURFACE): 250 g/L
 18. TOP AND TRIM ADHESIVE: 250 g/L
 19. PLASTIC CEMENT WELDING COMPOUNDS: 250 g/L
 20. ABS WELDING COMPOUNDS: 325 g/L
 21. CPVC WELDING COMPOUNDS: 490 g/L
 22. PVC WELDING COMPOUNDS: 510 g/L
 23. ADHESIVE PRIMER FOR PLASTIC: 550 g/L
 24. SHEET-APPLIED RUBBER LINING ADHESIVE: 850 g/L
 25. AEROSOL ADHESIVE, GENERAL PURPOSE MIST SPRAY: 65 PERCENT BY WEIGHT.
 26. AEROSOL ADHESIVE, GENERAL PURPOSE WEB SPRAY: 55 PERCENT BY WEIGHT.
 27. SPECIAL PURPOSE AEROSOL ADHESIVE (ALL TYPES): 70 PERCENT BY WEIGHT.
 28. OTHER ADHESIVES: 250 g/L
 29. ARCHITECTURAL SEALANTS: 250 g/L
 30. NONMEMBRANE ROOF SEALANTS: 300 g/L
 31. SINGLE-PLY ROOF MEMBRANE SEALANTS: 450 g/L
 32. OTHER SEALANTS: 420 g/L
 33. SEALANT PRIMERS FOR NONPOROUS SUBSTRATES: 250 g/L
 34. SEALANT PRIMERS FOR POROUS SUBSTRATES: 775 g/L
 35. MODIFIED BITUMINOUS SEALANT PRIMERS: 500 g/L
 36. OTHER SEALANT PRIMERS: 750 g/L
2. ALL PAINTS & COATINGS THAT ARE INSIDE THE WEATHERPROOFING SYSTEM SHALL COMPLY WITH THE FOLLOWING VOC CONTENT LIMITS WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D (EPA METHOD 24):
 1. FLAT PAINTS AND COATINGS: VOC NOT MORE THAN 50 g/L
 2. NONFLAT PAINTS AND COATINGS: VOC NOT MORE THAN 150 g/L
 3. DRY-FOG COATINGS: VOC NOT MORE THAN 400 g/L
 4. PRIMERS, SEALERS, AND UNDERCOATERS: VOC NOT MORE THAN 200 g/L
 5. ANTI-CORROSIVE AND ANTIRUST PAINTS APPLIED TO FERROUS METALS: VOC NOT MORE THAN 250 g/L
 6. ZINC-RICH INDUSTRIAL MAINTENANCE PRIMERS: VOC NOT MORE THAN 340 g/L
 7. PRETREATMENT WASH PRIMERS: VOC NOT MORE THAN 420 g/L
 8. CLEAR WOOD FINISHES, VARNISHES: VOC NOT MORE THAN 350 g/L
 9. CLEAR WOOD FINISHES, LACQUERS: VOC NOT MORE THAN 550 g/L
 10. FLOOR COATINGS: VOC NOT MORE THAN 100 g/L
 11. SHELLACS, CLEAR: VOC NOT MORE THAN 730 g/L
 12. SHELLACS, PIGMENTED: VOC NOT MORE THAN 550 g/L
 13. STAINS: VOC NOT MORE THAN 250 g/L
3. GYPSUM BOARD TO COMPLY WITH ASTM C 1396/C 1396M, MOISTURE AND MOLD RESISTANCE GYPSUM BOARD TO HAVE A MOLD RESISTANCE SCORE OF 10 COMPLYING WITH ASTM D 3273. GYPSUM BOARD APPLICATION AND FINISHING TO COMPLY WITH STANDARDS SET FORTH BY ASTM C 840 AND GA 216.
4. PAINT TYPE, FINISH, AND COLOR AS SELECTED BY ARCHITECT.
5. APPLY PAINT IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS. APPLY ADDITIONAL COATS AS NECESSARY TO PRODUCE A UNIFORM FINISH, COLOR, AND APPEARANCE.

SPECIALTIES

1. PROVIDE ALUMINUM WINDOW BLINDS (TYPICAL)

STRUCTURAL SPECIFICATIONS

FOUNDATIONS

1. EXPOSED SUBGRADE SOILS MAY BE SENSITIVE TO DISTURBANCE AND A REDUCTION IN STRENGTH WHEN IN CONTACT WITH MOISTURE. CONTROL SURFACE AND GROUNDWATER BY APPROPRIATE MEANS AND AVOID CONSTRUCTION TRAFFIC OVER EXPOSED SUBGRADES.
2. FOUNDATIONS SHALL BE PLACED CLEANED, LEVEL, SOIL AT THE ELEVATIONS NOTED ON PLAN. IN NO CASE SHALL EXTERIOR CONSTRUCTION BEAR AT AN ELEVATION OF LESS THAN FOUR FEET BELOW EXTERIOR FINISHED GRADE.
3. ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND. COMPACT FOOTING SUBGRADES TO A MINIMUM OF 95% OPTIMUM DENSITY AS MEASURED BY ASTM D1157. CONCRETE FOR FOOTINGS SHALL BE PLACED THE SAME DAY AS THE EXCAVATION OR PROTECT SUBGRADE BY IMMEDIATELY PLACING A THREE INCH THICK LEAN CONCRETE MUD MAT.
4. ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED BEFORE BACKFILLING. BACKFILL SHALL BE UNIFORMLY PLACED AND COMPACTED ON BOTH SIDES OF WALLS AT THE SAME TIME.
5. SHOULD OBSTRUCTIONS OR OTHERWISE UNDESIRABLE SOILS CONDITIONS BE ENCOUNTERED, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

SUBBASE

1. THE SUBBASE FOR THE SLAB ON GRADE SHALL CONSIST OF AN EIGHT INCH THICK #2 CRUSHED STONE OR CRUSHER RUN STONE COMPLYING WITH NYSDOT ITEM 304.03 THOROUGHLY COMPACTED TO 95% OPTIMUM DENSITY (MODIFIED PROCTOR ASTM D-1557). PRIOR TO PLACEMENT, SUBGRADE SHALL BE THOROUGHLY PROOF-ROLLED USING A MINIMUM 20-TON VIBRATORY ROLLER.
2. THE CONTRACTOR SHALL HAVE COMPACTION TESTS TAKEN TO ENSURE PROPER COMPACTION OF FILL.

CONCRETE

1. CONCRETE SHALL BE THE STANDARD DESIGN MIX OF ANY OF THE LOCAL READY-MIX SUPPLIERS APPROVED BY THE N.Y.S.D.O.T. AND MEETING THE FOLLOWING MINIMUM REQUIREMENTS (DESIGN MIXES TO BE SUPPLIED TO THE ARCHITECT FOR APPROVAL):
 - FOUNDATION WALL AND FOOTINGS
4,000 PSI, 3' SLUMP, 6% ENTRAINED, 0.45 MAX W/C RATIO
 - INTERIOR SLABS
4,000 PSI, 3' SLUMP, ENTRAPPED AIR, 0.45 MAX W/C RATIO
2. THE CONTRACTOR SHALL TAKE FOUR (4) STANDARD CYLINDERS FOR EACH 50 CU.YD. OF CONCRETE POURED IN ANY ONE DAY AND THE TESTING LABORATORY SHALL PERFORM THE STANDARD 7-DAY (TWO CYLINDER) AND 28-DAY (TWO CYLINDER) TESTS.
3. PROTECTION FOR REINFORCING IN CONCRETE:
 - FOOTINGS = 3" COVER BOTTOM AND SIDES
 - WALLS AND GRADE BEAMS = 2" SIDES AND 3" BOTTOM PIERS = 2" SIDES
 - FLOOR SLABS = 1" TOP AND BOTTOM
4. ALL CONCRETE REINFORCEMENT SHALL BE DETAILED AND PLACED IN FULL ACCORDANCE WITH THE ACI CODE OF STANDARD PRACTICE.
5. MINIMUM REINFORCEMENT LAPS = 36 DIA. FOR BARS AND 6" BEYOND FIRST INTACT CROSS WIRES FOR WELDED WIRE MESH.
6. WELDED WIRE MESH TO BE PLACED IN UPPER 1/3RD OF SLAB TYPICALLY.
7. BARS MARKED CONTINUOUS SHALL BE RUN CONTINUOUS THROUGH THE WALLS, AROUND CORNERS, LAPPED AT NECESSARY SPLICES AND HOOKED AT ENDS. REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
8. PROVIDE (2)#6'S CONTINUOUS TOP AND BOTTOM OF ALL CONCRETE WALLS AND GRADE BEAMS, UNLESS OTHERWISE SPECIFICALLY NOTED.
9. PROVIDE (2)#5'S x 30" LONG PLACED DIAGONALLY ACROSS EACH REENTRANT CORNER OF SLABS AND WALLS.
10. SUPPORT REINFORCING BARS IN ACCORDANCE WITH THE ACI CODE OF STANDARD PRACTICE. USE GALVANIZED OR STAINLESS STEEL EXCEPT WHERE BAR SUPPORTS ARE IN CONTACT WITH EXPOSED SURFACES, IN WHICH CASE THEY SHALL BE GALVANIZED AND PLASTIC TIPPED.

PREFABRICATED ROOF TRUSS UNITS

1. SUBMIT PRODUCT DATA FOR LUMBER, METAL CONNECTOR PLATES, HARDWARE, FABRICATION PROCESS, FASTENERS AND METAL FRAMING ANCHORS, SHOP DRAWINGS INDICATING SPECIES, SPECIES GROUP, SIZES AND STRESS GRADES OF LUMBER TO BE USED; PITCH, SPAN, CAMBER, CONFIGURATION AND SPACING FOR EACH TYPE OF TRUSS REQUIRED; TYPE, SIZE, MATERIAL, FINISH, DESIGN VALUES, AND LOCATION OF METAL CONNECTOR PLATES; AND BEARING AND ANCHORAGE DETAILS.
2. THE DESIGN OF THESE PREFABRICATED BUILDING COMPONENTS, FOR THE FLOOR AND ROOF LOADS PROVIDED, SHALL BE THE RESPONSIBILITY OF THE FABRICATOR. INCLUDE DESIGN ANALYSIS INDICATING LOADING, ALLOWABLE STRESSES OF MATERIALS USED, STRESS DIAGRAMS AND CALCULATIONS, AND OTHER INFORMATION NEEDED FOR REVIEW THAT HAVE BEEN SIGNED AND SEALED BY A QUALIFIED ENGINEER. LICENSED TO PRACTICE IN THE JURISDICTION WHERE THE PREFABRICATED WOOD UNITS WILL BE INSTALLED. RESPONSIBILITY FOR THEIR PREPARATION SHALL REST WITH THE FABRICATOR'S ENGINEER(S).
3. MINIMUM DESIGN LOADINGS:

	PREFABRICATED ROOF TRUSSES	
TOP CHORDS	LL = 35 PSF, 10 PSF DL	SEE PLANS FOR
BOTTOM CHORDS	DL = 5 PSF	ADDITIONAL
WIND LOAD	WL = 10 PSF UPLIFT	REQUIREMENTS

ROOF CONSTRUCTION WHERE TRUSSES ARE BUILT OVER TRUSSES AS INDICATED ON THE PLANS SHALL BE DESIGNED WITH THE ADDITIONAL DEAD LOAD OF THE TRUSSES AND THE TOP CHORD SHALL BE GIVEN CONSIDERATION TO POINT LOADS WHICH WILL OCCUR FROM THESE TRUSSES BEARING DIRECTLY ON THEM.

4. PREFABRICATED TRUSSES INCLUDE PLANAR STRUCTURAL UNITS CONSISTING OF HIGH QUALITY CHORD AND WEB COMPONENTS METAL PLATE CONNECTED MEMBERS WHICH HAVE BEEN CUT AND ASSEMBLED PRIOR TO DELIVERY TO THE JOB SITE.
5. COMPLY WITH APPLICABLE REQUIREMENTS OF "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", PUBLISHED BY NATIONAL FOREST ASSOCIATION (N.F.P.A.), COMPLY WITH PS 20 AND WITH APPLICABLE RULES OF THE RESPECTIVE GRADING INSPECTION AGENCIES FOR SPECIES GRADE OF LUMBER INDICATED. SUBMIT FABRICATOR'S TECHNICAL DATA COVERING LUMBER, HARDWARE, FABRICATION PROCESS, TREATMENT (IF ANY), HANDLING AND ERECTION. SUBMIT CERTIFICATE, SIGNED BY AN OFFICER OF FABRICATING FIRM, INDICATING THAT UNITS TO BE SUPPLIED FOR PROJECT COMPLY WITH INDICATED REQUIREMENTS.
6. ERECT AND BRACE UNITS TO COMPLY WITH APPLICABLE REQUIREMENTS OF REFERENCED TPI STANDARDS. WHERE UNITS DO NOT FIT, RETURN THEM TO THE FABRICATOR AND REPLACE WITH UNITS OF CORRECT SIZE; DO NOT ALTER UNITS IN FIELD. ERECT UNITS WITH PLANE OR TRUSS WEBS VERTICAL (PLUMB) AND PARALLEL TO EACH OTHER. LOCATED ACCURATELY AT DESIGN SPACINGS INDICATED. HOIST UNITS IN PLACE BY MEANS OF LIFTING EQUIPMENT SUITED TO TYPES OF TRUSSES REQUIRED. EXERCISE CARE NOT TO DAMAGE UNITS OR JOINTS BY OUT-OF-PLANE BENDING OR OTHER CAUSES. ANCHOR UNITS SECURELY AT ALL BEARING POINTS TO COMPLY WITH METHODS AND DETAILS INDICATED. INSTALL PERMANENT BRACING AND RELATED COMPONENTS TO ENABLE UNITS TO MAINTAIN DESIGN SPACING, WITH STAND LIVE AND DEAD LOADS INCLUDING LATERAL LOADS, AND COMPLY WITH OTHER INDICATED REQUIREMENTS. DO NOT CUT OR REMOVE TRUSS OR JOIST MEMBERS.
7. MEMBERS MUST BE HELD STRAIGHT AND PLUMB AT THEIR DESIGN SPACING WHILE ALL BRACING IS APPLIED. LATERAL BRACING SHOULD BE INSTALLED AS SPECIFIED BY MANUFACTURER AT SUPPORT LOCATIONS. ANCHOR TRUSSES SECURELY AT ALL BEARING POINTS TO COMPLY WITH METHODS AND DETAILS INDICATED.
8. DO NOT CUT OR REMOVE AND PORTION OF MEMBERS CHORDS OR WEBS, NAILING GUIDELINES: FOLLOW APA RECOMMENDATIONS FOR NAILING SHEATHING TO TOP CHORDS OF TRUSSES. 8D BOX, 6D COMMON OR 6D DEFORMED SHANK NAILS MAY BE USED TO NAIL PLYWOOD TO TOP CHORD. STAGGER NAILS TO PREVENT SPLITTING OF THE CHORD. SPACE NAILS 1-1/2" FROM END AND 4" TO 8" APART.
9. NAIL UNITS TO BEARING WITH ONE 8D BOX NAIL THROUGH THE BOTTOM CHORD ON EACH SIDE OF THE WEB. PROVIDE MINIMUM OF 3" BEARING. CONCENTRATED LOADS IN EXCESS OF 30 POUNDS SHOULD NOT BE HUNG FROM BOTTOM CHORDS.

GENERAL STRUCTURAL CRITERIA

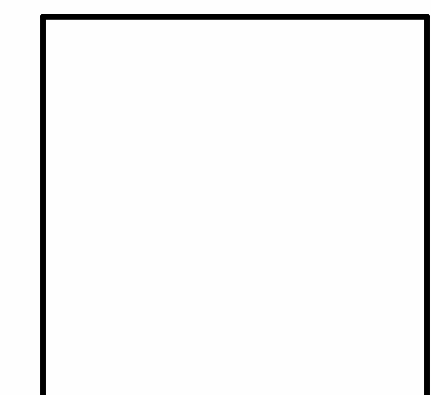
1. PRINCIPAL DESIGN CODES:
 - A. SEI/ASCE 7-05
 - B. 2020 BUILDING CODE OF NYS
2. DESIGN LOADS
 - FLOOR LIVE LOAD = 100 PSF LOBBY/CORRIDORS/PUBLIC
40 PSF ROOMS
 - ROOF SNOW LOAD = DRIFT IN ACCORDANCE WITH ASCE7
 - Pg = 50 PSF
 - Pf = 35 PSF
 - Cp = 1.0
 - Is = 1.0
 - Ct = 1.0
 - WIND LOAD
 - BASING WIND SPEED = 115 MPH
 - EXPOSURE "B"
 - Iw = 1.00

MECHANICAL SPECIFICATIONS SEE DWG MEP-101, MEP-102

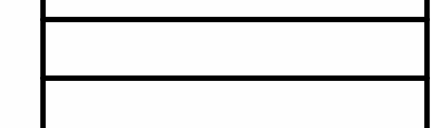
ELECTRICAL SPECIFICATIONS SEE DWG MEP-101, MEP-102



BENLIC



COPYRIGHT 2025
eco logic STUDIO
eco logic STUDIO
architecture & engineering, PLLC
WARNING: ALTERATIONS TO
THIS DOCUMENT, EXCEPT IN
ACCORDANCE WITH THE
NEW YORK STATE EDUCATION
LAW, SECTION 7209
SUBDIVISION 2, IS ILLEGAL.



