



Date Released: November 6, 2025

Bid: New construction of one single-family home at 33 Schuele Avenue, Buffalo, NY 14215

Deadline: Wednesday, November 19th, 2025 at 9:00 AM

Submit bids to: BENLIC
403 Main Street, Suite 602
Buffalo, NY 14203

Method of Submittal: Sealed Bid - US overnight mail, priority mail, 1st class mail, or in-person drop off (**email bids will not be accepted**)

CONTACT – QUESTIONS REGARDING WORK:

JOHN GOOD, CONSTRUCTION MANAGER

TELEPHONE #: 716-609-1473

EMAIL: J.GOOD@BENLIC.ORG

CONTACT – QUESTIONS REGARDING ALL OTHER:

MATT AZZANO, PROGRAM COORDINATOR

TELEPHONE #: 716-243-3996 EXT. 104

EMAIL: M.AZZANO@BENLIC.ORG

Bid Details:

Bidding contractors shall be expected to review the attached architectural plans and these directions in placing a bid for consideration. Review of these documents is the contractor and sub-contractor's responsibility and failure to do so may result in bids not being considered complete and being rejected. Failure to properly review plans will not be considered cause for a change order or additional payments.

General:

General Contractor shall be responsible for obtaining all necessary building permits, right of way permits, sewer and water tap and work permits, as well as any other permits deemed necessary by the City of Buffalo. Permit fees will be paid by BENLIC directly to the permitting agency.

General Site Requirements:

Contractor shall be responsible for installation of **Silt Socks** around all four sides of the construction site and around any street drains downstream of the construction site on Schuele Street. Silt control measures shall be inspected regularly and replaced as necessary to ensure proper protection of off-site infrastructure.

Contractor shall establish a stabilized **construction entrance** to the site utilizing 1.5 to 3 inch stone. This entrance will be maintained with new stone as necessary for the duration of construction.

During work, the site shall be secured with a temporary (or permanent for duration of construction) 6-foot-tall chain link **fence** across the front of the lot parallel to the street. The other three sides shall be protected with minimum 4-foot-high snow fence with metal fence posts driven into the ground every 6 feet minimum. Fences shall be maintained in good condition and shall be in place during all non-working hours.

Upon clearing site and excavating for foundation work, no **dirt** or spoils will remain on site. All excavated dirt and spoils shall be removed from the site to a holding area (General Contractor's responsibility) or properly disposed of at a disposal site. Clearing of site shall include removal of sidewalks on the public right of way (permit required) and installation of detour and construction in progress signage to warn the public. Care shall be taken to prevent spillage of dirt or spoils in the roadway or any other public way. Any spillage shall be promptly cleaned up and disposed of properly.

At completion of construction, contractor shall install **new sidewalks** along the full width of the property within the public Right of Way, per City of Buffalo standards and Department of

Public Works requirements. Sidewalks shall also be installed on property, providing a path from the front porch to the public sidewalk

Grading of site at completion of construction shall consist of installation of 4 to 6 inches of clean topsoil over entire site graded to ensure proper drainage away from dwelling foundation. After final grading is complete entire site shall be hydroseeded with a quick growing grass mixture. Site shall be maintained by contractor until a minimum growth of 3 to 4 inches of grass over entire seeded area.

During construction contractor shall be responsible for site maintenance including **lawn mowing** or **snow removal** as necessary. All **utilities** will be put in contractors name and bills will be paid by contractor until dwelling is turned over to The Land Bank with all proper paperwork.

Minority Women owned Business Enterprise (MWBE) requirements:

Based upon the contractors bid amount, the contractor shall be required at minimum to meet a goal of 25% minority-owned business participation and 15% women-owned business participation. Companies hired to meet these goals must be New York State certified (County certification without state certification is not adequate).

Tracking of MWBE participation shall be verified utilizing the attached Affirmation of Income Payments to MBE/WBE and/or SDVOB form. This form shall be submitted on a quarterly basis as follows:

Quarter:	Form due date or next business day if on holiday or weekend:
January-March	April 15 th
April-June	July 15 th
July-September	August 15 th
October-December	January 15 th

The final reporting form must be submitted with the contractor's final retention pay application.

Radon Reduction:

Contractor shall follow section 302.1 of ANSI/AARST standards CCAH-2013 and install rough-in of a radon mitigation system per sections 402.1 through 901.1 as required in section 302.1.

At completion of construction, radon testing shall be performed by BENLIC. Contractor shall provide an alternate estimate for completion of Radon mitigation system in accordance with section 901, if necessary based on results of Radon testing.

Utility Hook-ups:

Contractor shall be responsible for utility hook-ups for sewer, water and electricity. This will include any work in the right of way and road, following all guidelines from the City of Buffalo, Buffalo Sewer Authority and Buffalo Water Authority including obtaining appropriate permits. Permit costs will be paid by BENLIC.

Toilet Facilities:

Contractor shall provide porta potty on site for use during construction.

Please write your total bid amount next to the corresponding property in both numbers and words.

(For example: “ \$10,250 ; Ten thousand two hundred and fifty Dollars”)

In case of discrepancy, amounts shown in words will govern.