CONSTRUCTION DOCUMENTS

**BENLIC
CHEEKTOWAGA
INFILL**
44 Long Avenue
Cheektowaga, NY 14225
NEW RESIDENCE

Project # 2414.1

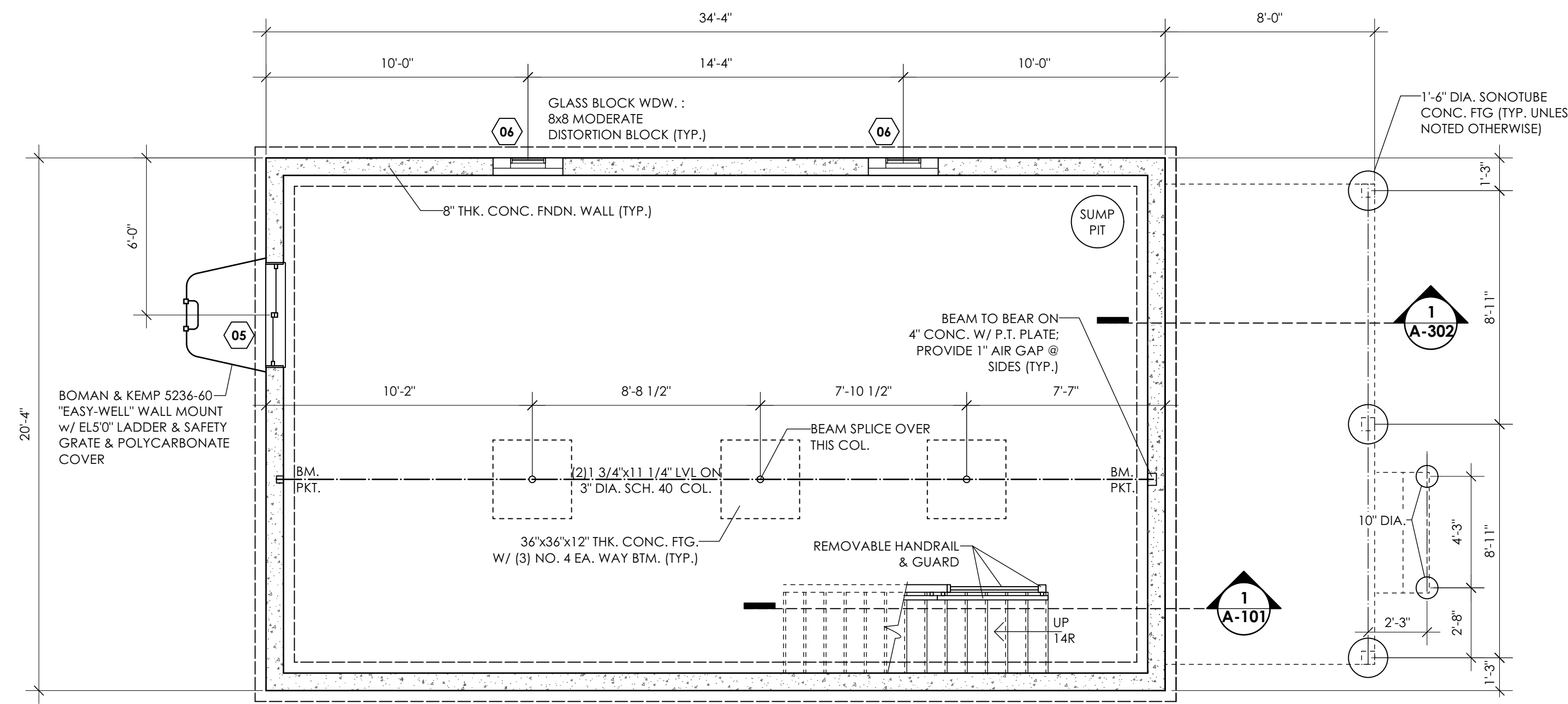
DRAWN BY: slh, cq

6-Feb-25

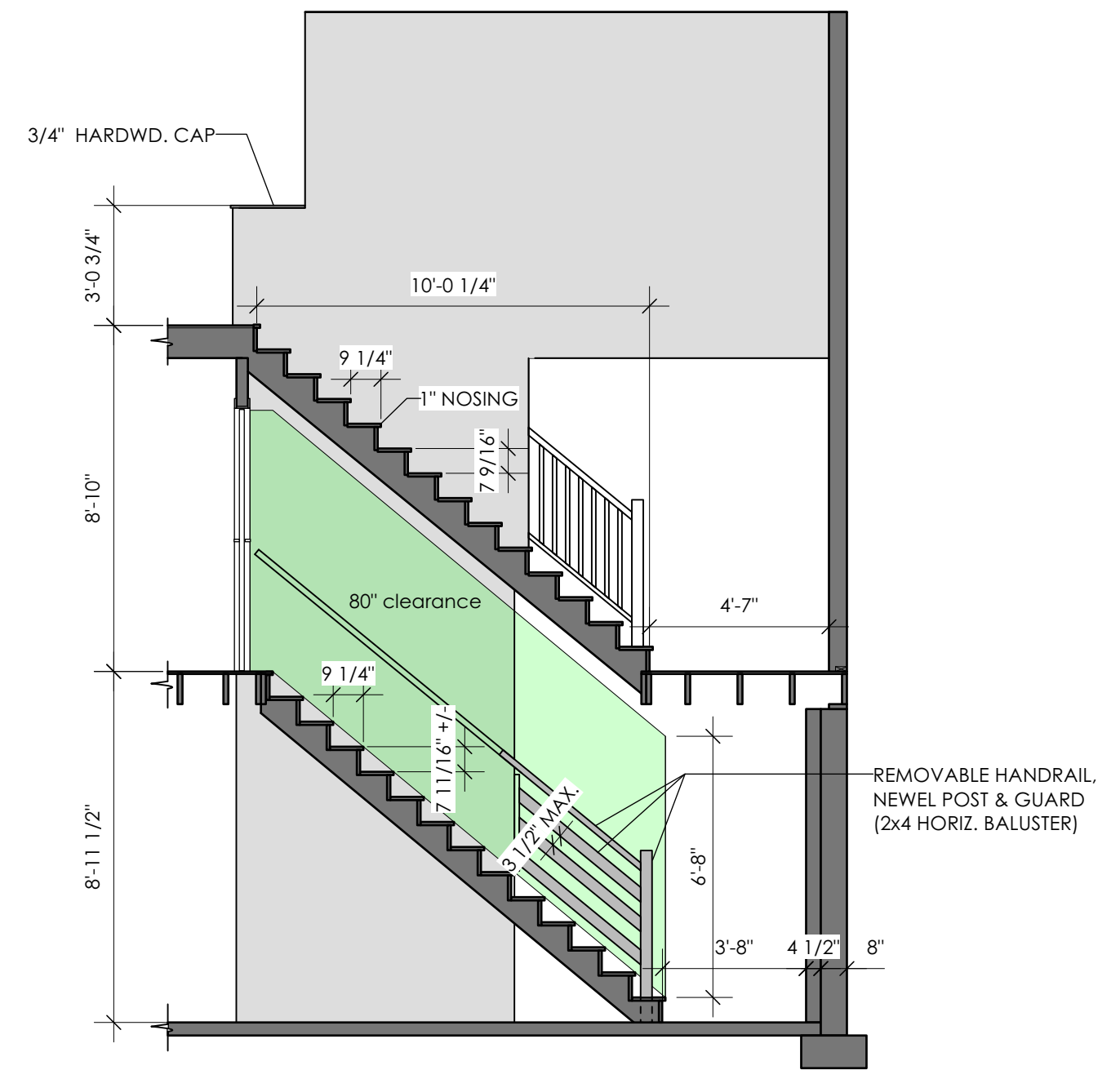
**GENERAL NOTES &
SPECIFICATIONS**

DWG. NO.

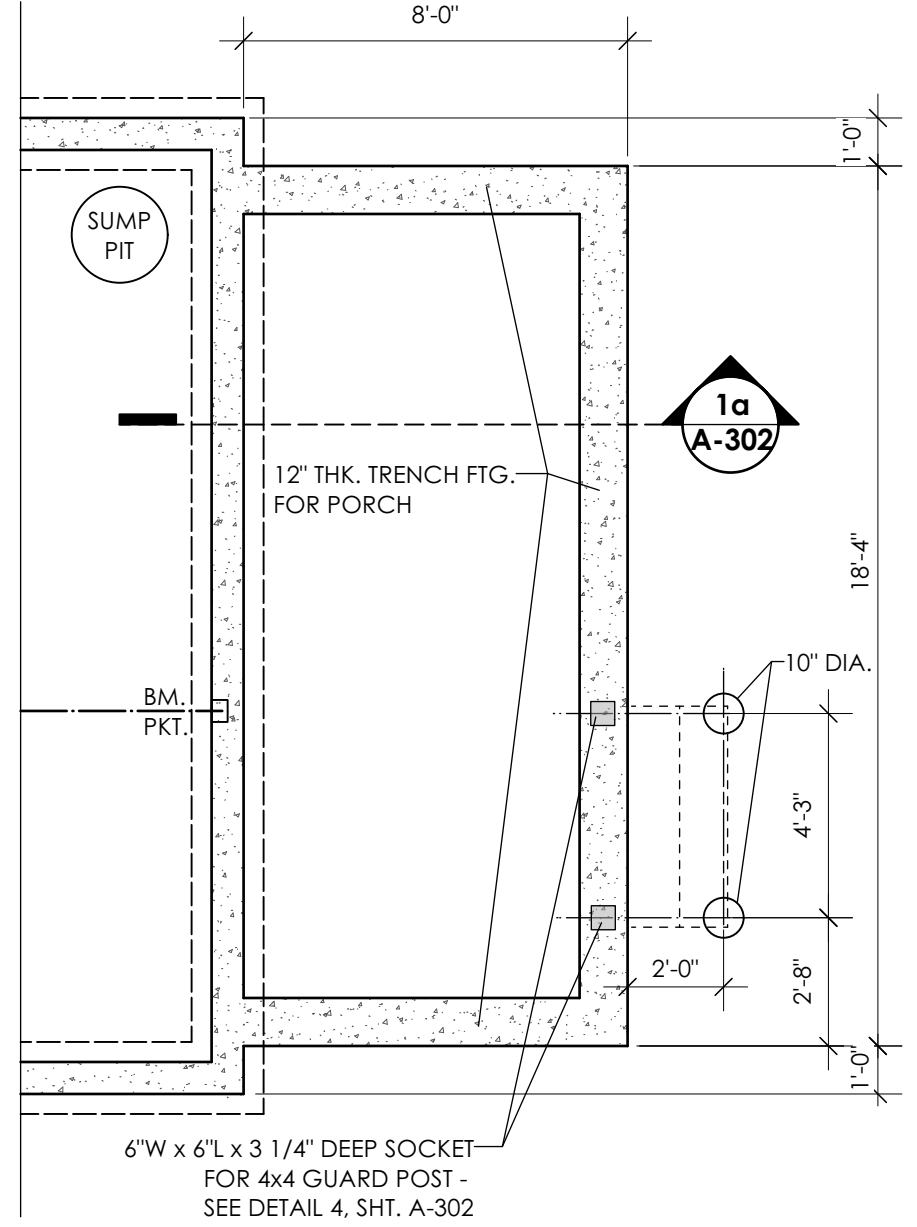
A-100



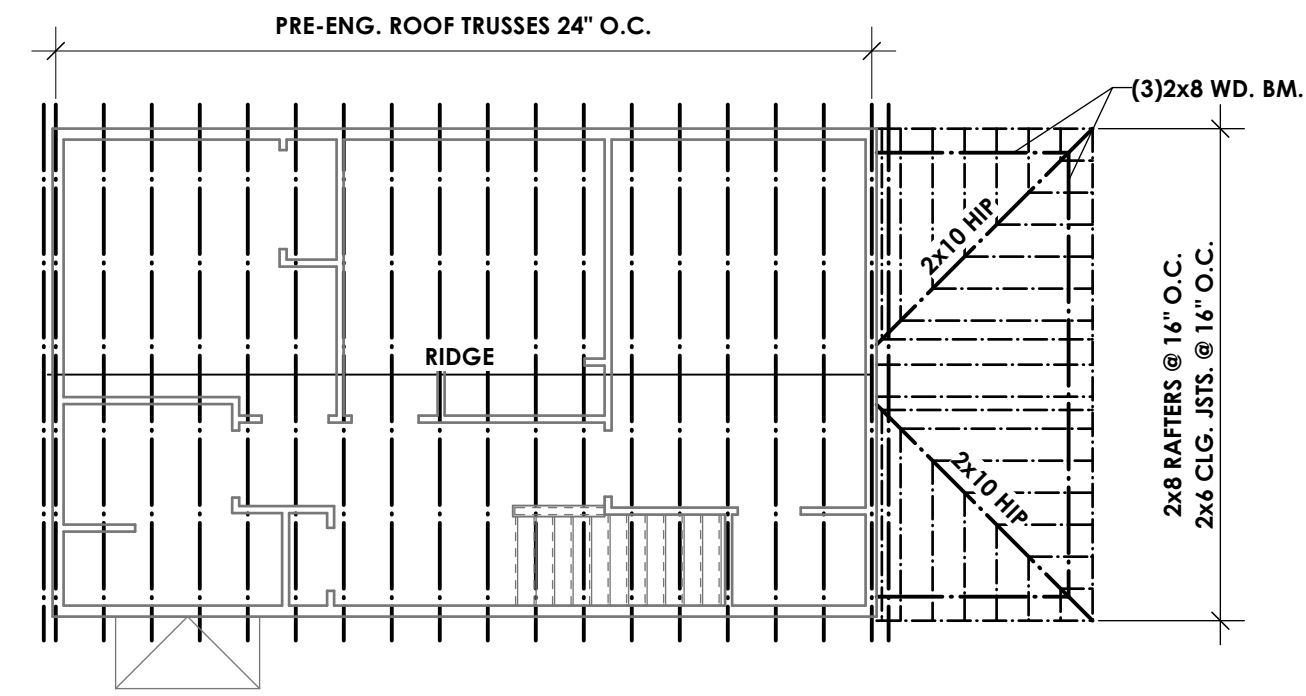
1 FOUNDATION PLAN
 1/4" = 1'-0"



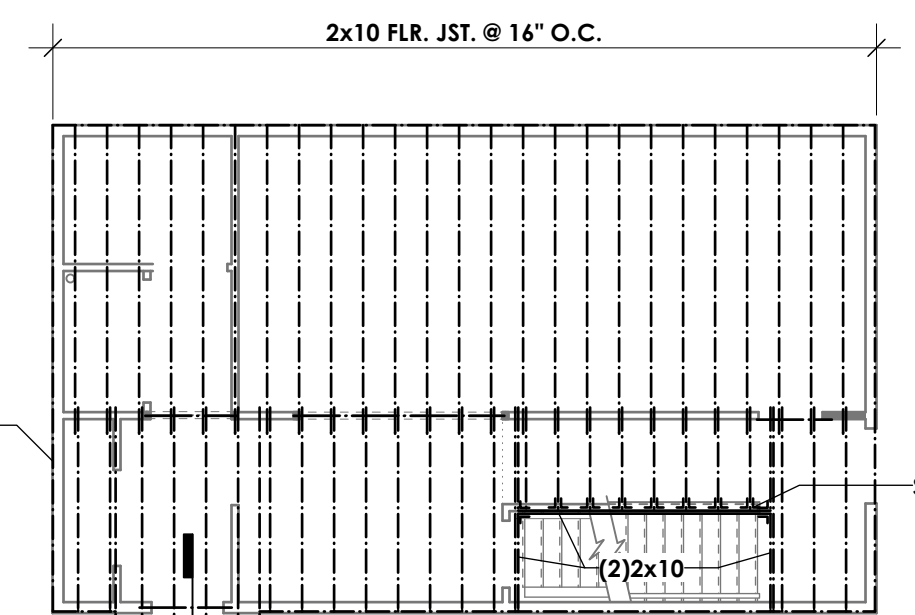
2 STAIR SECTION
 1/4" = 1'-0"



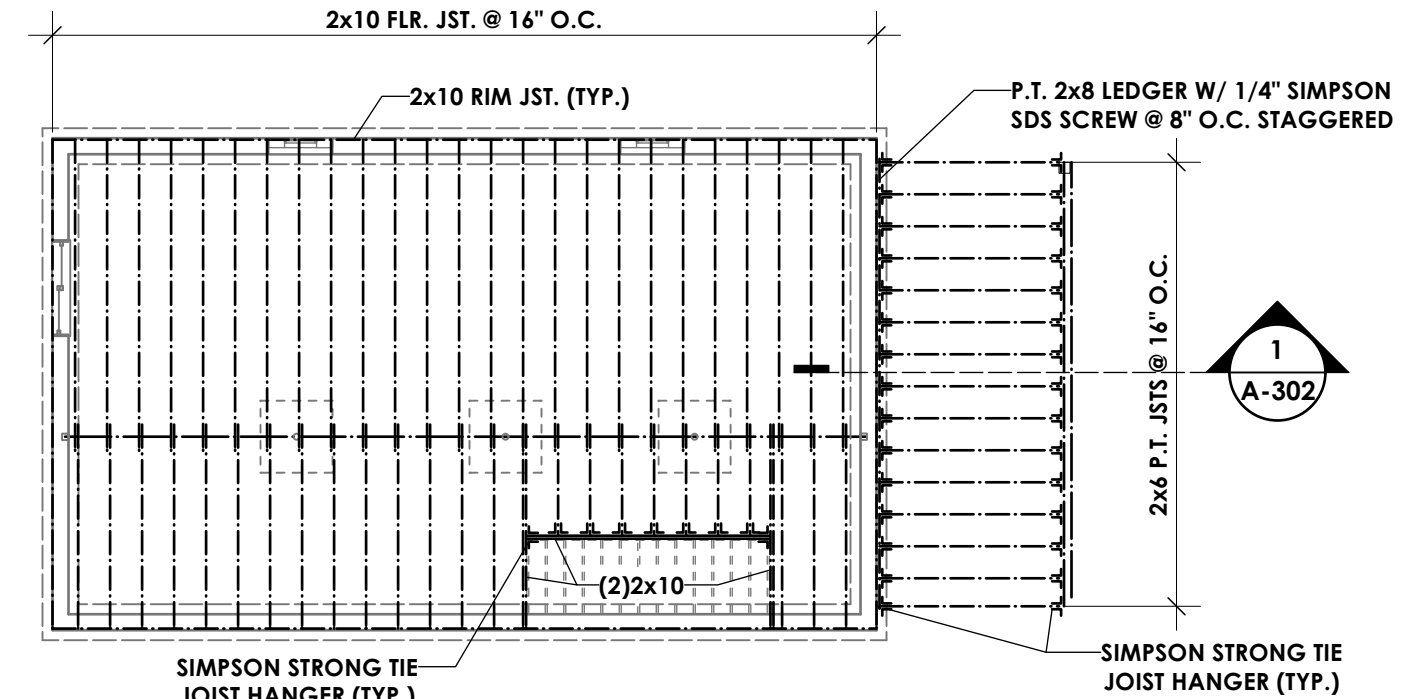
3 ALTERNATE (ADD) PORCH FOUNDATION PLAN
 1/4" = 1'-0"



ROOF FRAMING PLAN
 1/8" = 1'-0"



SECOND FLOOR FRAMING PLAN
 1/8" = 1'-0"



FIRST FLOOR FRAMING PLAN
 1/8" = 1'-0"

NOTE: SEE RIM JOIST DETAILS FOR VARYING FIN. GRADE CONDITIONS (SHT. A-303)

NOTE: BASE BID - FRAMED PORCH W/ CONC. PIER FNDNS. ALSO SEE ALTERNATE (ADD) FOR FULL DEPTH CONC. FNDN.



COPYRIGHT 2025
 eco logic STUDIO
 eco logic STUDIO
 architecture & engineering, PLLC
 WARNING: ALTERATIONS TO
 THIS DOCUMENT, EXCEPT IN
 ACCORDANCE WITH THE
 NEW YORK STATE EDUCATION
 LAW, SECTION 7209
 SUBDIVISION 2, IS ILLEGAL.

BENLIC CHEEKTOWAGA INFILL
 44 Long Avenue
 Cheektowaga, NY 14225
 NEW CONSTRUCTION

Project # 2414.1
 DRAWN BY: slh
 5-Feb-25

FOUNDATION PLAN

DWG. NO.
A-101



COPYRIGHT 2025
 eco logic STUDIO
 eco logic STUDIO,
 architecture & engineering, PLLC
 WARNING: ALTERATIONS TO
 THIS DOCUMENT, EXCEPT IN
 ACCORDANCE WITH THE
 NEW YORK STATE EDUCATION
 LAW, SECTION 7209
 SUBDIVISION 2, IS ILLEGAL.

**BENLIC
 CHEEKTOWAGA
 INFILL**
 44 Long Avenue
 Cheektowaga, NY 14225
NEW CONSTRUCTION

Project # 2414.1

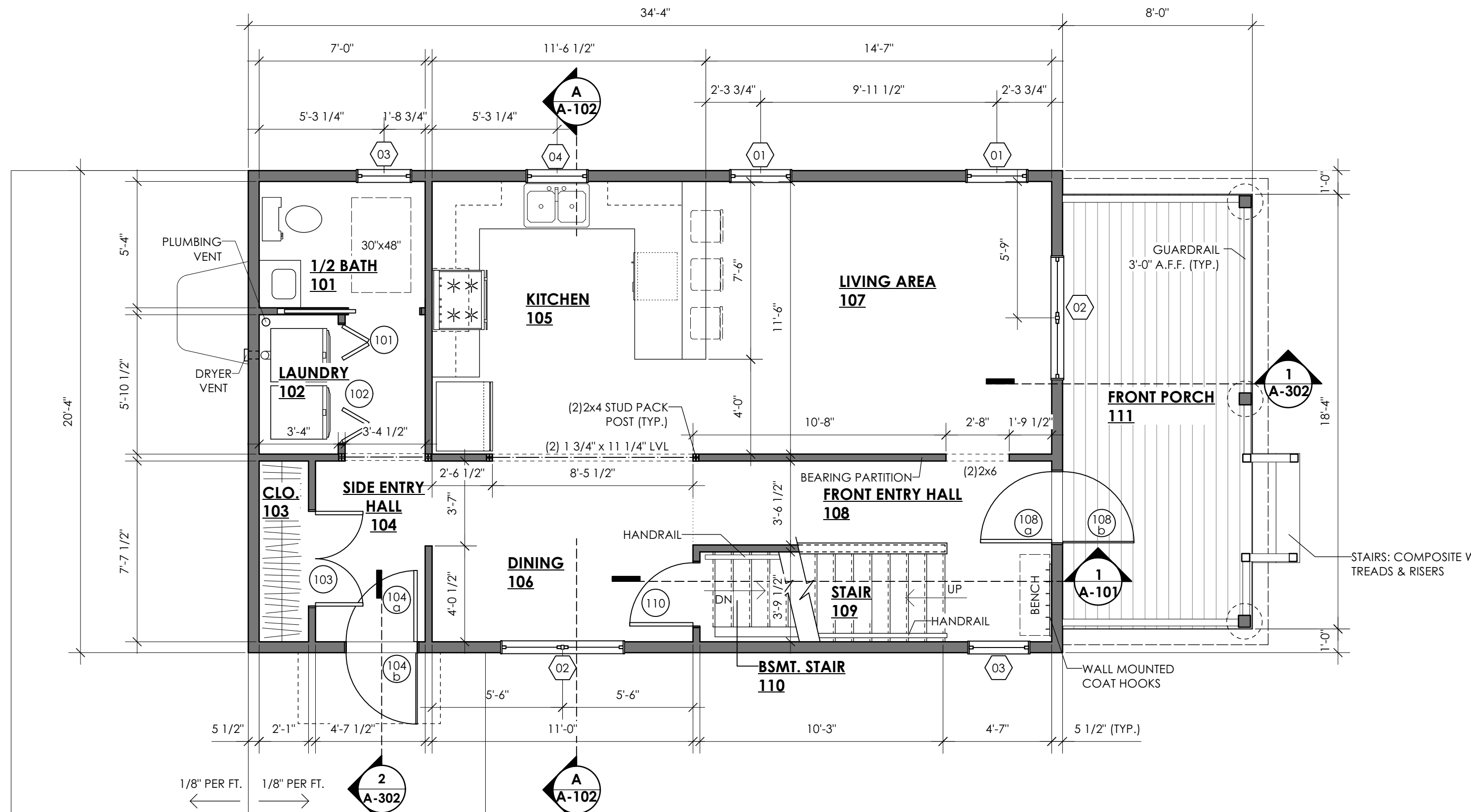
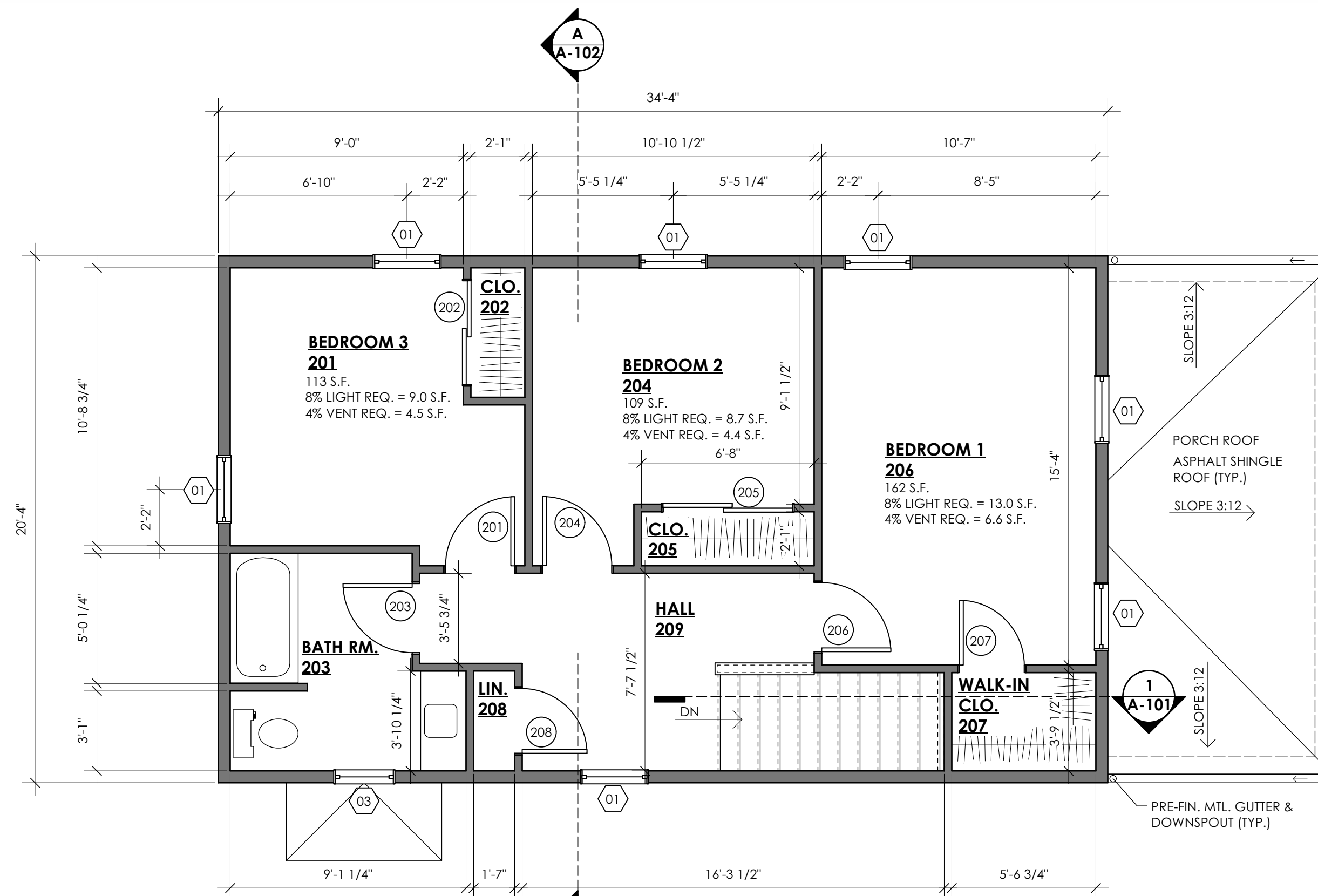
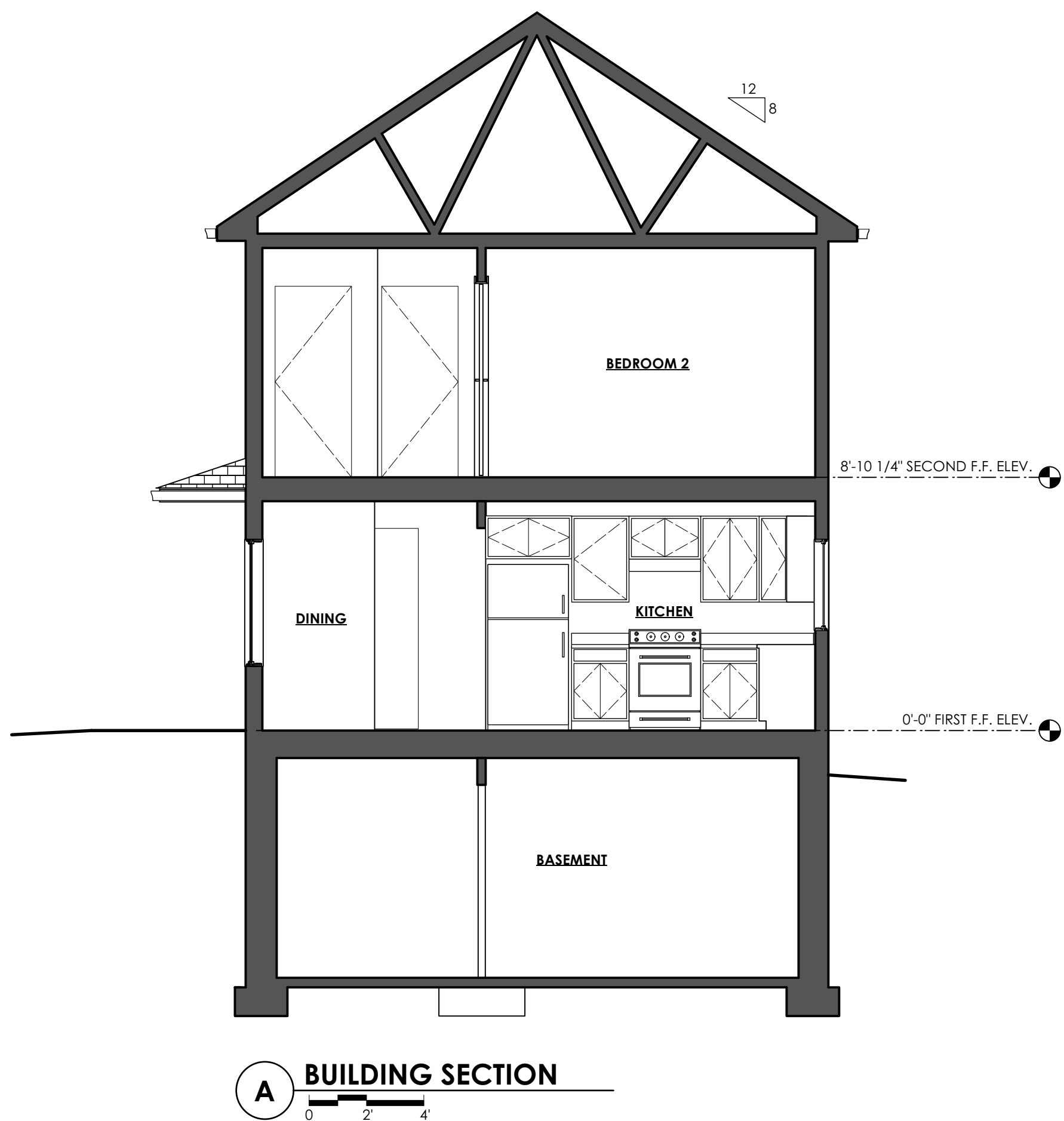
DRAWN BY: slh

5-Feb-25

FLOOR PLANS

DWG. NO.

A-102



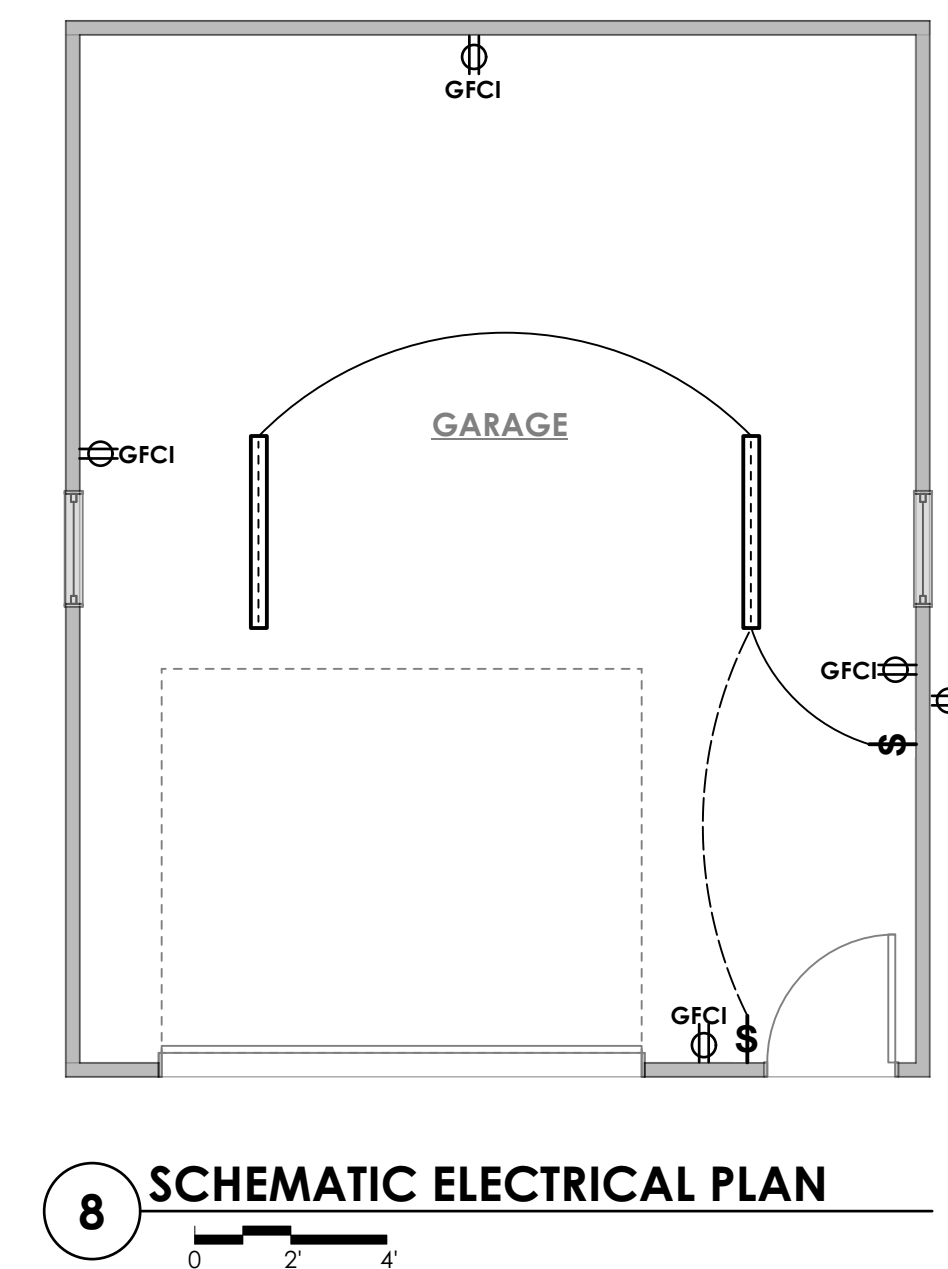
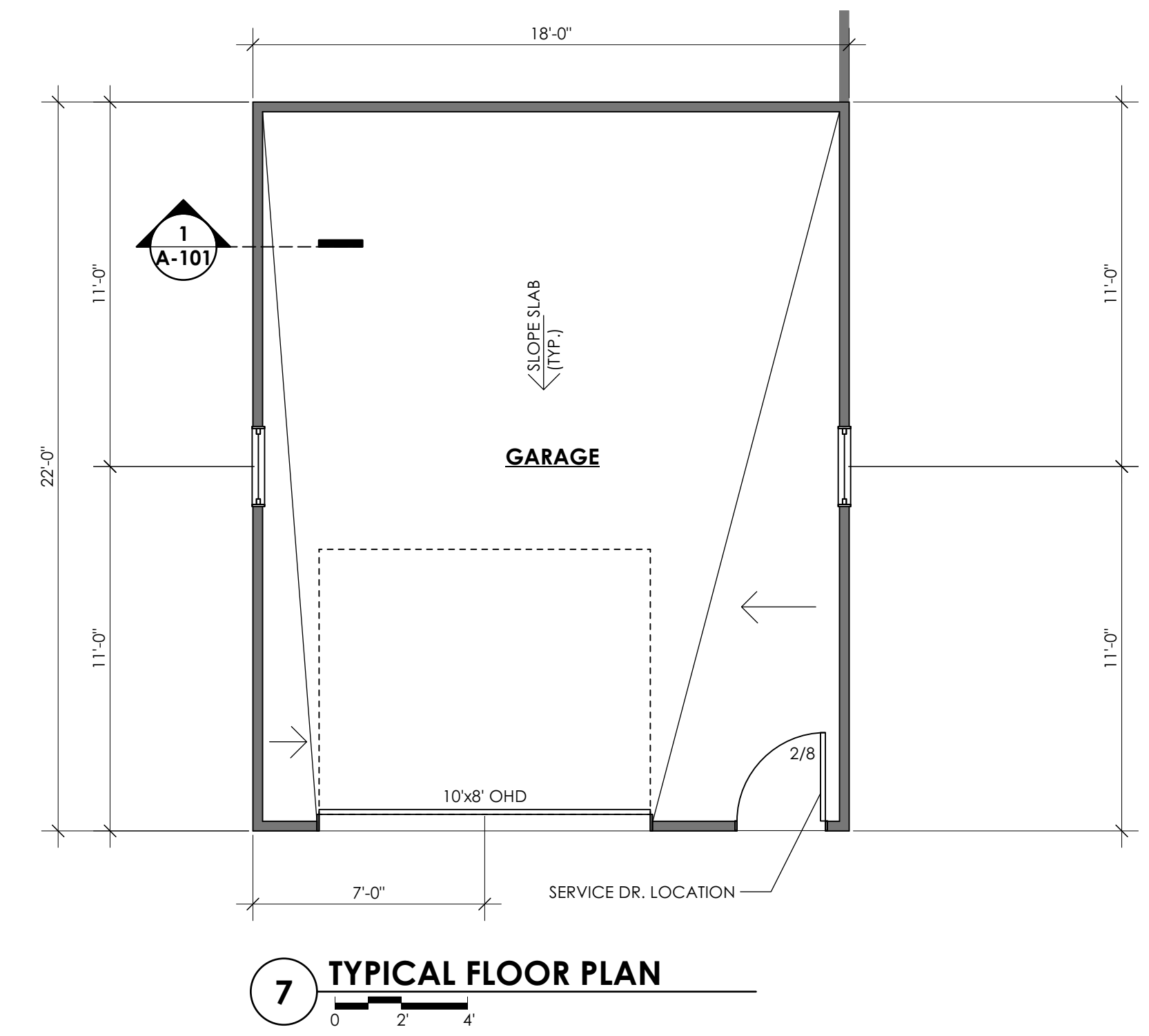
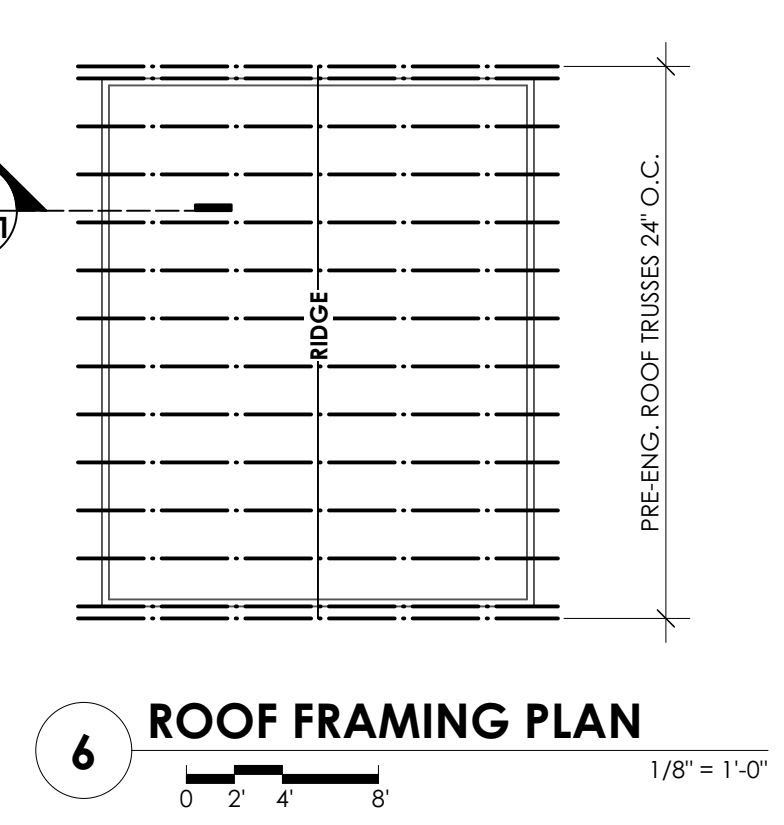
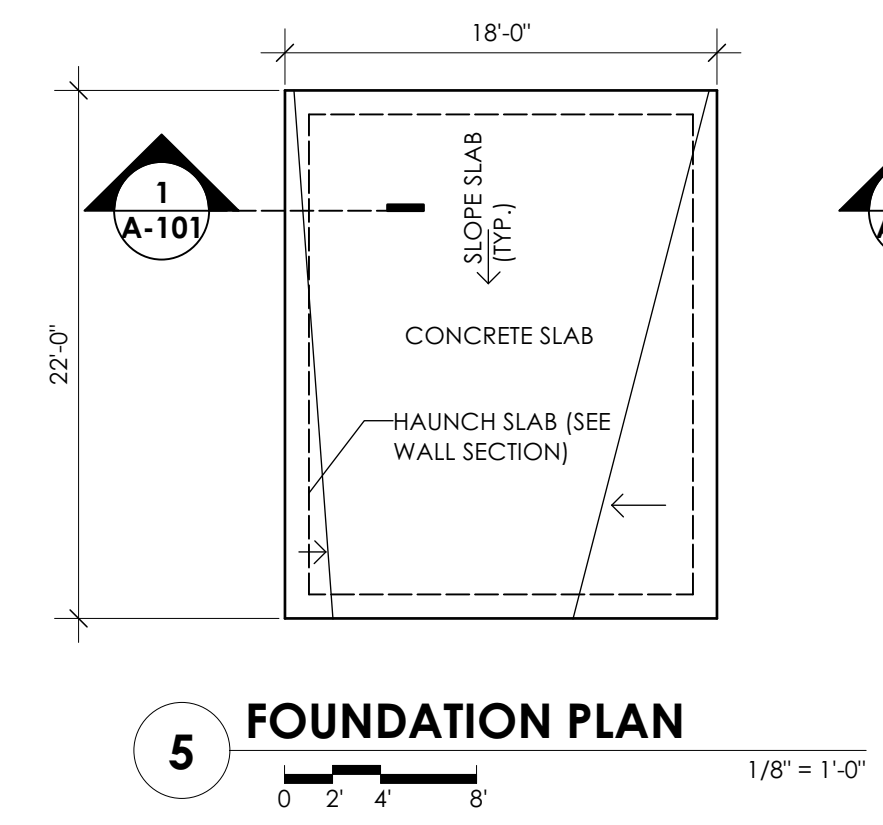
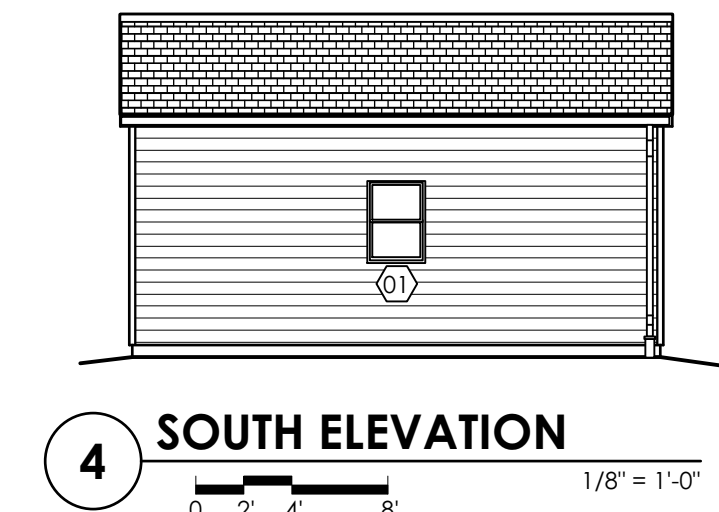
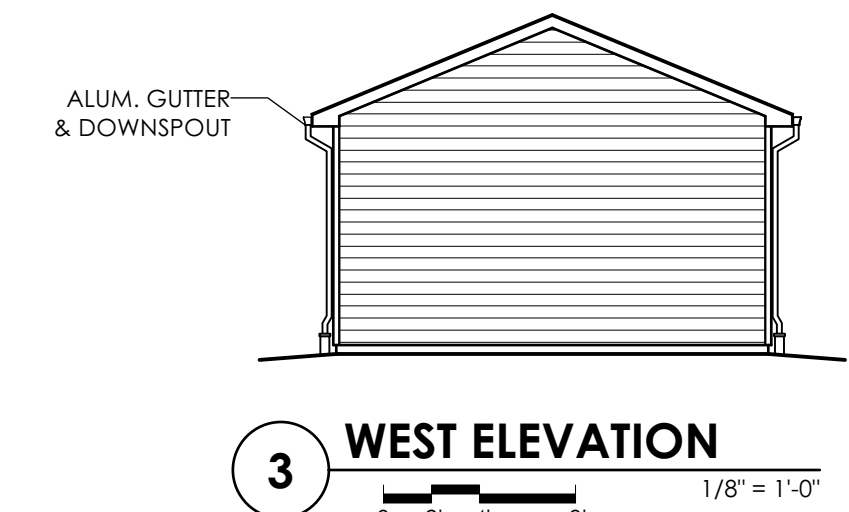
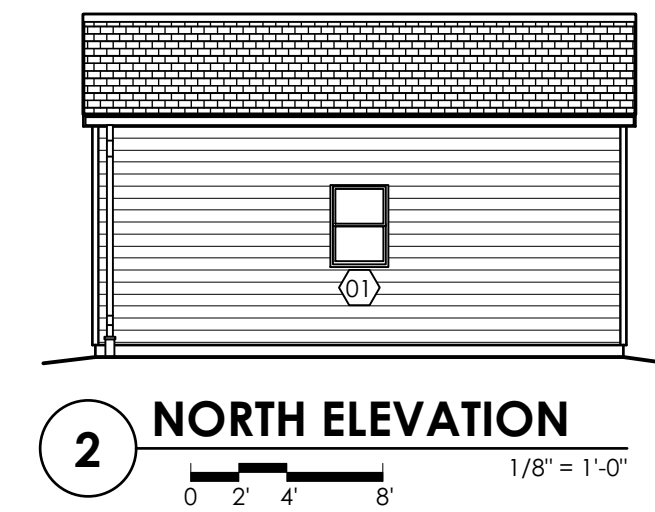
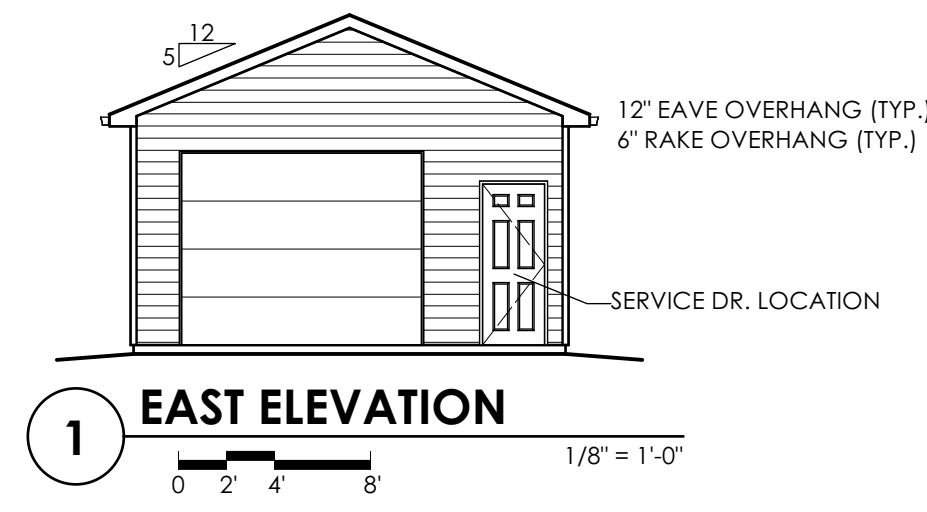
NOTE:

DIMENSIONS ARE TO ROUGH FRAMING

ALL EXTERIOR WALLS 2x6 @ 16" O.C.

ALL INTERIOR PARTITIONS 2x4 @ 16" O.C. UNLESS NOTED OTHERWISE

GARAGE - SEE SITE PLAN
 SHF. T-100



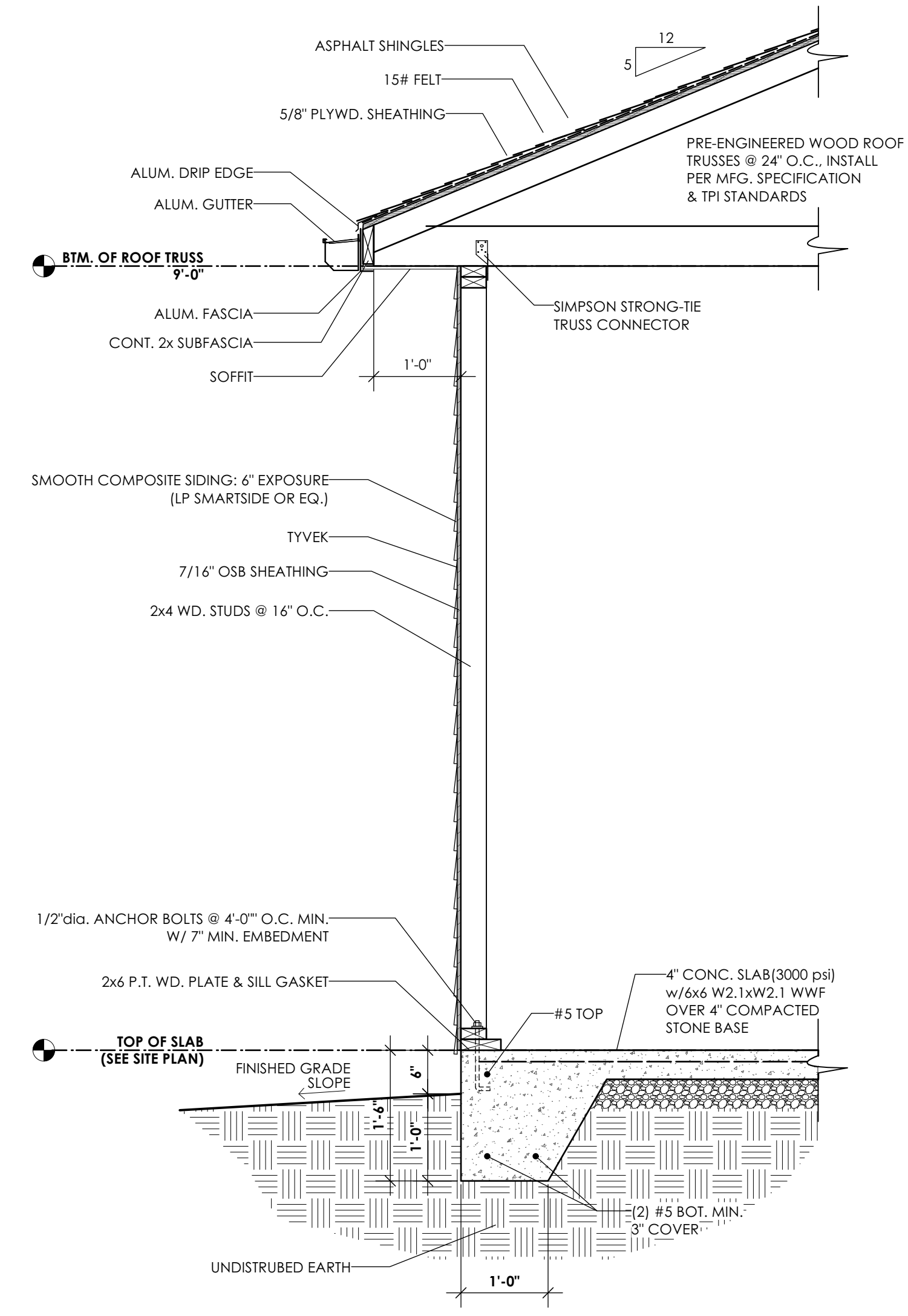
- ELECTRICAL LEGEND**
- DUPLEX RECEPTACLE
 - SINGLE POLE SWITCH
 - LED 4' LED STRIP LIGHT

8 SCHEMATIC ELECTRICAL PLAN
 0 2' 4'

ELECTRICAL SPECIFICATIONS

ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH LOCAL CODES, NEC, NFPA, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED ELECTRICIAN SHALL PERFORM ALL WORK. THE ELECTRICIAN SHALL APPLY FOR ALL NECESSARY ELECTRICAL PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMIT(S). THE ELECTRICIAN SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY ELECTRICAL INSPECTIONS.

1. ALL EXPOSED WIRING TO BE SHIELDED BY METAL CONDUIT AS APPROVED BY TOWN OF CHEEKTOWAGA.
2. FIXTURES AS SELECTED BY OWNER.
3. PROVIDE ADDITIONAL DOCUMENTATION OF ELECTRICAL SCOPE AND EQUIPMENT AS REQUIRED BY TOWN.
4. RECEPTACLES SHALL BE PROVIDED WITH GFCI AS REQUIRED BY NFPA 70 AS INDICATED.
5. PROVIDE LED LAMPS PER FIXTURE MANUFACTURER REQUIREMENTS.



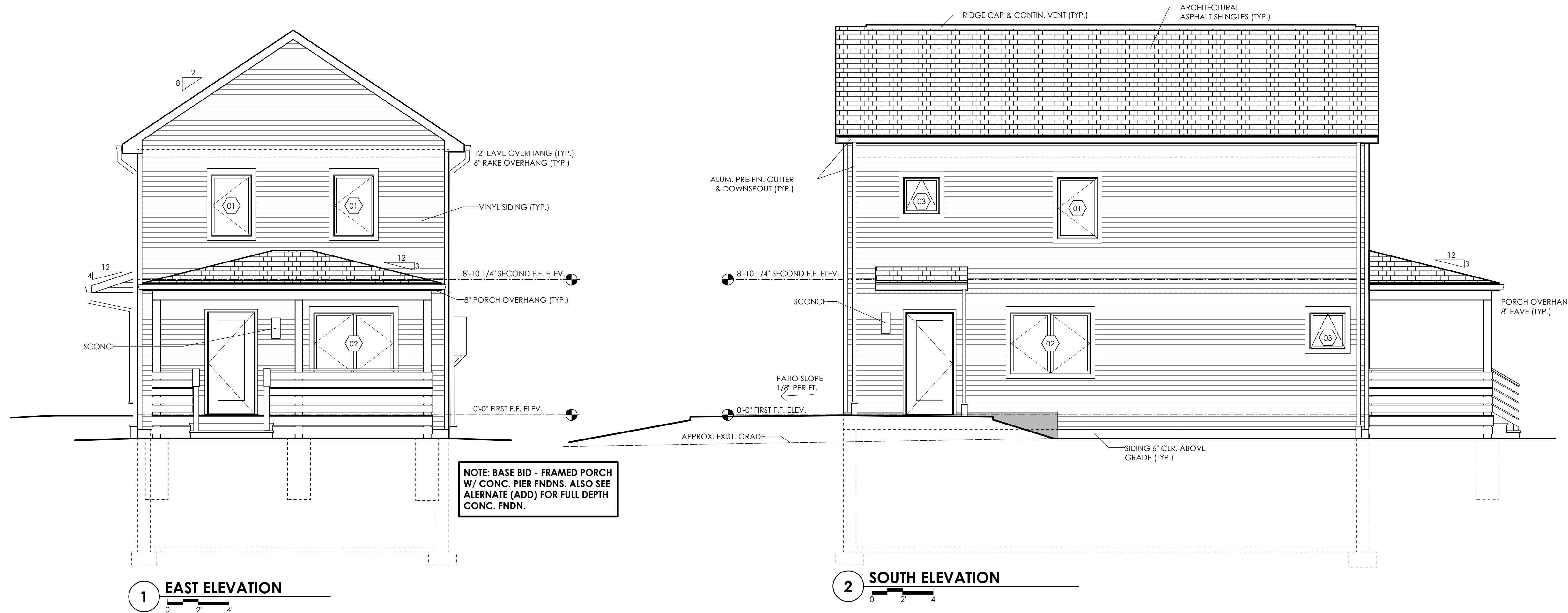
9 TYPICAL WALL SECTION
 0 1'

WINDOW SCHEDULE											
NO.	CALL NO.	WINDOW FRAME SIZE		U-FACTOR	SHGC	EGRESS OPNG. S.F.	DAYLIGHT S.F.	OPERABLE	VENT AREA S.F.	MATERIAL	REMARKS
		WIDTH	HEIGHT								
01	2941	2'-5"	3'-5"	0.29	0.27	N/A	5.8	YES	3.1	ALUM CLAD WD.	DOUBLE HUNG



COPYRIGHT 2024
 eco logic STUDIO
 eco logic STUDIO
 architecture & engineering, PLLC
 WARNING: ALTERATIONS TO
 THIS DOCUMENT, EXCEPT IN
 ACCORDANCE WITH THE
 NEW YORK STATE EDUCATION
 LAW, SECTION 7209
 SUBDIVISION 2, IS ILLEGAL.

**BENLIC
 CHEEKTOWAGA
 INFILL**
 44 Long Ave.
 Cheektowaga, NY 14225
NEW CONSTRUCTION
 Project # 2414.1
 DRAWN BY: slh
 5-Feb-25
**PLANS, SECTION,
 ELEVATIONS**
 DWG. NO.
A-103



BENLIC

COPYRIGHT 2025
 eco logic STUDIO
 eco logic STUDIO
 architecture & engineering, PLLC
 WARNING: ALTERATIONS TO
 THIS DOCUMENT, EXCEPT IN
 ACCORDANCE WITH THE
 NEW YORK STATE EDUCATION
 LAW, SECTION 7209
 SUBDIVISION 2, IS ILLEGAL.

CONSTRUCTION DOCUMENTS

**BENLIC
 CHEEKTOWAGA
 INFILL**
 44 Long Avenue
 Cheektowaga, NY 14225
NEW CONSTRUCTION

Project # 2414.1

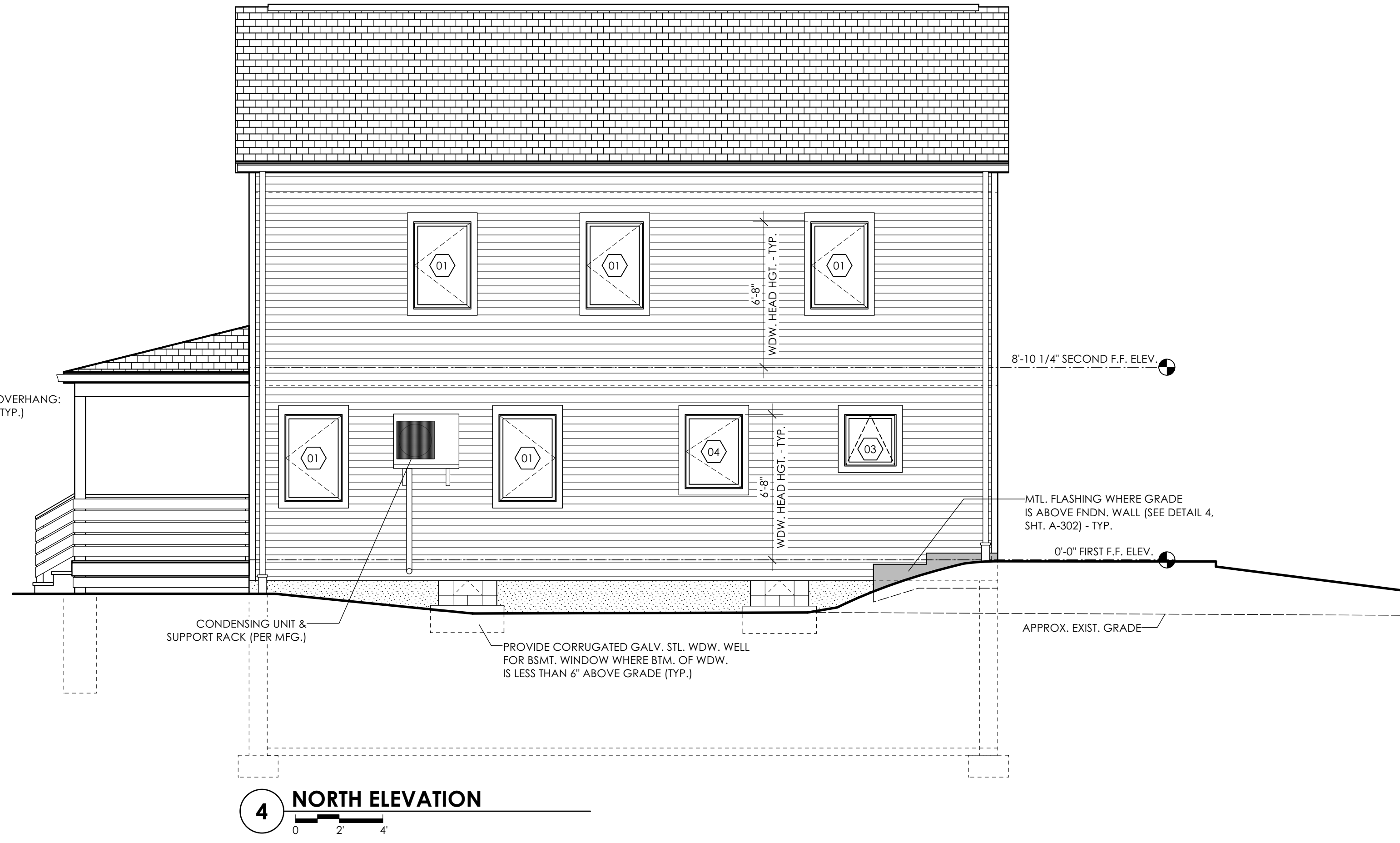
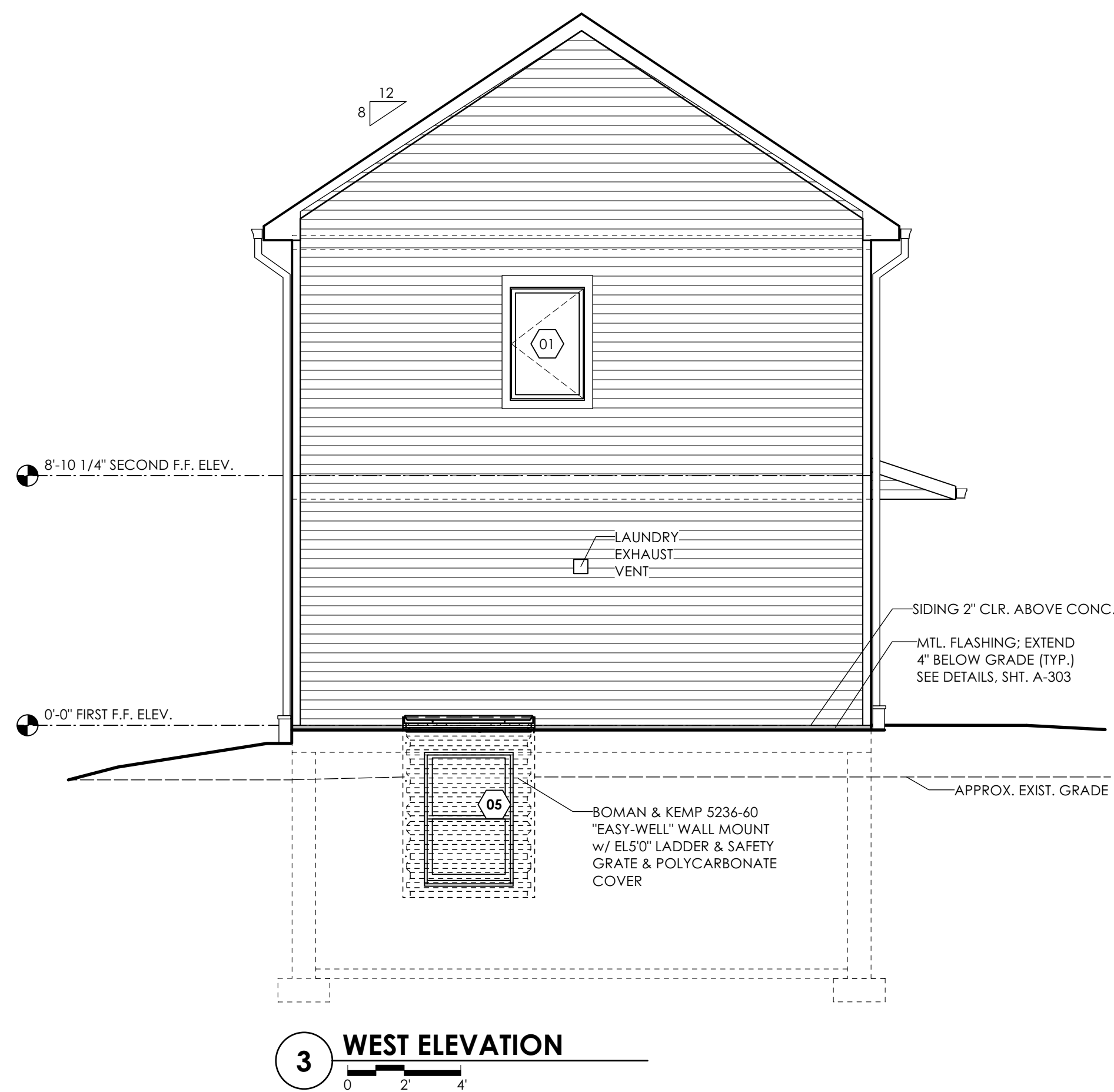
DRAWN BY: slh

5-Feb-25

ELEVATIONS

DWG. NO.