1. New Construction of Single-Family Home at 33 Schuele Avenue, Buffalo, NY according to attached building plans

Total bid amount: \$ _____; _____ Dollars

Total MBE amount: \$ _____; _____ Dollars

Total WBE amount: \$ _____; _____ Dollars

Business Name: _____

Mailing Address: _____

Federal EIN #: _____

Primary Contact: _____

Phone Number: _____

Email: _____

Total bid amount for all properties contractor is bidding on:

\$ _____; _____ Dollars

CONTRACTOR QUALIFICATIONS

In addition to filling out the bid sheet, attach the following:

- Provide three past customers as references
- Provide a brief description of your construction experience along with before and after photos of past projects if available
- Insurance Certificates
- EPA Lead Paint Contractor Certification
- Subcontractor Utilization Plan

BID DETAILS:

BENLIC is not responsible for delays occasioned by the U.S. Postal Service, the internal mail delivery system or any other means of delivery employed by the bidder. Similarly, BENLIC is not responsible for, and will not consider, any response which was received in our office later than the date and time stated above. Late bids shall not be considered and shall be returned to the late bidder. BENLIC reserves the right to reject any or all bids or waive any informality in a bid if it believes that the public interest will be promoted thereby. BENLIC may reject any bid, if, in its judgment, the business and technical organization, plant, resources, financial standing, or experience of the bidder justifies such rejection in view of the work to be performed. Any questions about the meaning, intent or specifications must be inquired into by the Bidder via mail, fax or email prior to the time set for the Bid Opening.

Bids will be submitted to the BENLIC Board of Directors for consideration and approval at a regularly scheduled meeting. Bid may be awarded to the lowest responsible bidder who, in the opinion of the corporation and approved by the Board, is qualified to perform the work required and who is responsible and reliable. The meeting is open to the public. In the case of tie bids, BENLIC will make the award based on priority factors. A bid tabulation summary of the received, reviewed and appropriate bids will be included in the minutes of BENLIC. Bidder agrees that his/her bid price remains effective for 120 days past the Deadline for Submittal.

The work cannot begin until contractor executes a BENLIC Standard Construction Contract and proves proper Certificate(s) of Insurance has been reviewed and approved by BENLIC.

Subcontractors may be used. All subcontractors will need to provide adequate insurance certificates. Job is not prevailing wage rate.

EQUAL EMPLOYMENT OPPORTUNITY

This organization will not discriminate against any employee or applicant for employment because of race, creed, color, national origin, sex, age, disability or marital status, will undertake or continue existing programs of affirmative action to ensure that minority group members are afforded equal employment opportunities without discrimination, and shall make and document its conscientious and active efforts to employ and utilize minority group members and women in its work force on State contracts.

This organization shall state in all solicitation or advertisements for employees that in the performance of the State contract all qualified applicants will be afforded equal employment opportunities without discrimination because of race, creed, color, national origin, sex disability or marital status.

At the request of the contracting agency, this organization shall request each employment agency, labor union, or authorized representative for a statement that it will not discriminate on the basis of race, creed, color, national origin, sex, age, disability or marital status and that such union or representative will affirmatively cooperate in the implementation of this organization's obligations herein.

Contractor shall comply with the provisions of the Human Rights Law, all other State and Federal statutory and constitutional non-discrimination provisions. Contractor and subcontractors shall not discriminate against any employee or applicant for employment because of race, creed (religion), color, sex, national origin, sexual orientation, military status, age, disability, predisposing genetic characteristic, marital status or domestic violence victim status, and shall also follow the requirements of the Human Rights Law with regard to nondiscrimination on the basis of prior criminal conviction and prior arrest.

NEW YORK STATE SALES AND LOCAL TAX EXEMPTION NOTE

Some materials for this project may be purchased tax-exempt. BENLIC is exempt from payment of New York State and local sales and use tax. BENLIC will furnish the winning bidder an Exempt Purchase Certificate (ST 119.1) as proof of its exemption. Personal property made part of the real property of project sites (that is materials, e.g. siding, shingles, gutters, windows, etc.) may be purchased exempt from such taxes provided that the winning bidder provide to his seller(s) properly completed Contractor Exempt Purchase Certificate(s) (ST 120.1). The cost benefit of exemption from such taxes is the benefit of BENLIC only. BENLIC seeks the lowest, responsible, and qualified bid. Bidders acknowledge that their bid herein contains pricing inclusive of this cost benefit.

MINORITY/WOMEN-OWNED BUSINESS ENTERPRISE UTILIZATION

This stabilization project will be funded by New York State Homes and Community Renewal (HCR). NYS-certified Minority- and Women-Owned Business Enterprises are encouraged to bid. To be considered certified as an M/WBE, the business enterprise must be listed on the NYS M/WBE directory. (This line is for HCR projects)

TERM OF PAYMENT

Pursuant to Contractor Agreement

BID AGREEMENT

The undersigned bidder offers and agrees, if this bid is accepted to enter into an agreement with the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION to complete all work as specified for the contract price and within the contract time indicated in accordance with these documents.

Bidder declares by submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid each party thereto certifies as to its own organization, under penalty of perjury, that to the best of his knowledge and belief:

- 1) The prices in this bid have been arrived at independently without collusion, consultation, communication, or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
- 2) Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to the opening, directly or indirectly, to any other bidder or to any competitor; and
- 3) No attempt has been made or will be made by the bidder to induce any other person partnership or corporation to submit or not to submit a bid for the purpose of restriction competition.