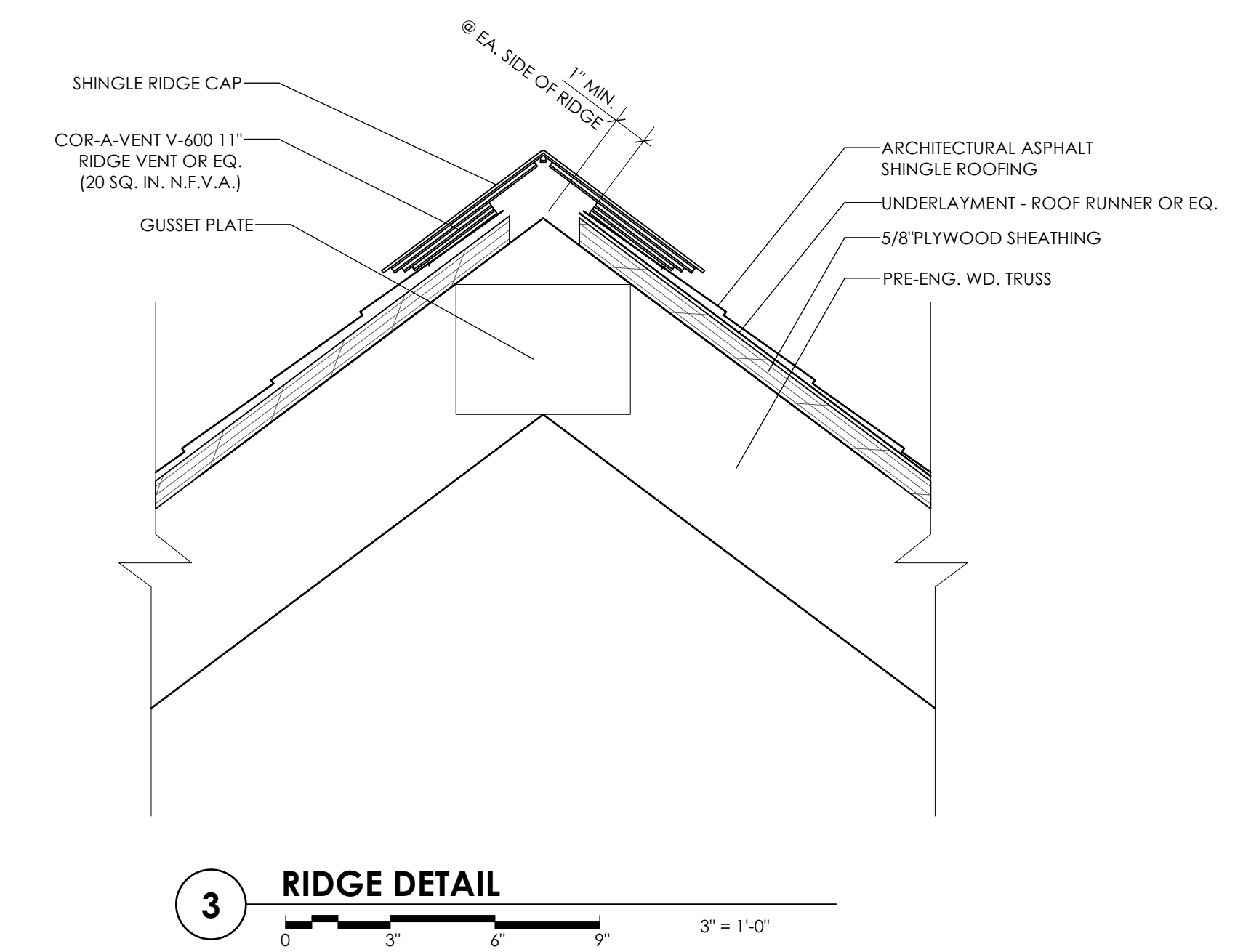
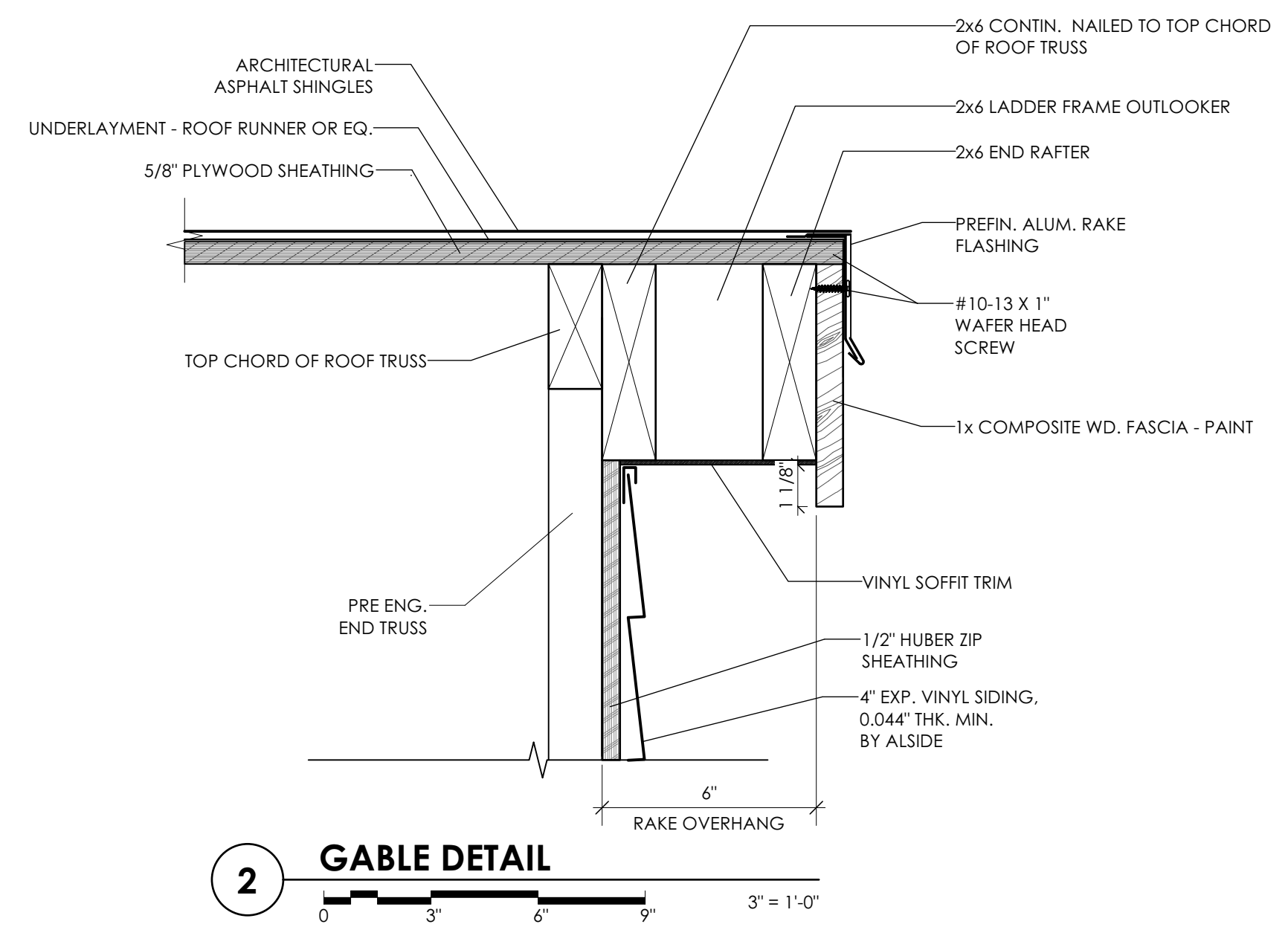
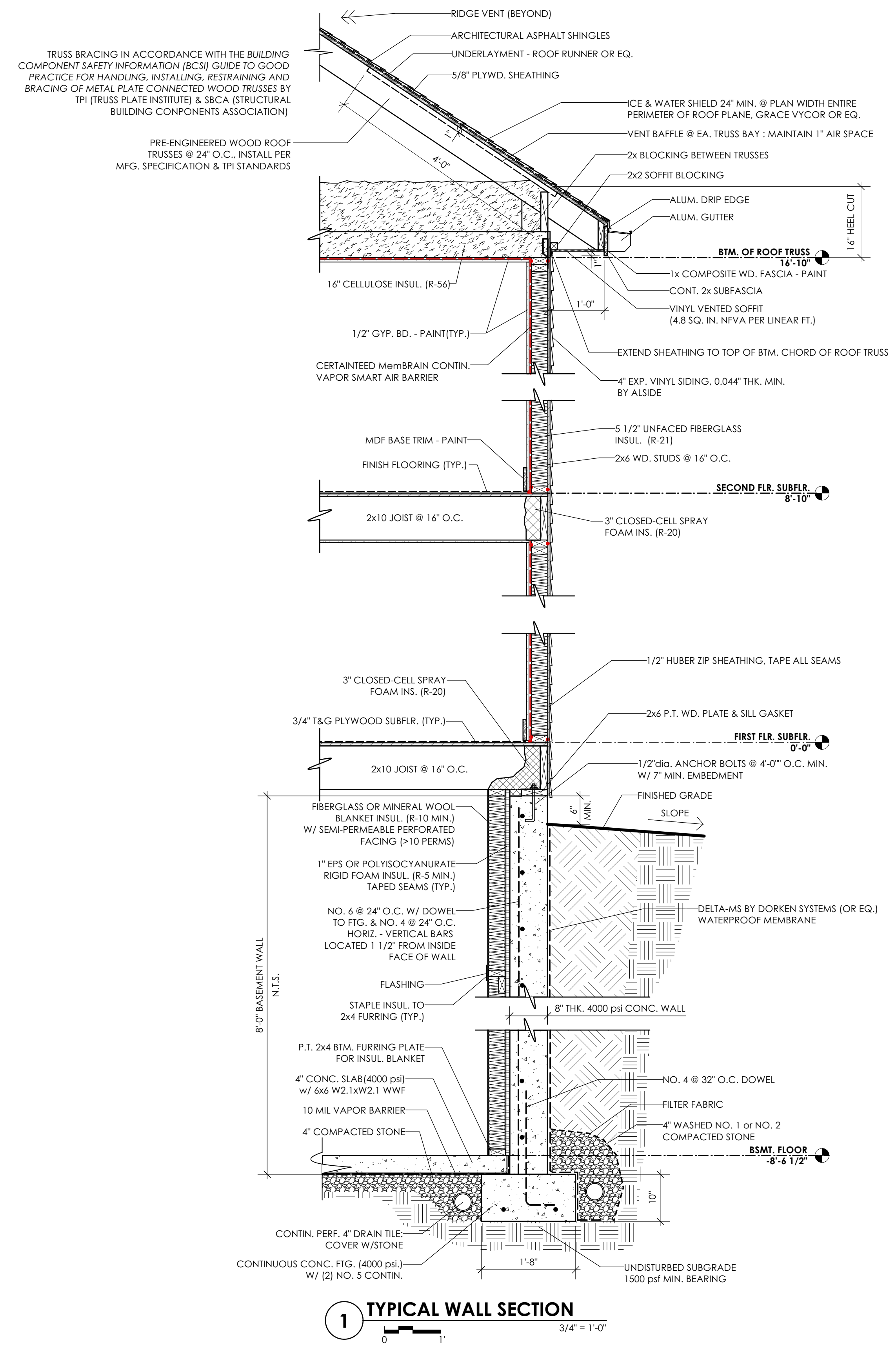
A-201

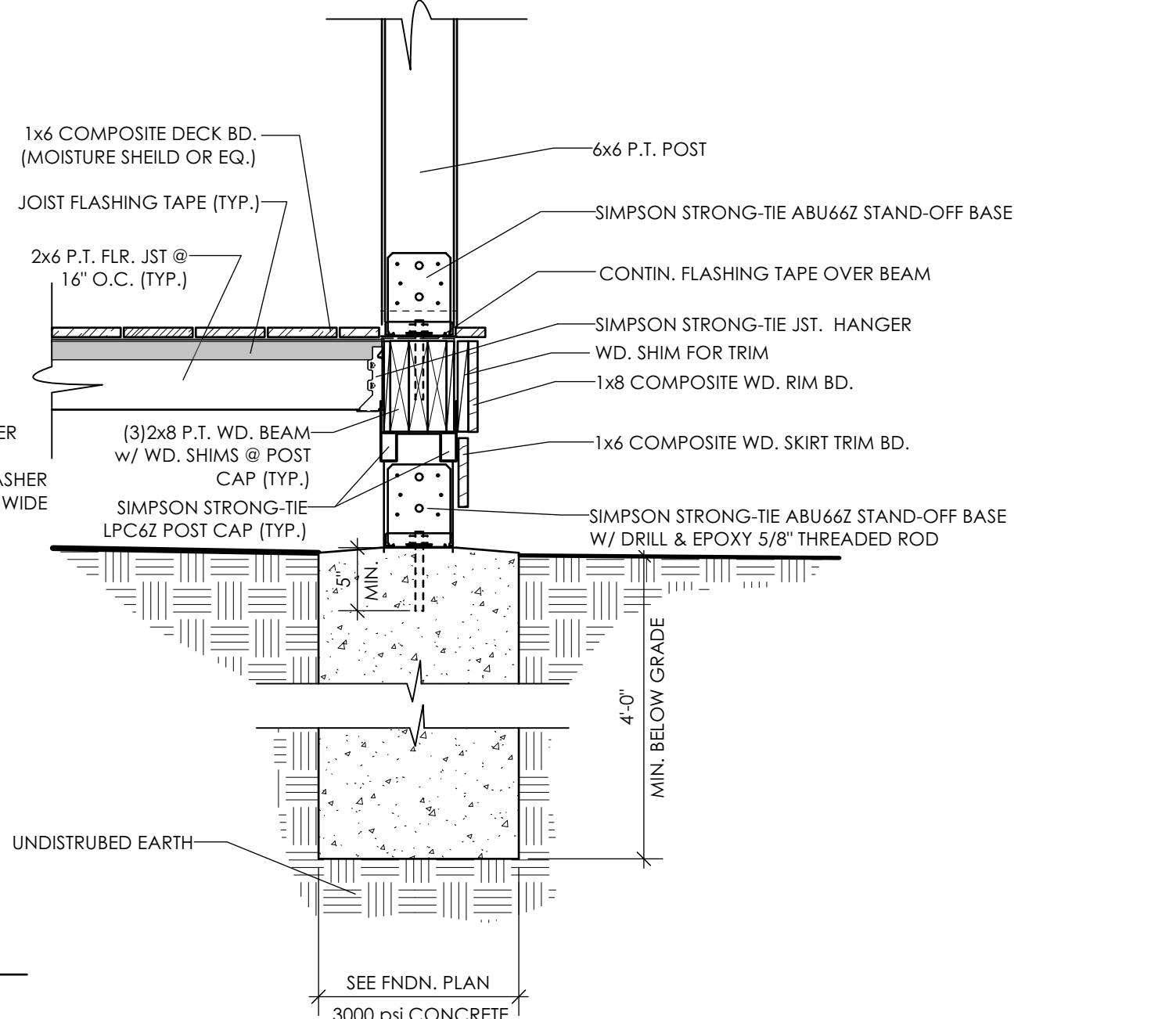
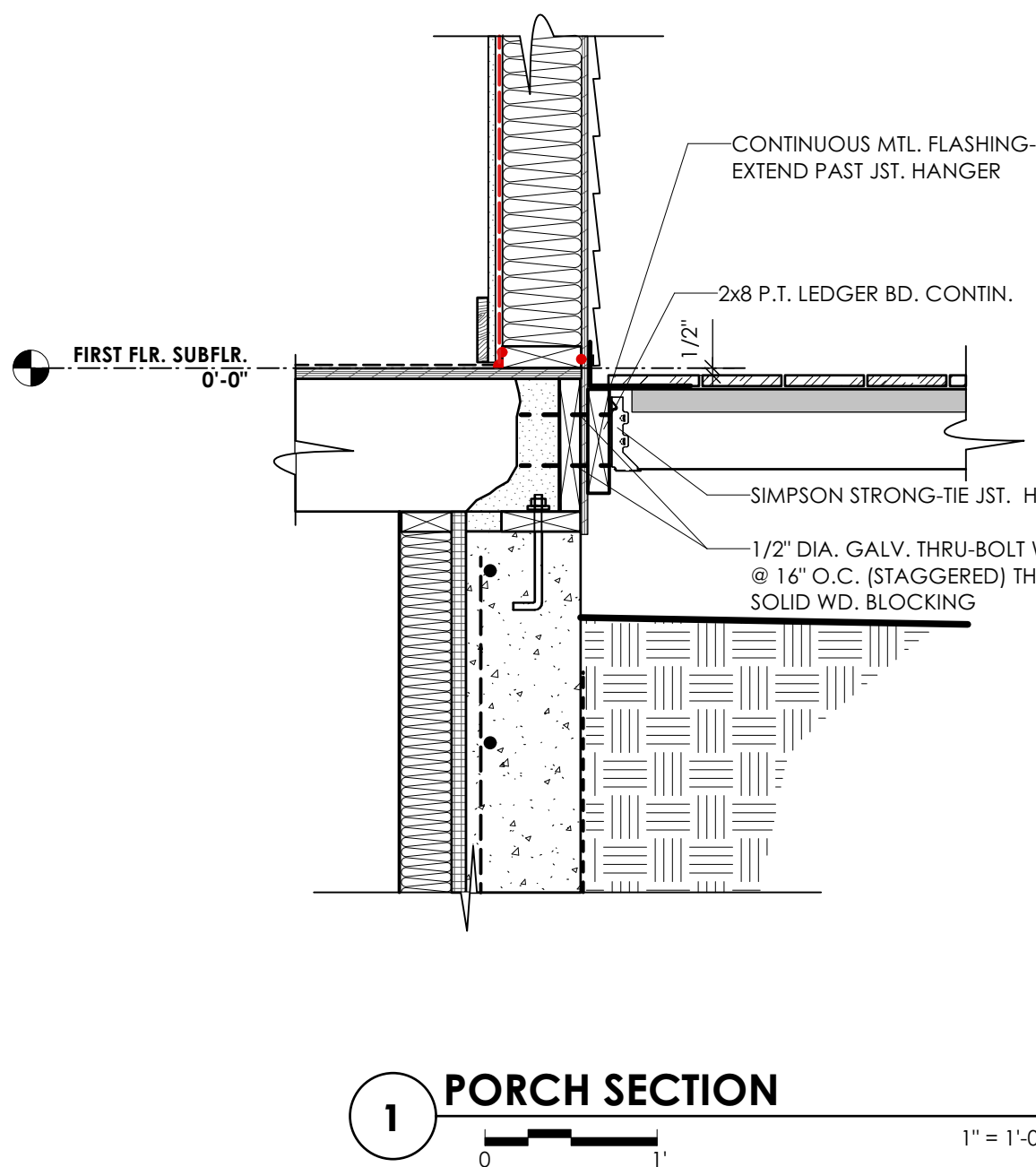
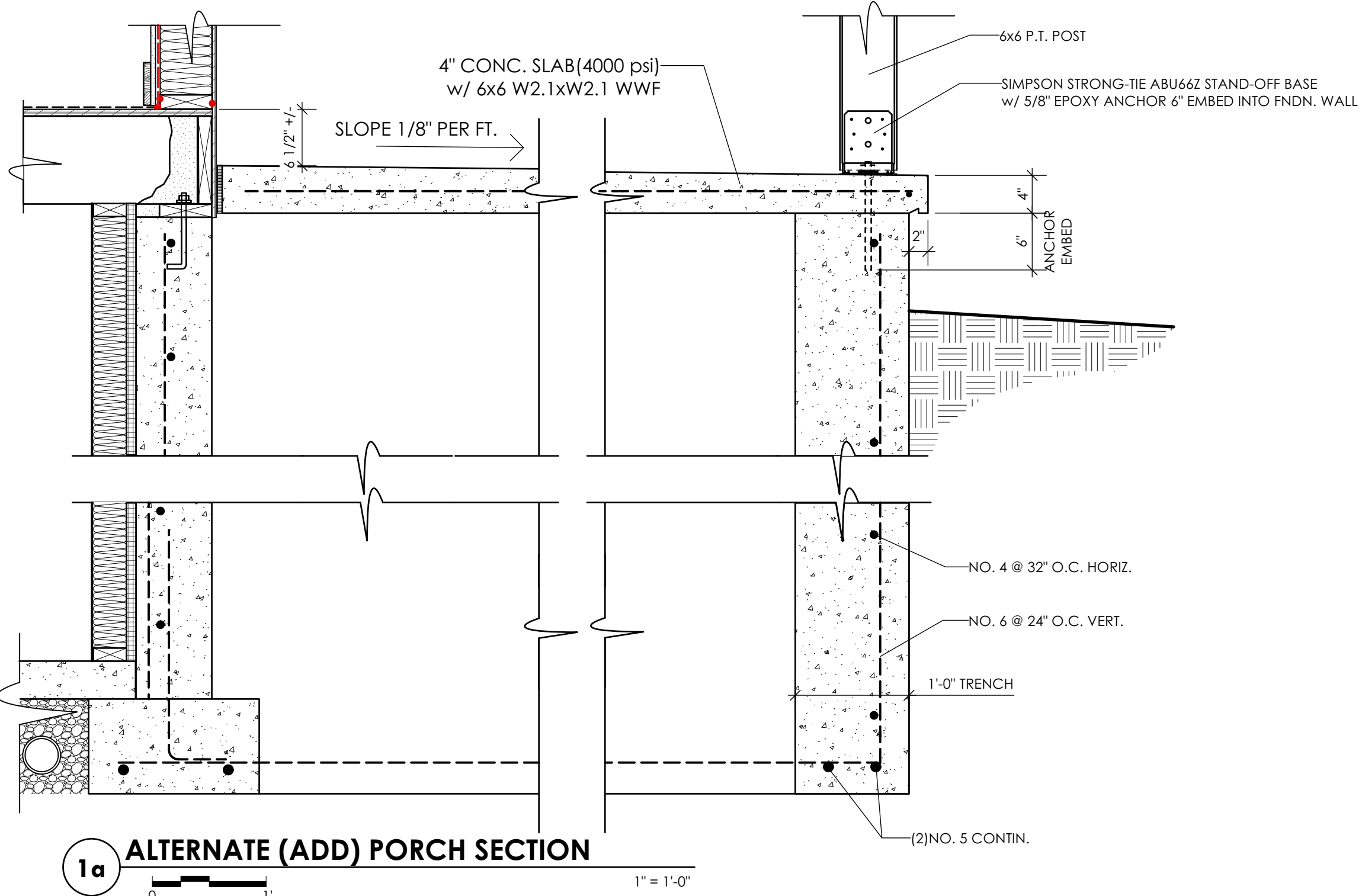
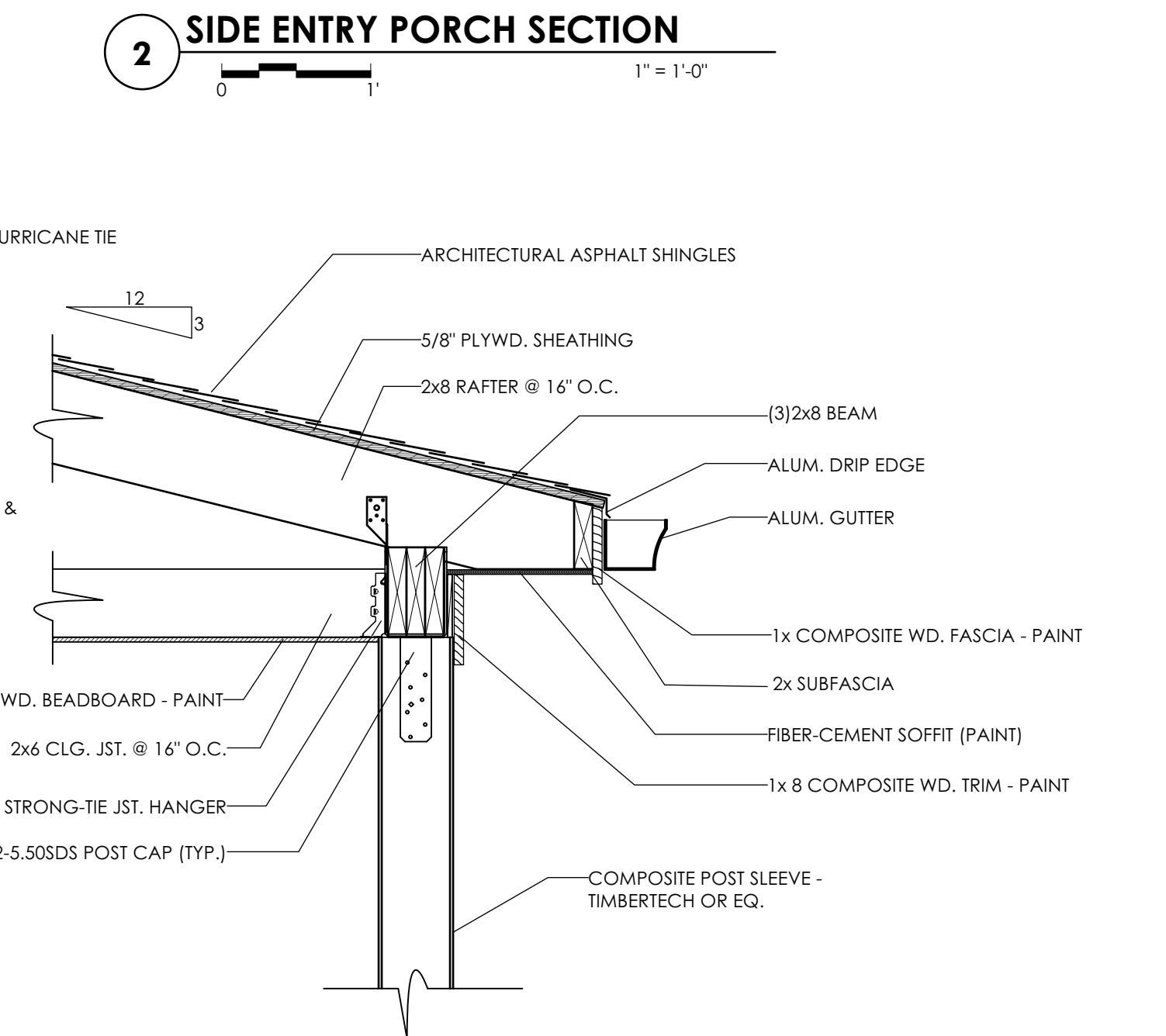
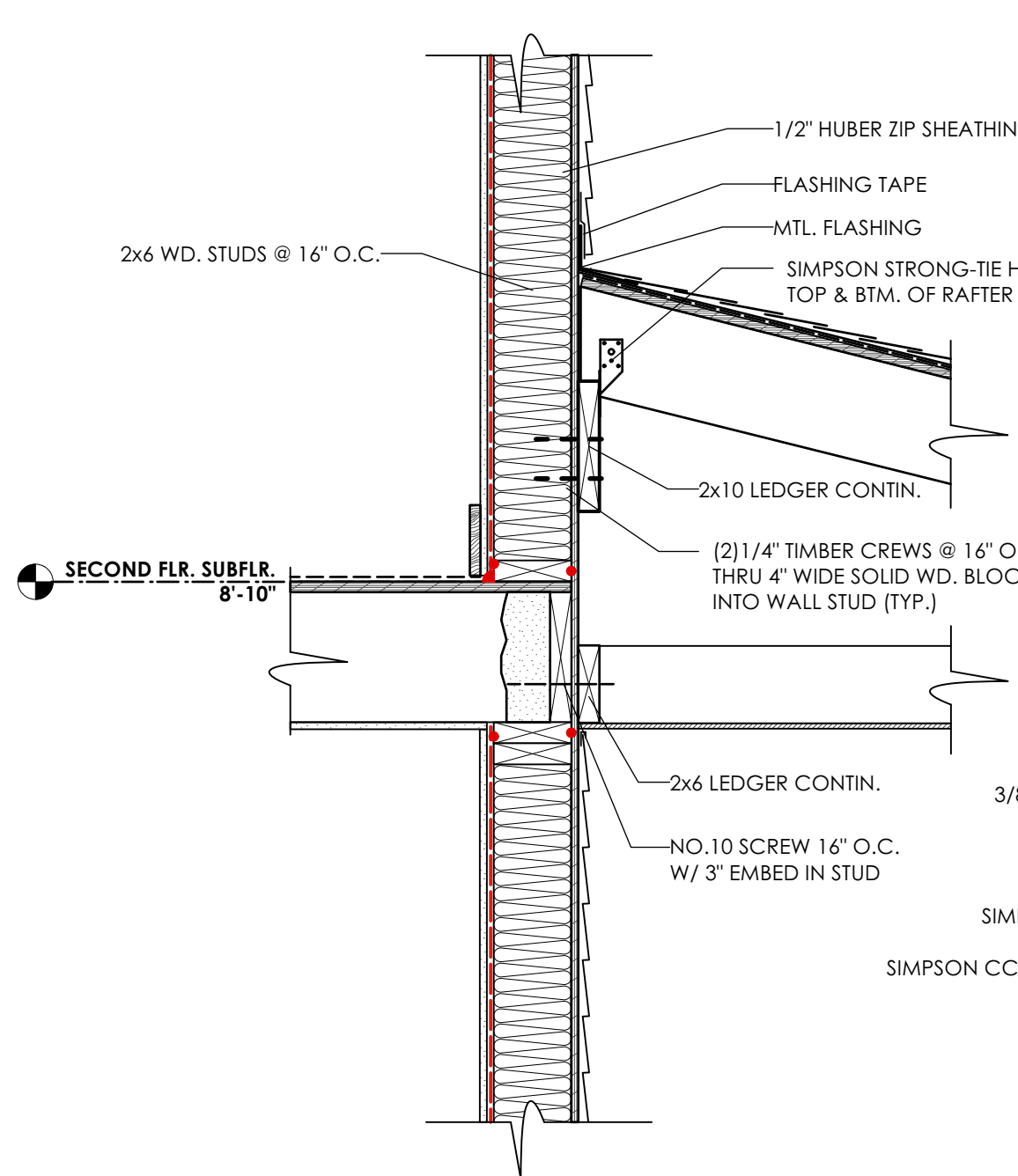
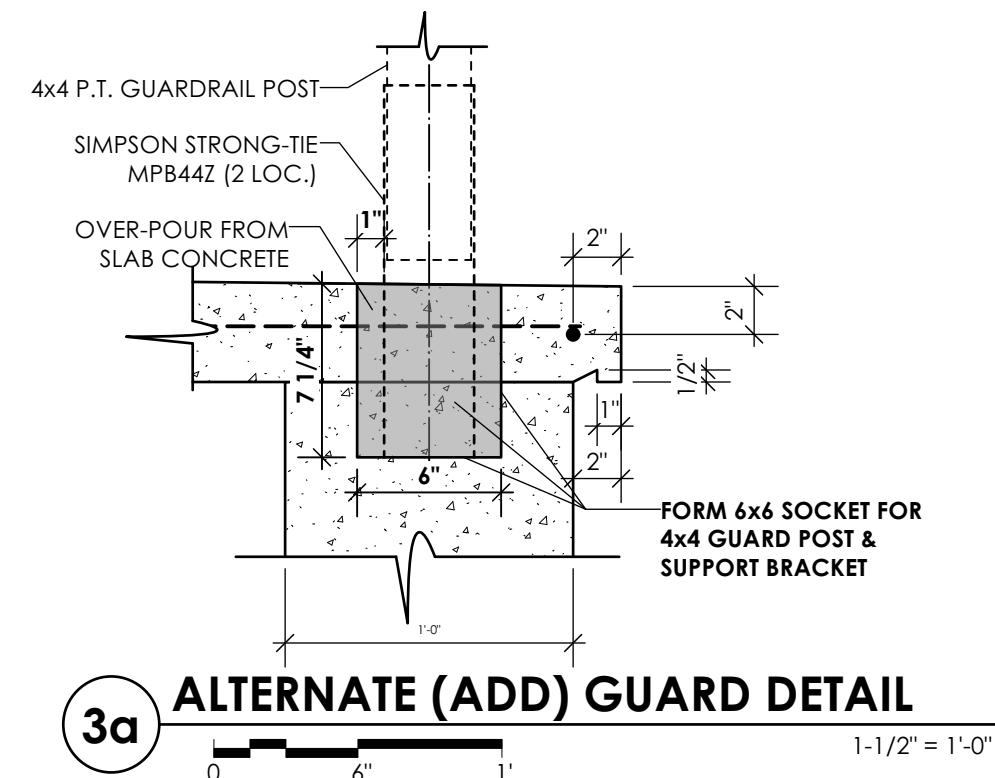
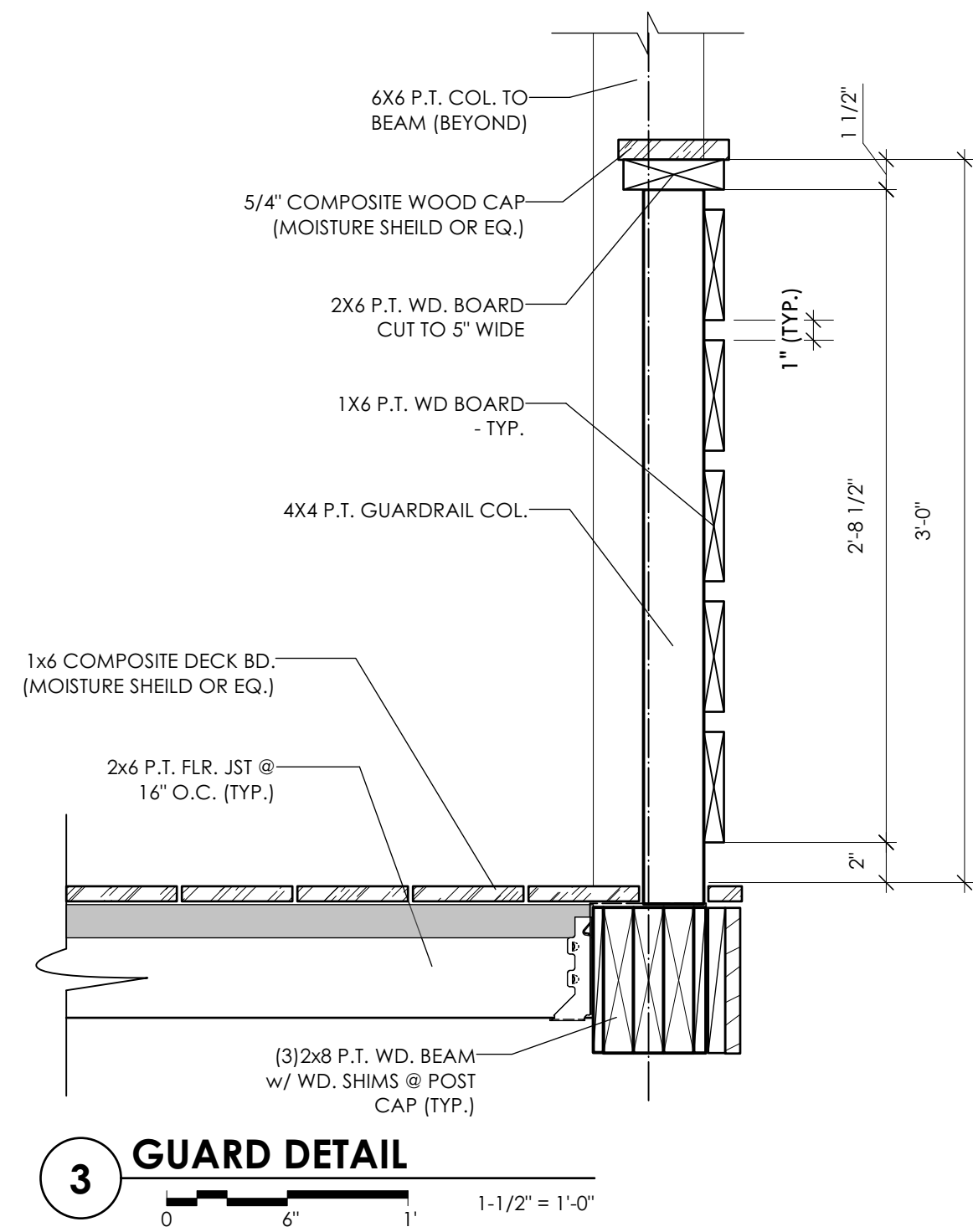




COPYRIGHT 2025 eco logic STUDIO eco logic STUDIO architecture & engineering, PLLC WARNING: ALTERATIONS TO THIS DOCUMENT, EXCEPT IN ACCORDANCE WITH THE NEW YORK STATE EDUCATION LAW, SECTION 7209 SUBDIVISION 2, IS ILLEGAL.	
CONSTRUCTION DRAWINGS	

BENLIC CHEEKTOWAGA IN-FILL 44 Long Avenue Cheektowaga, NY 14225 NEW CONSTRUCTION
Project # 2414.1
DRAWN BY: slh
5-Feb-25
WALL SECTION & DETAILS
DWG. NO. A-301





COPYRIGHT 2025
 eco logic STUDIO
 eco logic STUDIO
 architecture & engineering, PLLC
 WARNING: ALTERATIONS TO
 THIS DOCUMENT, EXCEPT IN
 ACCORDANCE WITH THE
 NEW YORK STATE EDUCATION
 LAW, SECTION 7209
 SUBDIVISION 2, IS ILLEGAL.

BENLIC
CHEEKTOWAGA
IN-FILL
 44 Long Avenue
 Cheektowaga, NY 14225
NEW CONSTRUCTION
 Project # 2414.1
 DRAWN BY: slh
 5-Feb-25
PORCH DETAILS
 DWG. NO.
A-302

DOOR SCHEDULE

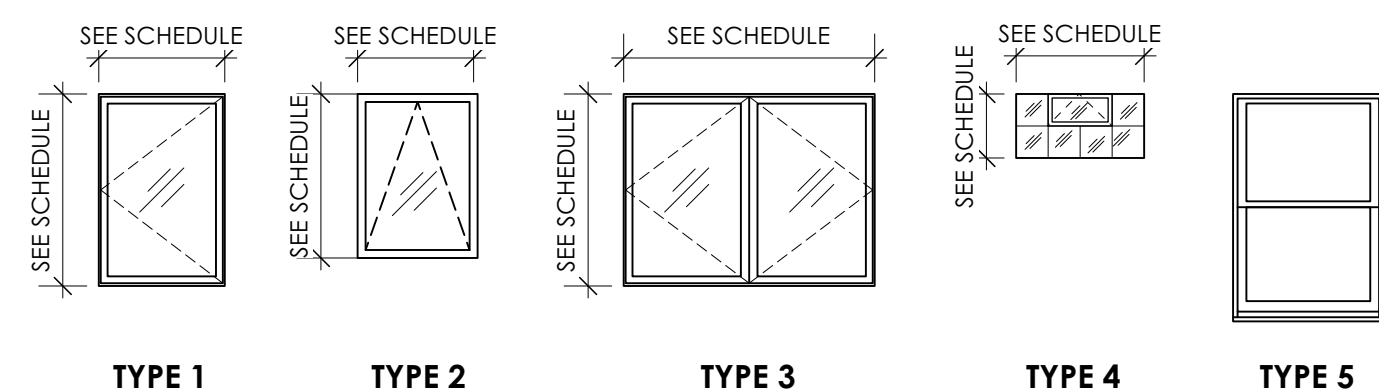
DOOR #	ROOM TITLE	DOOR					FRAME		GLASS	HARDWARE SET	REMARKS
		MATERIAL	TYPE	WIDTH	HEIGHT	FINISH	MATERIAL	FINISH			
101	1/2 BATH	WD. COMP.	1	36"	80"	PAINT	WD.	PAINT	-	MFR.	
102	LAUNDRY	WD. COMP.	4	60"	80"	PAINT	WD.	PAINT	-	MFR.	DOUBLE BIFOLD
103	CLOSET	WD. COMP.	7	48"	80"	PAINT	WD.	PAINT	-	MFR.	DOUBLE SWING
104a	ACCESSIBLE SIDE ENTRY	FIBERGLASS	2	36"	80"	PAINT	F.G.	PAINT	Y	MFR.	ACCESSIBLE THRESHOLD, WEATHERSTRIPPING
104b	ACCESSIBLE SIDE ENTRY	SCREEN & STL.	6	36"	80"	PWDR-CT.	STL.	PWDR-CT.	-	MFR.	SECURITY SCREEN DOOR BY UNIQUE HOME DESIGNS OR EQ.
111a	FRONT ENTRY	FIBERGLASS	2	36"	84"	PAINT	F.G.	PAINT	Y	MFR.	WEATHERSTRIPPING.
111b	FRONT ENTRY	SCREEN & STL.	6	36"	84"	PWDR-CT.	STL.	PWDR-CT.	-	MFR.	SECURITY SCREEN DOOR BY UNIQUE HOME DESIGNS OR EQ.
112	BASEMENT STAIRS	WD. COMP.	1	36"	80"	PAINT	WD.	PAINT	-	MFR.	
201	BEDROOM 3	WD. COMP.	1	32"	80"	PAINT	WD.	PAINT	-	MFR.	UNDERCUT
202	CLOSET	WD. COMP.	3	72"	80"	PAINT	WD.	PAINT	-	MFR.	2 PANEL BY-PASS
203	BATH ROOM	WD. COMP.	1	32"	80"	PAINT	WD.	PAINT	-	MFR.	
204	BEDROOM 2	WD. COMP.	1	32"	80"	PAINT	WD.	PAINT	-	MFR.	UNDERCUT
205	CLOSET	WD. COMP.	3	72"	80"	PAINT	WD.	PAINT	-	MFR.	2 PANEL BY-PASS
206	BEDROOM 1	WD. COMP.	1	32"	80"	PAINT	WD.	PAINT	-	MFR.	UNDERCUT
207	WALK-IN CLOSET	WD. COMP.	1	30"	80"	PAINT	WD.	PAINT	-	MFR.	
208	LINEN CLOSET	WD. COMP.	1	30"	80"	PAINT	WD.	PAINT	-	MFR.	