A bid shall not be considered for award nor shall any award be made where (a) (1) (2) and (3) above have not been complied with; provided however, that if in any case the bidder cannot make the foregoing certification, the bidder shall so state and furnish with the bid a signed statement which sets forth in detail the reasons therefor. Where (a) (1) (2) and (3) above have not been complied with, the bid shall not be considered for award nor shall any award be made unless the agency to which the bid is made, or his designee, determines that such disclosure was not made for the purpose of restricting competition that no person(s) other than those named herein are interested in this bid;

In submitting this bid, Bidder represent that he has examined the Instruction to Bidders; all other documents; that he has examined the proposed work site; that he has familiarized himself with all legal requirements (federal, state and local laws; ordinances; rules and regulations); that he as made such independent investigations as he deems necessary; he has satisfied himself as to all conditions affecting cost, progress or

performance of work; and that by signing this bid waives all rights to plead to misunderstanding regarding the same.

The Bidder further agrees that:

1. This bid shall remain open and may not be withdrawn for the time period set forth in the Instruction to Bidders.
2. That he accepts all terms and conditions in the Instruction to Bidders
3. The BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION has the right to delete bid items and/or sections prior to award if the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION deems this to be in the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION'S best interest.
4. That upon acceptance of this bid, he will execute the agreement and will furnish the required contract insurance certificates (if not submitted with his bid) within a time period acceptable to the BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION.

Respectfully Submitted on _____ 2025

By _____ (Signature of Bidder)

BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION

TERMS AND CONDITIONS

1. Bidder agrees to provide goods and/or services as described in this bid proposal to complete the Work, in a manner consistent with the highest standards of persons regularly engaged in providing such goods or services.
2. Bidder shall be compensated at the rates and prices set forth in this bid proposal once approved by the BENLIC Board of Directors, for goods and/or services actually provided and only after receipt of an original invoice within thirty (30) days and after all services are rendered, inspected and accepted. Surcharges (i.e. fuel surcharges) shall NOT be allowed to be added to invoices. In no event shall the BENLIC's liability for payment to Bidder under this Contract, exceed the sum stated in the bid proposal and approved by the BENLIC Board of Directors.
3. Bidder shall have seven (7) days from receipt of a Project Award Letter to provide BENLIC proof of insurance as detailed in the insurance requirements. Upon receipt of proof of insurance, BENLIC may issue a Notice and Order to Proceed Letter and Bidder shall within fifteen (15) days from receipt of same letter secure permits and start work. Bidder must forward copies of permits secured and notify BENLIC of the Start Date. From the Start Date, Bidder shall have forty-five (45) days to complete the work. Bidder shall immediately inform the BENLIC in writing by mail or facsimile transmission of any delay in providing goods and services to the BENLIC.
4. BENLIC may, with or without cause, terminate Bidder's services, in whole or in part, immediately upon giving notice to Bidder. In such event Bidder shall be compensated and the BENLIC shall be liable only for payment for services already rendered.
5. All records, if any, compiled by Bidder in providing services to BENLIC shall become and remain the property of BENLIC. Bidder may retain copies of such records for its own use.
6. No portion of the work necessary to provide goods or services to BENLIC may be assigned or subcontracted without the prior written consent of BENLIC.
7. Bidder agrees that it is an independent contractor and hereby waive all claims to benefits or privileges, if any available to persons as employees. Bidder shall comply, at Bidder's own cost and expense, with the provisions of all federal, state or local laws, ordinances, regulations or rules applicable to Bidder including without limitation, the N.Y.S. Labor Law and Worker's Compensation Law and any applicable license requirements.
9. Bidder agrees that in providing goods or services to BENLIC, Bidder or any person working on Bidder's behalf, shall not, by reason of race, creed, color, sex, age, physical disability, national origin, genetic predisposition, carrier status, marital status or any other protected class, discriminate against, intimidate or harass any individual.
10. Bidder agrees that, except for the amount, if any, of damage contributed to, caused by or resulting from the acts or omissions of BENLIC, Bidder shall indemnify, defend and hold harmless the BENLIC, its governmental sponsors-County of Erie, Cities of Buffalo, Lackawanna and/or Tonawanda, the Empire State Development Corporation, the Office of the New York Attorney General, their officers, employees and agents from and against any and all liability, damage, claims, demands, costs, judgments, fees, attorney's fees or loss arising directly or indirectly out of Bidder's acts or omissions or the acts or omissions of third parties under Bidder's direction and control.

BENLIC STANDARD INSURANCE PROVISIONS

CLASSIFICATION A:

Construction or Maintenance

BUFFALO ERIE NIAGARA LAND IMPROVEMENT CORPORATION STANDARD INSURANCE REQUIREMENTS

Vendor Insurance Classification A: Contracts Involving Construction or Maintenance

1. The contractor shall obtain, at its own cost and expense, the following insurance coverages with insurance companies licensed in the State of New York and shall provide a certificate of insurance as evidence of such coverages on the standard ACCORD Certificate, together with the corresponding policy endorsements.