ROOM FINISH SCHEDULE

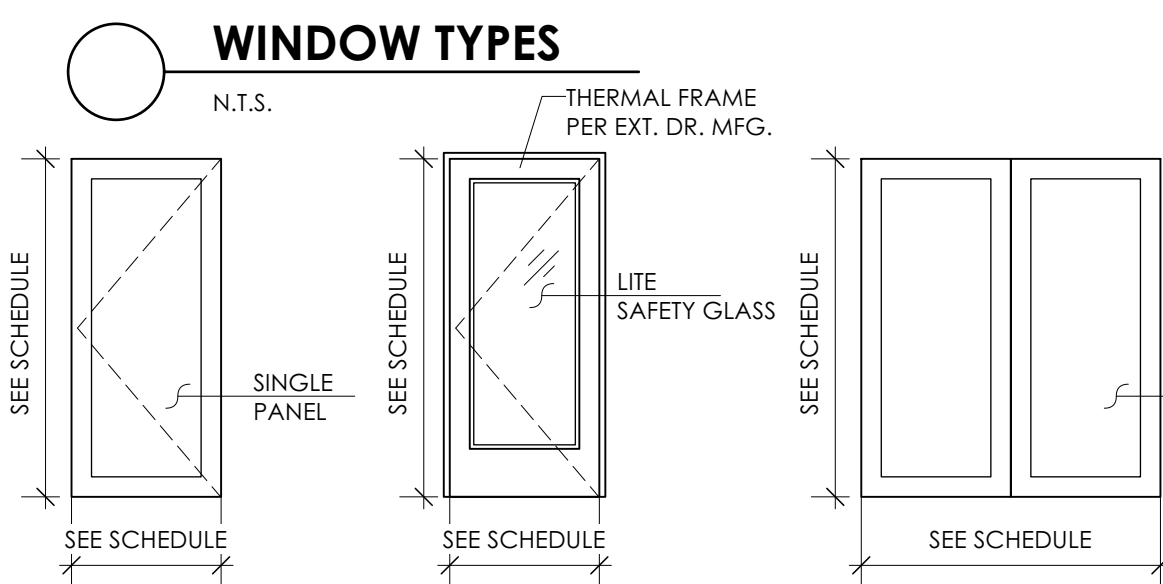
RM. #	ROOM TITLE	FLOOR		BASE		WALL		CEILING			REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT	
101	1/2 BATH RM.	L.V.P.	-	MDF	PAINT	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
102	LAUNDRY	L.V.P.	-	MDF	PAINT	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
103	COAT CLOSET	L.V.P.	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
104	SIDE ENTRY HALL	L.V.P.	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
105	KITCHEN	L.V.P.	-	MDF	PAINT	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
106	DINING	L.V.P.	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
107	LIVING AREA	L.V.P.	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
108	FRONT ENTRY HALL	L.V.P.	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
109	STAIRS	L.V.P.	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
110	BASEMENT STAIRS	L.V.P.	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
111	FRONT PORCH	COMP. DECK	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	CONC. SLAB W/ ALT. (ADD)
201	BEDROOM 3	CARPET	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
202	CLOSET	CARPET	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
203	BATH ROOM	L.V.P.	-	MDF	PAINT	M.M.R. GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
204	BEDROOM 2	CARPET	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
205	CLOSET	CARPET	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
206	BEDROOM 1	CARPET	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
207	WALK-IN CLOSET	CARPET	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
208	LINEN CLOSET	CARPET	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	
209	HALL	CARPET	-	MDF	PAINT	GYP. BD.	PAINT	GYP. BD.	PAINT	8'-0"	

KEY

BD. : BOARD
COMP. : COMPOSITE
ENG. : ENGINEERED
FLR. : FLOOR
GYP. : GYPSUM
L.V.P. : LUXURY VINYL PLANK
MDF. : MEDIUM-DENSITY FIBERBOARD
M.M.R. : MOLD & MOISTURE RESISTANT
STL. : STEEL
TR. : TRIM



TYPE 1 TYPE 2 TYPE 3 TYPE 4 TYPE 5



TYPE 01 TYPE 02 TYPE 03

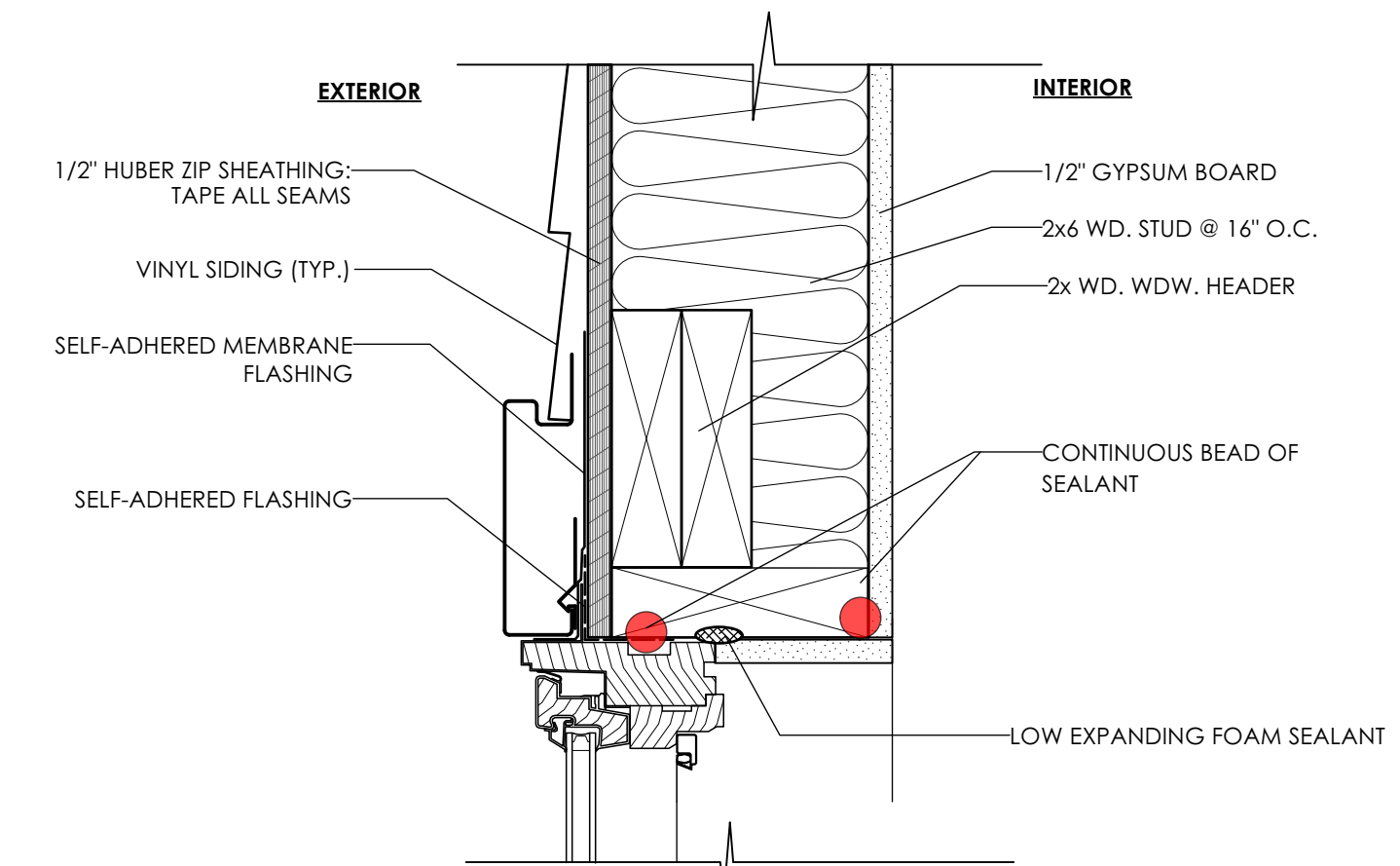


TYPE 04 2-PANEL, BI-FOLD OR BYPASS (SEE FLR. PLANS) TYPE 05 POCKET DOOR TYPE 06 SCREEN DOOR

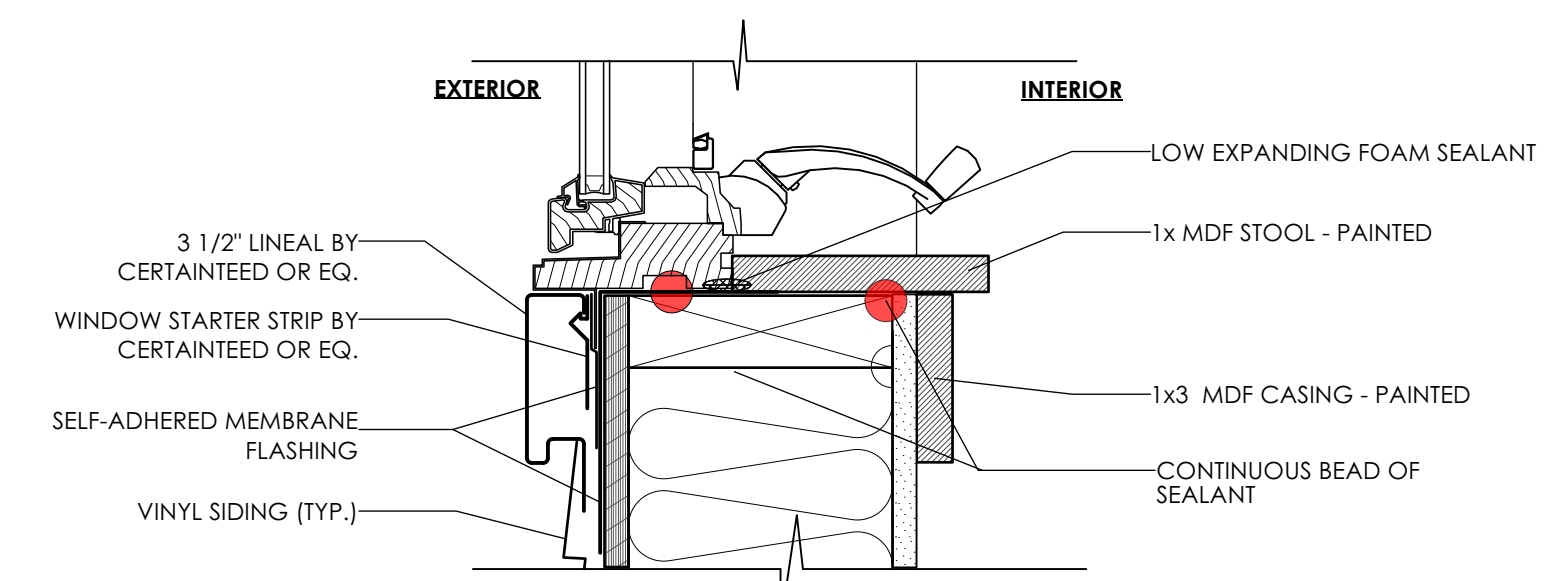
WINDOW SCHEDULE

NO.	CALL NO.	TYPE	WINDOW FRAME SIZE		U-FACTOR	SHGC	EGRESS OPNG. S.F.	DAYLIGHT S.F.	OPERABLE	VENT AREA S.F.	MATERIAL	REMARKS
			WIDTH	HEIGHT								
01	CX14	1	2'-7 1/2"	4'-0"	0.29	0.32	7.7	8.1	YES	7.7	VINYL CLAD WD.	CASEMENT
02	CX24	3	5'-2 3/4"	4'-0"	0.29	0.32	7.7	16.3	YES	15.4	VINYL CLAD WD.	MULLION CASEMENT
03	AW251	2	2'-4 3/8"	2'-4 3/8"	0.29	0.31	-----	3.9	YES	1.1	VINYL CLAD WD.	AWNING
04	CX135	1	2'-7 1/2"	3'-4 13/16"	0.29	0.31	-----	6.8	YES	6.4	VINYL CLAD WD.	CASEMENT
05	TW3046	5	3'-1 5/8"	4'-8 7/8"	0.31	0.31	5.82	10.3	YES	5.7	VINYL CLAD WD.	DOUBLE HUNG
06	VENT GLS. BLK.	4	2'-7"	1'-5 1/2"	0.51	0.51	-----	3.0	YES	0.8		8"x8" GLASS BLOCK W/8" x 16" HOPPER WDW.

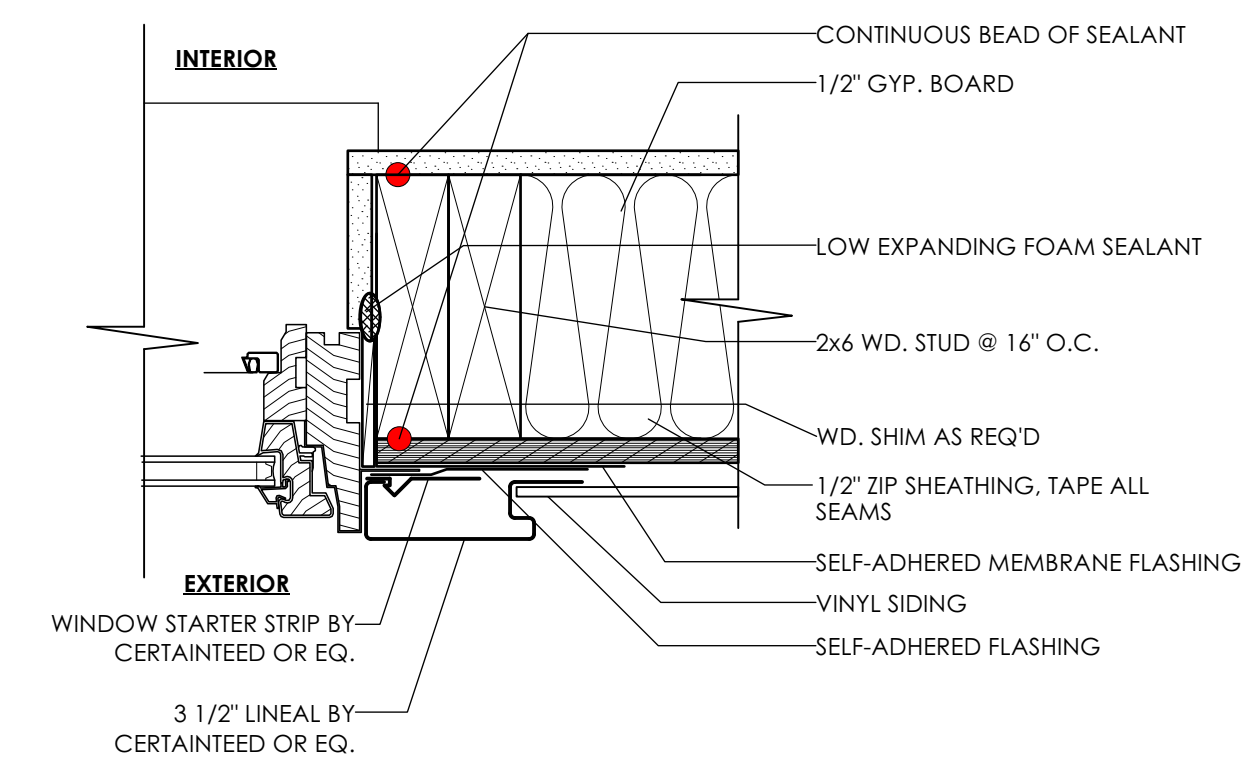
NOTE: BASE BID ANDERSEN 400 SERIES WINDOWS W/ FULL SCREENS.
ALTERNATE (DEDUCT) FOR ANDERSEN 200 SERIES WINDOWS W/ FULL SCREENS.



HEAD DETAIL



SILL DETAIL



JAMB DETAIL



WINDOW DETAILS



BENLIC

COPYRIGHT 2025
eco logic STUDIO
eco logic STUDIO
architecture & engineering, PLLC
WARNING: ALTERATIONS TO
THIS DOCUMENT, EXCEPT IN
ACCORDANCE WITH THE
NEW YORK STATE EDUCATION
LAW, SECTION 7209
SUBDIVISION 2, IS ILLEGAL.