- A. Commercial General Liability - with a minimum combined single limit of liability for Bodily Injury and Property Damage of \$3,000,000 per occurrence and \$3,000,000 general aggregate and \$3,000,000 Products – Completed Operation Aggregate. The coverage shall include:
 - Premises and Operations
 - Products and Completed Operations
 - Independent Contractors
 - Blanket Broad Form Contractual Liability (sufficient to cover all liability assumed under contracts with BENLIC)
 - Broad Form Property Damage
 - Explosion, Collapse and Underground Hazards (x, c, u) must NOT be excluded.Deductible must not exceed \$10,000.00
- B. Automobile Liability - with a minimum combined single limit of liability for Bodily Injury and Property Damage of \$1,000,000 each occurrence. The coverage shall include Owned, Hired, and Non-Owned Autos (Symbol "1" should be designated for Liability coverage on the Business Auto Policy). The deductible shall not exceed \$10,000.
- C. Excess "Umbrella" Liability - with a minimum limit of \$1,000,000 each occurrence / \$1,000,000 aggregate.
- D. Worker's Compensation and Employer's Liability - providing statutory coverage in compliance with the Worker's Compensation Law of the State of New York (Forms C-105.2; SI-12; GSI-105.2; or U-26.3). The deductible shall not exceed \$10,000.
- E. Disability Benefits - providing statutory coverage in compliance with the New York State Disability Benefits Law (Forms DB-120.1 or DB-155).

2. Commercial General Liability, Automobile Liability and Excess "Umbrella" Liability shall name the Buffalo Erie Niagara Land Improvement Corporation (BENLIC), and if applicable, HOUSING TRUST FUND CORPORATION, 38-40 State Street, Albany, NY 12207, and STATE OF NEW YORK, One Commerce Plaza, 99 Washington Ave, Albany, NY 12231-0001. Coverage should be provided on a primary and non-contributory bases. Designated Construction Project General Aggregate Limit Per Person Endorsement CG 2503 is required. Waiver of Subrogation is required on all lines in favor of BENLIC.

3. All policies in which BENLIC, and if applicable, HOUSING TRUST FUND CORPORATION and STATE OF NEW YORK is/are named as an additional insured(s) shall provide that:

- A. The insurance company or companies issuing the policies shall have no recourse against the BENLIC and/or HOUSING TRUST FUND CORPORATION and STATE OF NEW YORK for payment of any premiums or for assessments under any form of policy.
- B. The insurance shall apply separately to each insured (except with respect to the limit of the liability).

4. Prior to cancellation, non-renewal or material change of the above policies, at thirty (30) days advance written notice shall be given to the Executive Director of BENLIC with a copy to Counsel for BENLIC c/o John P. Sidd – Hancock Estabrook, LLP, 1800 AXA Tower I, 100 Madison Street, Syracuse, New York 13202, and the Agency requesting the certificate.

5. All certificates of insurance and policy endorsements shall be approved by the BENLIC Counsel prior to the inception of any work. Any request for a waiver of the above requirements shall be in writing to BENLIC Counsel c/o John P. Sidd – Hancock Estabrook, LLP, 1800 AXA Tower I, 100 Madison Street, Syracuse, New York 13202.

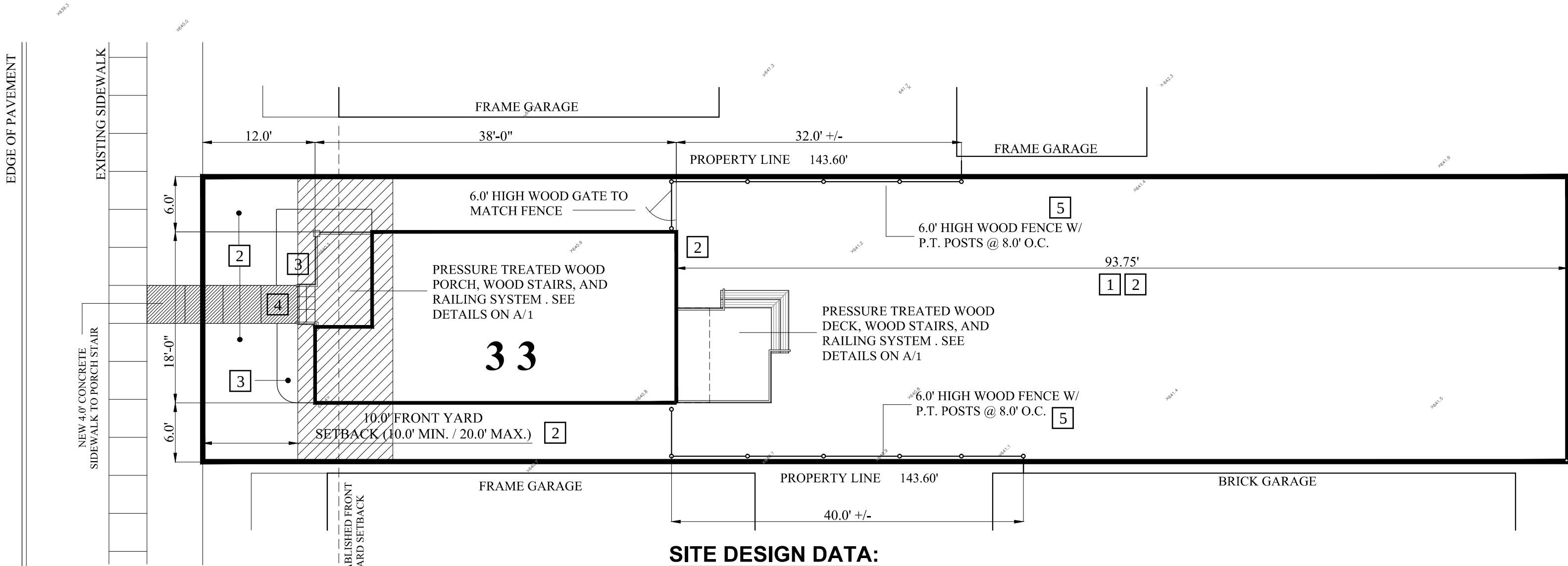
Failure to maintain coverage herein shall constitute a material breach of the contract and the Contractor shall suspend all work immediately upon such lapse in coverage.