CONSTRUCTION DOCUMENTS

**BENLIC
CHEETOWAGA
INFILL**
44 Long Avenue
Cheetowaga, NY 14225
NEW CONSTRUCTION

Project # 2414.1

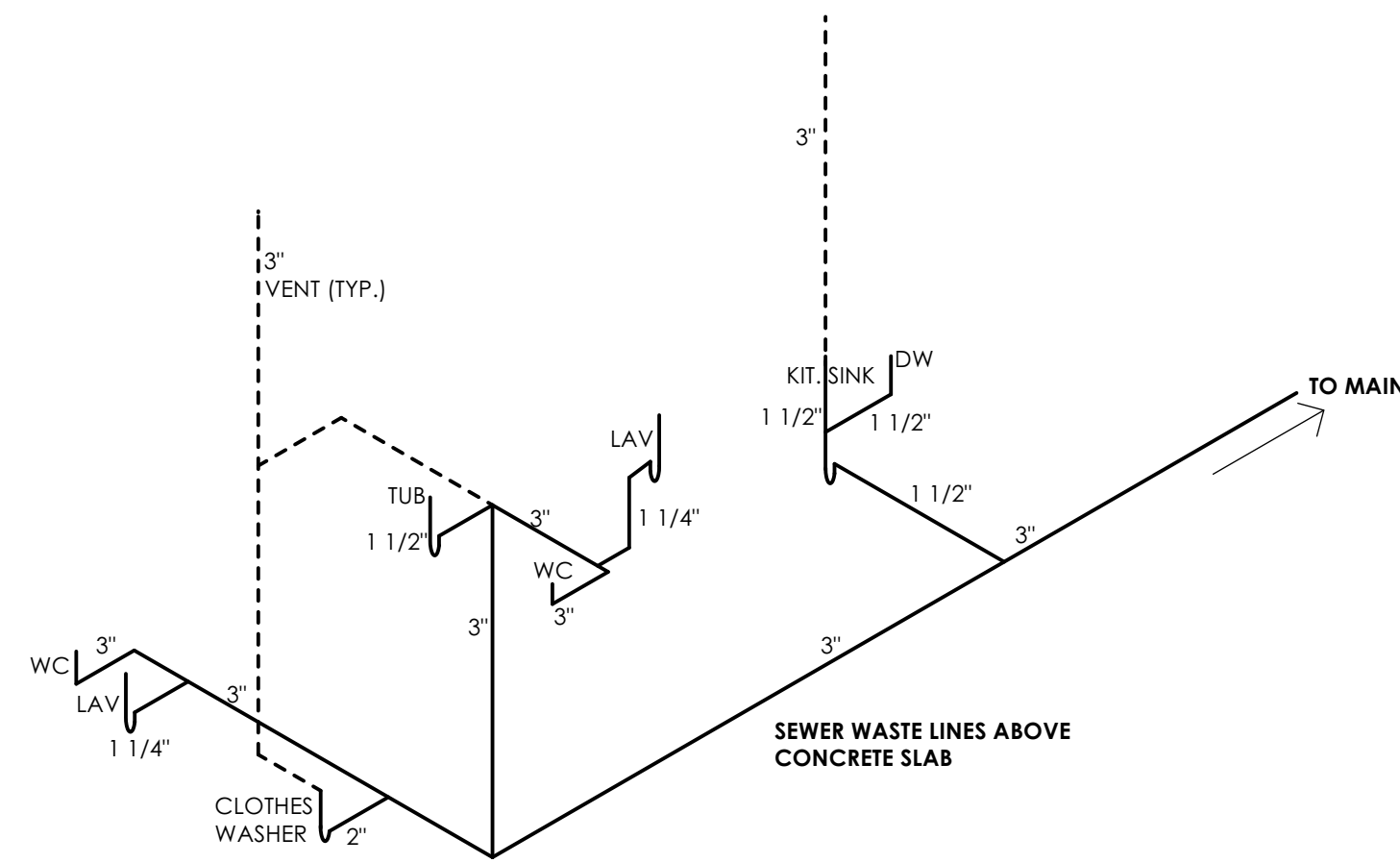
DRAWN BY: slh

5-Feb-25

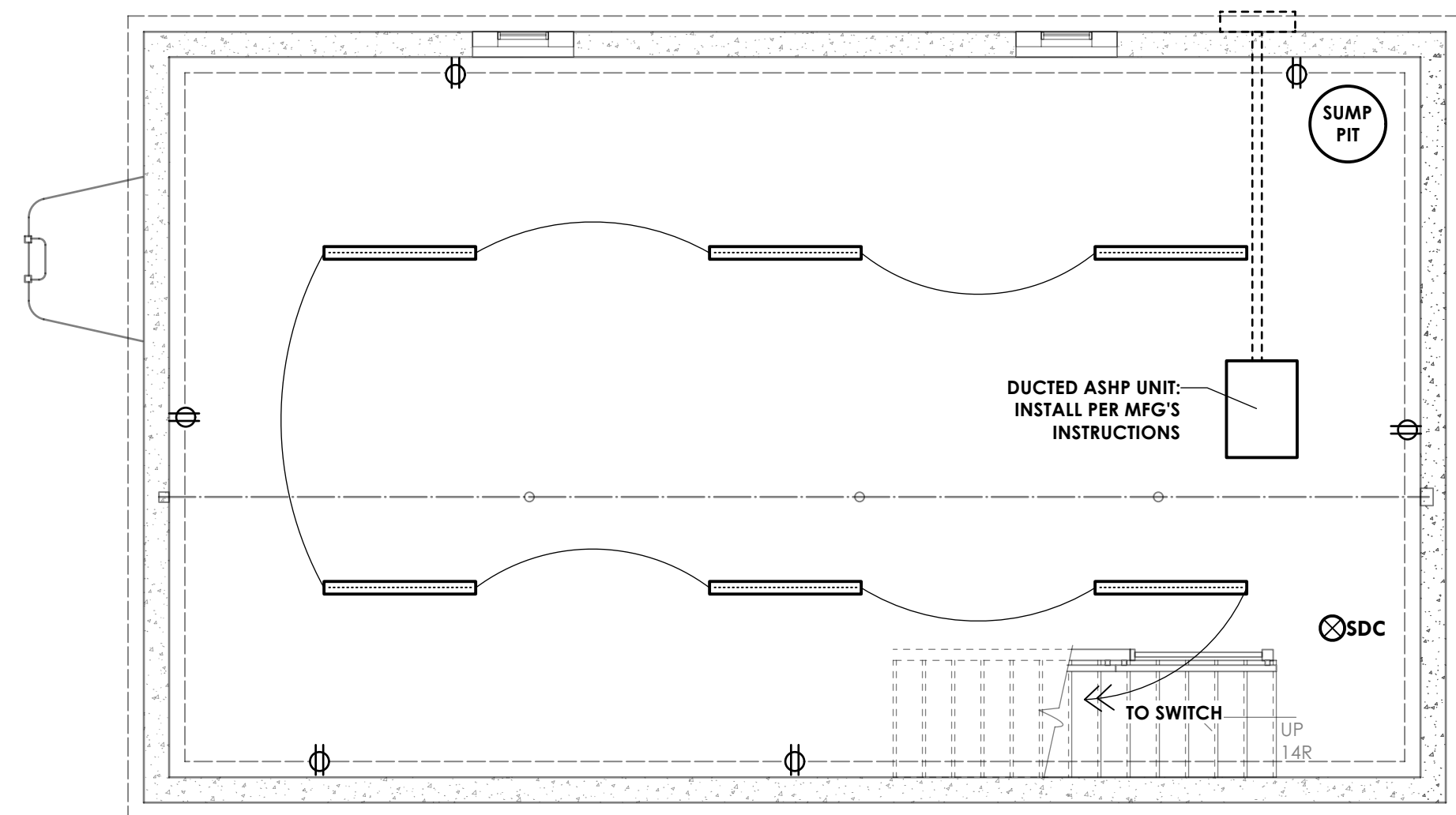
SCHEDULES &
WINDOW DETAILS

DWG. NO.

A-601



SCHEMATIC PLUMBING DIAGRAM
 N.T.S.



BASEMENT SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN
 0 2' 4'

- NOTES:**
- 1: ALL RECEPTACLES IN KITCHEN, BATH ROOMS & GARAGE TO BE GFCI
 - 2: PROVIDE SEPARATE CIRCUIT FOR EACH KITCHEN APPLIANCE
 - 3: LIGHT FIXTURES AS SELECTED BY OWNER
 - 4: ALL OUTDOOR RECEPTACLES TO BE GFCI & WATERPROOF
 - 5: ALL RECESSED LIGHTS IN INSULATED SPACES SHALL HAVE INSULATED COVERS

ELECTRICAL LEGEND

	DUPLEX RECEPTACLE		LED RECESSED LIGHT FIXTURE
	220V DUPLEX RECEPTACLE		LED PENDANT LIGHT FIXTURE
	SINGLE POLE SWITCH		CEILING MOUNTED SMOKE & CARBON MONOXIDE ALARM (HARD WIRED INTERCONNECTED)
	DOUBLE POLE SWITCH		CEILING MOUNTED SMOKE ALARM (HARD WIRED INTERCONNECTED)
	TIMER SWITCH		LED MEDICINE CABINET LIGHTING
	LED SURFACE MOUNT FIXTURE		LED WALL SCONCE
	LED SURFACE MOUNT DOWNLIGHT FIXTURE		LED 2' LED STRIP LIGHT
	EXHAUST FAN & LIGHT		LED 4' LED STRIP LIGHT
			LED UNDER CABINET LED STRIP LIGHT

MECHANICAL SPECIFICATIONS

ALL MECHANICAL SYSTEMS SHALL BE IN ACCORDANCE WITH LOCAL CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED CONTRACTOR SHALL PERFORM ALL WORK. THE CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMIT(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY MECHANICAL SYSTEM INSPECTIONS.

1. DUCTED ASHP UNIT TO G.E. H.P. 8KW HEATER W/ 45A BREAKER; MODEL #UAZEH 08A OR EQ.

ELECTRICAL SPECIFICATIONS

ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH LOCAL CODES, NEC, NFPA, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED ELECTRICIAN SHALL PERFORM ALL WORK. THE ELECTRICIAN SHALL APPLY FOR ALL NECESSARY ELECTRICAL PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMIT(S). THE ELECTRICIAN SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY ELECTRICAL INSPECTIONS.

1. ALL EXPOSED WIRING TO BE SHIELDED BY METAL CONDUIT AS APPROVED BY TOWN OF CHEEKTOWAGA.
2. FIXTURES AS SELECTED BY OWNER.
3. PROVIDE ADDITIONAL DOCUMENTATION OF ELECTRICAL SCOPE AND EQUIPMENT AS REQUIRED BY TOWN.
4. RECEPTACLES SHALL BE PROVIDED WITH GFCI AS REQUIRED BY NFPA 70 AS INDICATED.
5. PROVIDE LED LAMPS PER FIXTURE MANUFACTURER REQUIREMENTS.

PLUMBING SPECIFICATIONS

ALL PLUMBING SHALL BE IN ACCORDANCE WITH LOCAL CODES, AND 2020 RESIDENTIAL CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED PLUMBER SHALL PERFORM ALL WORK. THE PLUMBER SHALL APPLY FOR ALL NECESSARY PLUMBING PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMIT(S). THE PLUMBER SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY PLUMBING INSPECTIONS.



BENLIC

COPYRIGHT 2025
 eco logic STUDIO
 eco logic STUDIO,
 architecture & engineering, PLLC
 WARNING: ALTERATIONS TO
 THIS DOCUMENT, EXCEPT IN
 ACCORDANCE WITH THE
 NEW YORK STATE EDUCATION
 LAW, SECTION 7209
 SUBDIVISION 2, IS ILLEGAL.

CONSTRUCTION DOCUMENTS

**BENLIC
 CHEEKTOWAGA
 INFILL**
 44 Long Avenue
 Cheektowaga, NY 14225
NEW CONSTRUCTION

Project # 2414.1

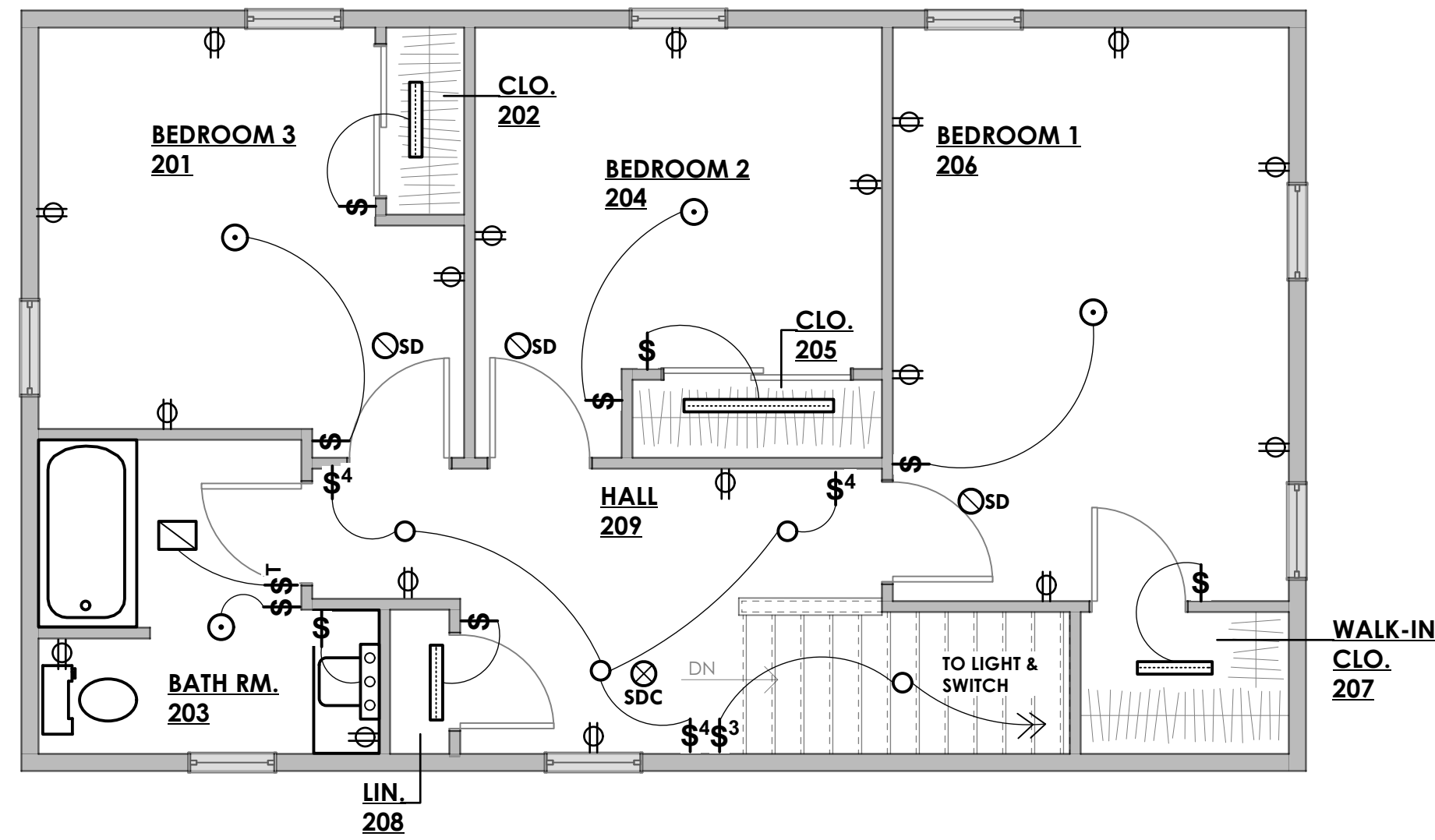
DRAWN BY: slh

5-Feb-25

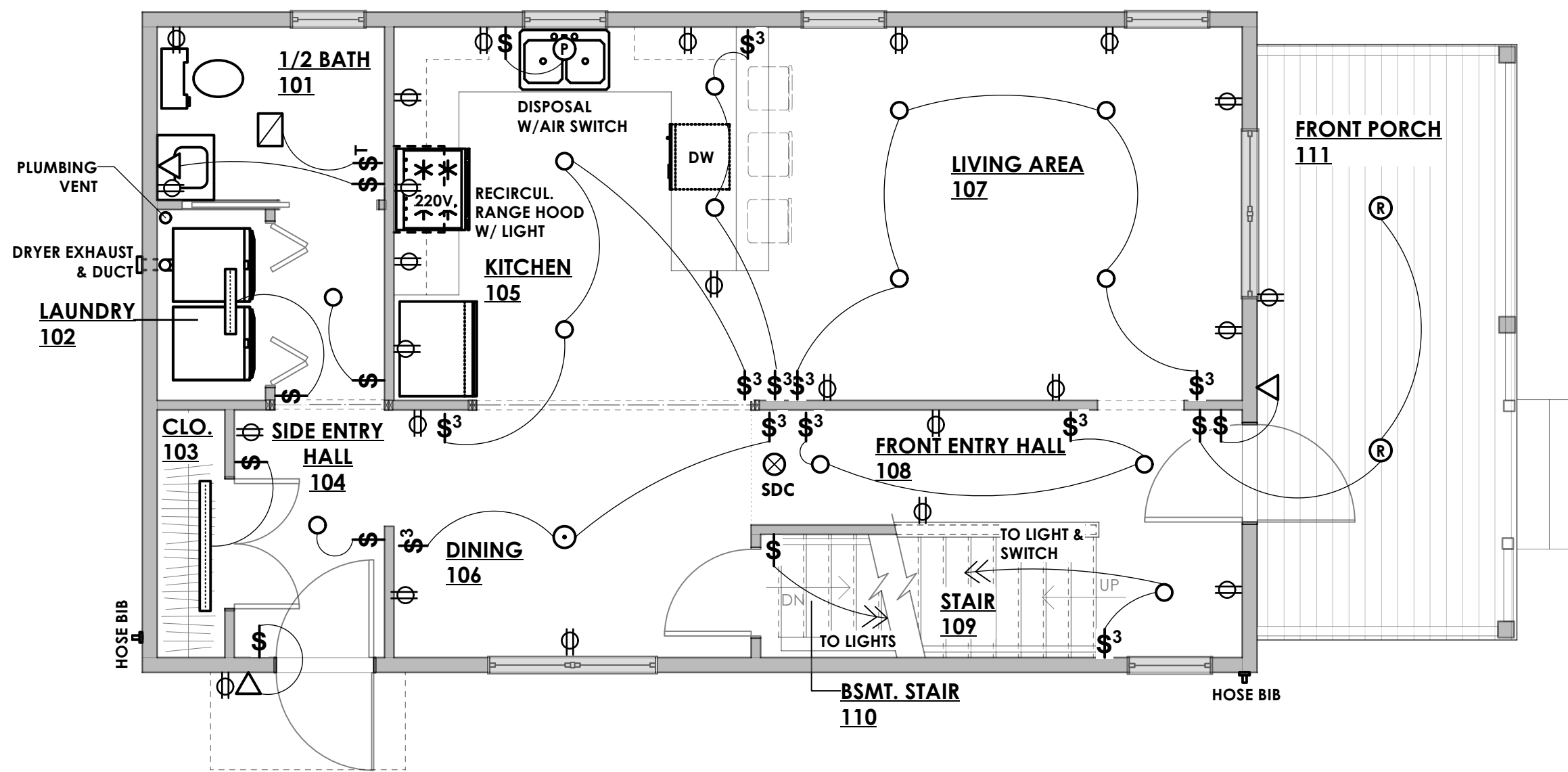
**BASEMENT PLAN
 PLUMBING ISOMETRIC**

DWG. NO.

MEP-101



SECOND FLOOR SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN



FIRST FLOOR SCHEMATIC MECHANICAL, ELECTRICAL & PLUMBING PLAN

NOTES:
 1. ALL RECEPTACLES IN KITCHEN, BATH ROOMS TO BE GFCI
 2. PROVIDE SEPARATE CIRCUIT FOR EACH KITCHEN APPLIANCE
 3. LIGHT FIXTURES AS SELECTED BY OWNER
 4. ALL OUTDOOR RECEPTACLES TO BE GFCI & WATERPROOF
 5. ALL RECESSED LIGHTS IN INSULATED SPACES SHALL HAVE INSULATED COVERS

ELECTRICAL LEGEND

⊕	DUPLEX RECEPTACLE	Ⓡ	LED RECESSED LIGHT FIXTURE
⊕ _{220V}	220V DUPLEX RECEPTACLE	Ⓟ	LED PENDANT LIGHT FIXTURE
Ⓢ	SINGLE POLE SWITCH	ⓈDC	CEILING MOUNTED SMOKE & CARBON MONOXIDE ALARM (HARD WIRED INTERCONNECTED)
Ⓢ ³	DOUBLE POLE SWITCH	ⓈD	CEILING MOUNTED SMOKE ALARM (HARD WIRED INTERCONNECTED)
Ⓢ ⁴	DOUBLE POLE SWITCH	ⓈO	LED MEDICINE CABINET LIGHTING
Ⓢ ^T	TIMER SWITCH	▷	LED WALL SCONCE
○	LED SURFACE MOUNT FIXTURE	▬	LED 2' LED STRIP LIGHT
○	LED SURFACE MOUNT DOWNLIGHT FIXTURE	▬	LED 4' LED STRIP LIGHT
⊠	EXHAUST FAN & LIGHT	▬	LED UNDER CABINET LED STRIP LIGHT

MECHANICAL SPECIFICATIONS

ALL MECHANICAL SYSTEMS SHALL BE IN ACCORDANCE WITH LOCAL CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED CONTRACTOR SHALL PERFORM ALL WORK. THE CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMIT(S). THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY MECHANICAL SYSTEM INSPECTIONS.

1. DUCTED ASHP UNIT TO G.E. H.P. 8KW HEATER W/ 45A BREAKER; MODEL #UAZEH 08A OR EQ.

ELECTRICAL SPECIFICATIONS

ALL ELECTRICAL SHALL BE IN ACCORDANCE WITH LOCAL CODES, NEC, NFPA, 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED ELECTRICIAN SHALL PERFORM ALL WORK. THE ELECTRICIAN SHALL APPLY FOR ALL NECESSARY ELECTRICAL PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMIT(S). THE ELECTRICIAN SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY ELECTRICAL INSPECTIONS.

1. ALL EXPOSED WIRING TO BE SHIELDED BY METAL CONDUIT AS APPROVED BY TOWN OF CHEEKTOWAGA.
2. FIXTURES AS SELECTED BY OWNER.
3. PROVIDE ADDITIONAL DOCUMENTATION OF ELECTRICAL SCOPE AND EQUIPMENT AS REQUIRED BY TOWN.
4. RECEPTACLES SHALL BE PROVIDED WITH GFCI AS REQUIRED BY NFPA 70 AS INDICATED.
5. PROVIDE LED LAMPS PER FIXTURE MANUFACTURER REQUIREMENTS.

PLUMBING SPECIFICATIONS

ALL PLUMBING SHALL BE IN ACCORDANCE WITH LOCAL CODES, AND 2020 RESIDENTIAL CODE OF NEW YORK STATE. A TOWN OF CHEEKTOWAGA CURRENT LICENSED PLUMBER SHALL PERFORM ALL WORK. THE PLUMBER SHALL APPLY FOR ALL NECESSARY PLUMBING PERMITS AND SHALL BE RESPONSIBLE FOR THE PREPARATION AND PROVISION OF ANY SCHEMATIC DRAWINGS, PLANS, OR DETAILS REQUIRED FOR THE SECURING OF REQUIRED PERMIT(S). THE PLUMBER SHALL BE RESPONSIBLE FOR SCHEDULING ALL NECESSARY PLUMBING INSPECTIONS.



CONSTRUCTION DOCUMENTS

COPYRIGHT 2025
 eco logic STUDIO
 eco logic STUDIO
 architecture & engineering, PLLC
 WARNING: ALTERATIONS TO THIS DOCUMENT, EXCEPT IN ACCORDANCE WITH THE NEW YORK STATE EDUCATION LAW, SECTION 7209 SUBDIVISION 2, IS ILLEGAL.

BENLIC CHEEKTOWAGA INFILL
 44 Long Avenue
 Cheektowaga, NY 14225
NEW CONSTRUCTION

Project # 2414.1
 DRAWN BY: slh
 5-Feb-25

FLOOR PLANS

DWG. NO.
MEP-102

END OF BID PACKAGE. NO FURTHER PAGES.