BENLIC

SINGLE FAMILY HOUSE - NEW BUILD

33 SCHUELE STREET, BUFFALO NEW YORK

SCHUELE ST.



SITE DESIGN DATA:

33 SCHUELE STREET

ZONING CLASS:

(N3-R) RESIDENTIAL G

CONN2A.DWG

LOT AREA:

SITE TOTAL 4,308 SF (0.10 ACRES)

MINIMUM REQUIRED 900 SF (0.02 ACRES)

BUILDING COVERAGE:

PROPOSED 19% OF SITE (805 SF)

BUILDING COVERAGE MAX. 70%

BUILDING SETBACKS:

FRONT YARD REQUIRED 10.0' (+/- EST. LINE)

FRONT YARD PROPOSED 12.0'

SIDE YARD REQUIRED 3.0' MIN.

SIDE YARD PROPOSED 6.0' EACH SIDE

REAR YARD REQUIRED 20% DEPTH = 28.72'

REAR YARD PROPOSED 93.75'

BUILDING HEIGHT

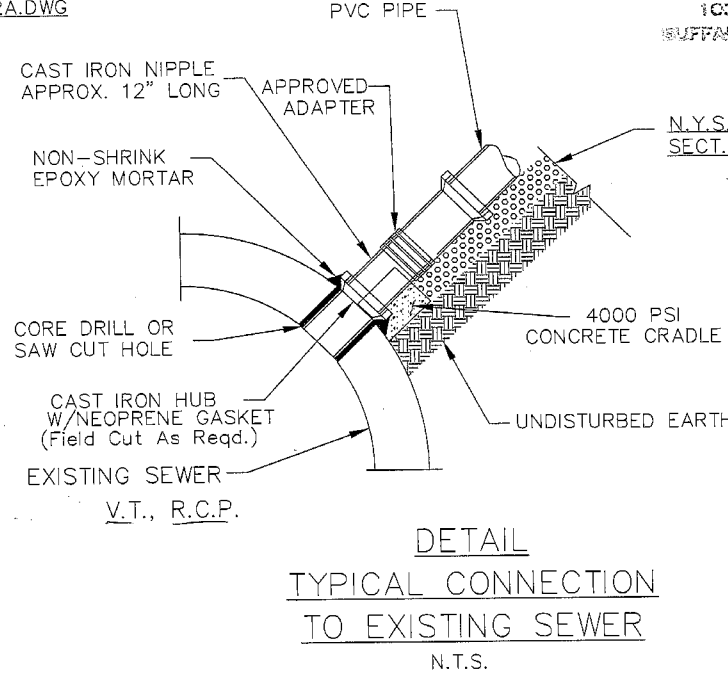
MAXIMUM BUILDING HEIGHT 3-STORIES - 40.0' FT

PROPOSED BUILDING HEIGHT 2-STORY - 26.5' +/-

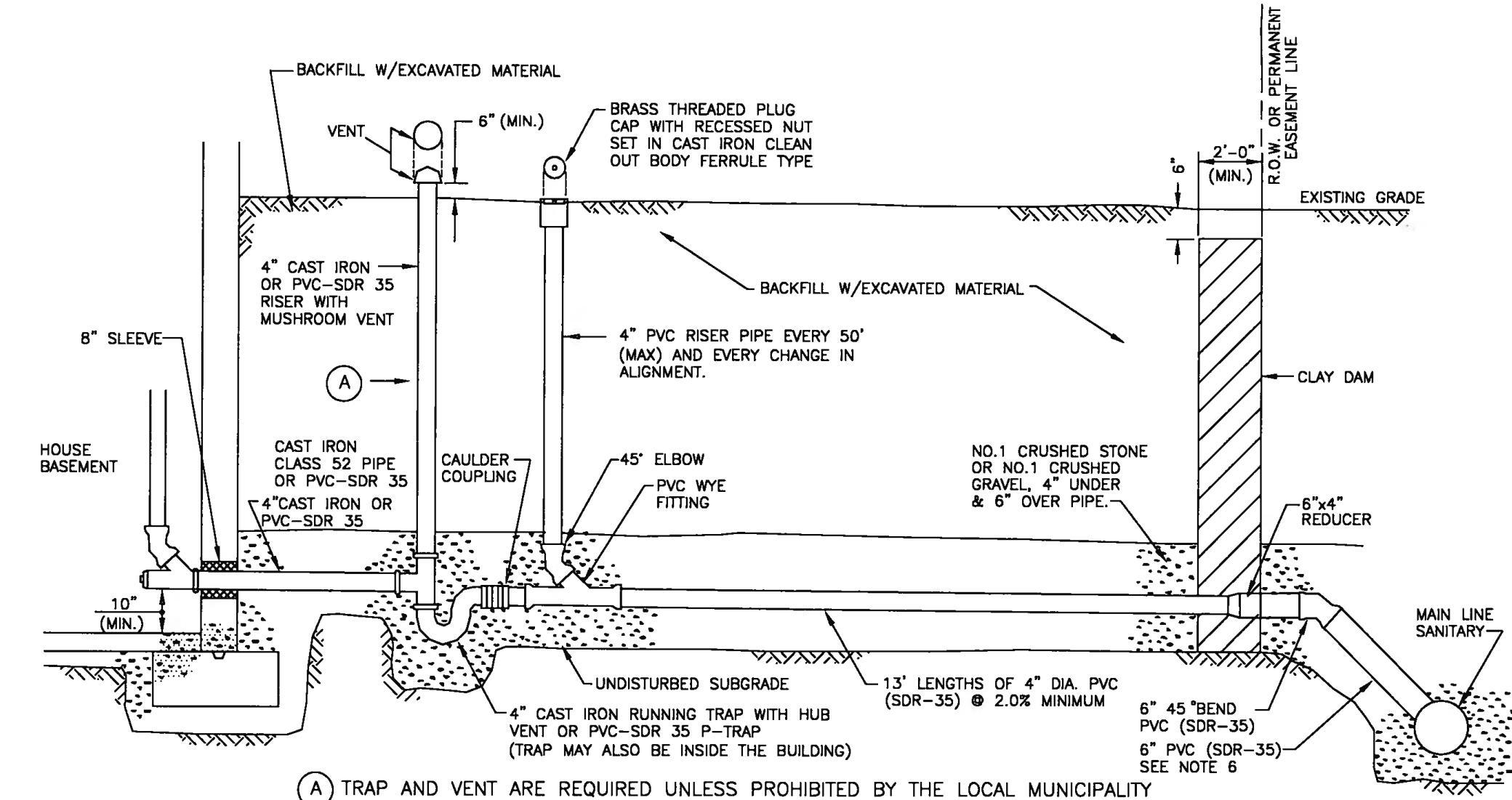
BUILD-TO PERCENTAGE

MINIMUM BUILD-TO % 85%

PROPOSED BUILD-TO % 60%



DETAIL
TYPICAL CONNECTION
TO EXISTING SEWER
N.T.S.



NOTES:

- NO INSPECTION WILL BE PROVIDED WITHOUT A PERMIT. INSPECTIONS REQUIRE 48 HR. ADVANCE NOTICE FOR SCHEDULING.
- ALL WORK MUST BE INSPECTED BY A COUNTY INSPECTOR.
- PVC PIPE MATERIAL SHALL BE MANUFACTURED IN ACCORDANCE WITH THE REQUIREMENTS OF THE D-303.3/D-303.4 CAST IRON PIPE MANUFACTURING STANDARD. HEAVY CAST IRON MEETING THE REQUIREMENTS OF ASTM A74-42.

- A MANUAL VALVE SHALL BE INSTALLED ON BASEMENT LAUNDRY DRAIN LINE.
- SEWERS AND CLEAN OUTS MUST BE INSTALLED IN LAWN AREAS, NOT IN SIDEWALK OR DRIVEWAY AREAS, PREFERABLY BETWEEN THE CURB AND EDGE OF PAVEMENT, AND THE SIDEWALK.
- SELECT BACKFILL REQUIRED UNDER PAVED AREAS.

- CONCRETE ENCASMENT IF COVER DEPTH IS LESS THAN 4'-0" UNDER PAVED AREAS.
- AN 8"x4" WYE WITH 6" PVC TO 6" 45° BEND, THEN 6"x4" REDUCER IS USED.
- A 6" CLEAN OUT IS REQUIRED AT R.O.W. WHENEVER THE MAIN SEWER IS UNDER THE PAVEMENT LIMITS OR AT FAR SIDE OF PAVEMENT.

- ANY EXCAVATION TO BE LEFT OPEN OVERNIGHT SHALL BE COMPLETELY ENCLOSED IN FENCING, OR WHERE NECESSARY, COVERED WITH STEEL PLATES.
- DOWN SPOTS, SUMP PUMPS, AND FOOTING DRAINS ARE NOT PERMITTED TO BE CONNECTED TO THE HOUSE LATERAL.
- NO CONNECTION SHALL BE MADE UNTIL BUILDING ROOF IS ERECTED AND BASEMENT FLOOR IS POURED.

GENERAL NOTES:

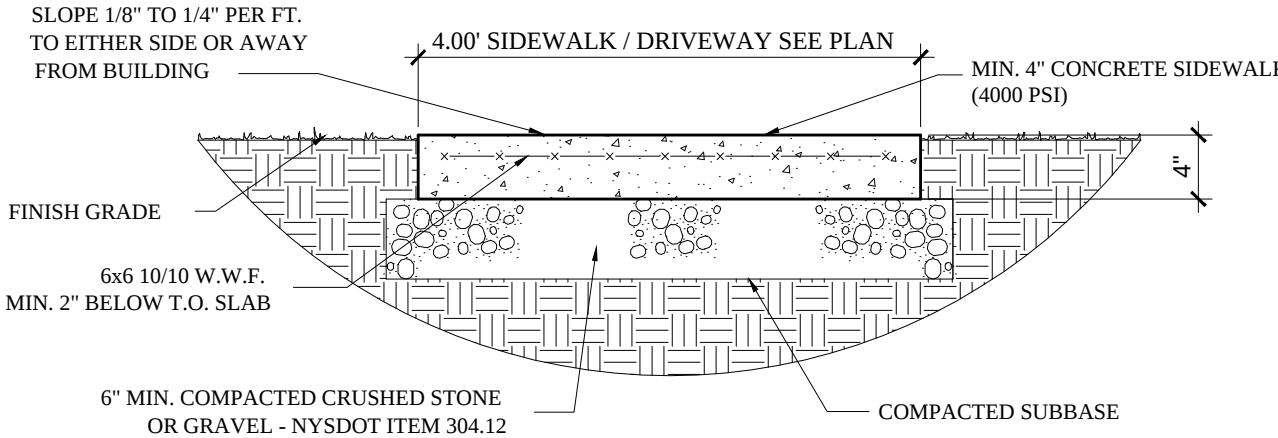
- ALL WORK TO CONFORM TO THE CITY OF BUFFALO CODES, REQUIREMENTS AND STANDARD SPECIFICATIONS. ANY PERMITS AND/OR LICENSES NECESSARY FOR THE EXECUTION FOR THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
- THE LOCATION OF UTILITIES AND OTHER FEATURES, AS SHOWN ON THE PLANS, ARE FROM THE BEST INFORMATION MADE AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INVESTIGATE AND VERIFY THE EXACT LOCATION OF UTILITIES AND OTHER SIGNIFICANT FEATURES PRIOR TO START OF CONSTRUCTION ORDER TO AVOID POTENTIAL CONFLICTS. DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF THE NYS INDUSTRIAL CODE RULE 53 AND THE NYS HIGH VOLTAGE PROXIMITY ACT.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL STATUTES REGARDING THE PREVENTION, CONTROL AND ABATEMENT OF SOIL EROSION, SEDIMENTATION AND WATER POLLUTION. ALL EROSION AND SEDIMENT CONTROL MEASURES/PRACTICES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL. NEEDED REPAIRS TO BE MADE IMMEDIATELY.
- REFERENCES TO NYS DOT STANDARDS SHALL MEAN THE "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, OFFICE OF ENGINEERING, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, JANUARY 2, 1990" INCLUDING ALL CURRENT ADDENDUMS.
- CONSTRUCTION IN ACCORDANCE WITH CITY CONSTRUCTION SPECIFICATIONS WHERE APPLICABLE AND/OR SUBJECT TO THE LATEST REVISIONS BY APPROPRIATE CITY ENGINEER.
- GRADING SHALL BE KEPT WITHIN THE LIMIT SHOWN ON THE GRADING PLAN. CONTRACTOR SHALL PROTECT EXISTING TREES AND VEGETATION OUTSIDE THE LIMITS OF GRADING.
- BUILDING DIMENSIONS INDICATED ON SITE PLANS ARE NOT INTENDED FOR BUILDING LAYOUT. SPECIFIC LAYOUT DIMENSIONS SHOULD UTILIZE THE ACTUAL ARCHITECTURAL BUILDING PLANS. ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL BUILDING PLANS AND THOSE INDICATED ON THESE PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHOULD STAKE OUT AND VERIFY EACH OF THE DIMENSIONS INDICATED PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHOULD LOCATE ALL PERTINENT PROPERTY, EASEMENT AND/OR RIGHT OF WAY LINES PRIOR TO COMMENCEMENT OF THE WORK. THE CONTRACTOR SHALL NOT TRESPASS OR COMMENCE WORK ON OTHER PROPERTIES, EASEMENTS OR RIGHT OF WAY WITHOUT PROPERLY NOTIFYING AND MEETING THE NECESSARY REQUIREMENTS OF THE PROPERTY OWNER OR AUTHORIZED AGENCY.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS, ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA, IN AN ADEQUATE AND SATISFACTORY MANNER.

GENERAL SITE NOTES:

- COPYRIGHT 2025 BY WING ARCHITECTURE PLLC. NO PART OF THIS WORK MAY BE REPRODUCED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING OR BY ANY INFORMATION STORAGE OR RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING BY WING ARCHITECTURE PLLC.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS AND SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
- CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL RESIDENTIAL CODE 2015.
- CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES ARE SOLELY THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
- VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND ADJUST ACCORDINGLY. IMMEDIATELY CONTACT THE ARCHITECT SHOULD DISCREPANCY OCCUR BETWEEN DRAWINGS AND EXISTING CONDITIONS.
- GENERAL CONTRACTOR TO PROVIDE TEMPORARY SAFETY, FIRE AND DUST PROTECTION BARRIERS AS REQUIRED.
- COORDINATE THE INSTALLATION OF ALL PLUMBING, MECHANICAL, AND ELECTRICAL COMPONENTS WITH THE GENERAL WORK.
- THE OVERALL PROJECT IS A COMPLETE UNDERTAKING. IT IS NOT THE INTENT OF THESE DRAWINGS TO SPECIFY OR DEPICT ALL ASPECTS OF THE WORK. THE CONTRACTOR MUST UNDERSTAND THAT THE PROJECT MAY CHANGE THROUGH THE COURSE OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN ADEQUATE PERSONNEL SUPERVISION CONSTANTLY ON THE SITE FROM THE COMMENCEMENT OF WORK UNTIL THE COMPLETION THEREOF, IRRESPECTIVE OF HIS FOREMAN OR FORMEN EMPLOYED BY ANY SUBCONTRACTOR. WORK SHALL BE PERFORMED UNDER THIS CONTRACT WITH DIRECT FULL-TIME, ON-SITE SUPERVISION BY THE PRIME CONTRACTOR'S PROJECT SUPERINTENDENT FOR THE JOB. THE SUPERINTENDENT SHALL BE PRESENT ON SITE EVERY DAY TO RECEIVE ORDERS AND DIRECTIONS FROM THE ARCHITECT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE WORK, AND SHALL HAVE THE AUTHORITY OF THE PRIME CONTRACTOR TO MAKE BINDING DECISIONS IN A TIMELY MANNER.

CONSTRUCTION NOTES - LANDSCAPING

- PROTECT EXISTING TREES THROUGHOUT CONSTRUCTION PROCESS. REMOVE ALL REMAINING SHRUBS AND MISCELLANEOUS VEGETATION PRIOR TO START OF WORK.
- INSTALL TOPSOIL, COMPLETE FINAL GRADING AND SEED, RAKE OR SCREEN TOPSOIL IN PREPARATION FOR LAWN INSTALLATION. SEED, WATER, AND MAINTAIN ALL LAWN AREAS UNTIL THE FIRST CUT.
- CONSTRUCT RAISED BED PLANTING BEDS IN DESIGNATED AREAS. PROVIDE PLANTS PER OWNER INSTRUCTION. PLANTING BEDS SHALL BE NO LESS THAN 8 INCHES ABOVE FINAL GRADE AND SEED.
- INSTALL CONCRETE SIDEWALKS AS LAID OUT ON THE SITE PLAN 1/C1 AND ASSOCIATED DETAILS ON C1.
- INSTALL 6.0 FOOT HIGH STOCKADE WOOD FENCE. EACH WOOD FENCE PANEL SHALL BE 6'0" X 8'0" AND INSTALLED ON 4" X 4" PRESSURE TREATED POST EMBEDDED IN 12" CONCRETE FOOTERS. INSTALL (1) WOOD GATE ON NORTH SIDE OF PROPERTY - SEE LOCATION ON PLAN.



NOTES:

- CONTROL JOINTS TO BE AT 5.00' MIN. SIDEWALK
- CONCRETE SIDEWALK MATERIAL SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 603 AND CONSTRUCTION METHODS SHALL CONFORM TO NYS DOT STANDARD SPECIFICATION 608-3.

CONCRETE PAVEMENT DETAIL

1" = 1'-0"

NOTES:

- COMBINE UNDERGROUND SANITARY AND STORM LATERAL LINES AFTER CLEANOUT. RUN 4" PVC COMBINED STORM / SANITARY LINE TO STREET CONNECTION POINT. SEE CONNECTION DETAIL.
- RUN NEW ELECTRIC SERVICE FROM EXISTING OVERHEAD POWER LINE AT STREET TO ELECTRICAL ON SOUTH WEST HOUSE CORNER.
- UTILITY AND SITE INFORMATION WAS TAKEN FROM FROM A SURVEY COMPLETED BY KHEOPS ARCHITECTURE, ENGINEERING, & SURVEY, DPC ON JULY 3rd, 2025. REVIEW 'DIG SAFE' INFORMATION CAREFULLY PRIOR TO EXCAVATION AND UTILITY CONNECTION WORK.

LEGEND:

- STM --- UNDERGROUND 4" HDPE STORM DRAIN
- SAN — UNDERGROUND 4" PVC SDR-35 SANITARY DRAIN 2% MIN SLOPE.
- OHW — OVERHEAD ELECTRIC SERVICE 200A, 120/240V, 1PH, 3 WIRE SERVICE.
- W — 1" TYPE 'K' COPPER DOMESTIC WATER SERVICE TO WATER METER.
- ⊙ TYPICAL CONNECTION POINT

SITE UTILITY PLAN

1" = 10'-0"

WING
ARCHITECTURE PLLC
ARCHITECTURE • CONSULTING • PLANNING • DESIGN

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PROFESSIONAL SEAL:



Drawings conveyed for acquisition of building permit shall be signed, sealed and dated.

CONSULTANT:

CLIENT:

BENLIC
403 MAIN STREET, SUITE 602
BUFFALO, NEW YORK 14203

PROJECT:

SINGLE FAMILY HOUSE

33 SCHUELE STREET
BUFFALO, NEW YORK 14215

REVISIONS / SUBMISSIONS:

Date

SITE PLAN /
SITE UTILITY PLAN

DRAWING TITLE:

BID DOCUMENTS
/ PERMIT PLANS

ISSUE DATE:

10-8-2025

SHEET TITLE:

C-1

NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.



ABBREVIATIONS:

BC BOTTOM OF CURB
TC TOP OF CURB
CONC CONCRETE
SS SANDSTONE

LEGEND:

△ CONTROL POINT
⊕ DECIDUOUS TREE
+ GROUND SHOT 1DP
● MAG NAIL

SURVEY LINE TYPES:

EDGE OF PAVEMENT -----
FENCE - x - x - x - x - x -
PROPERTY LOT LINE (APPROX) - - - - -

UTILITY LINE TYPES:

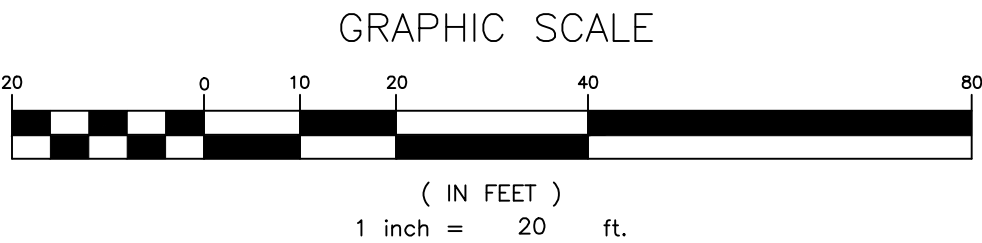
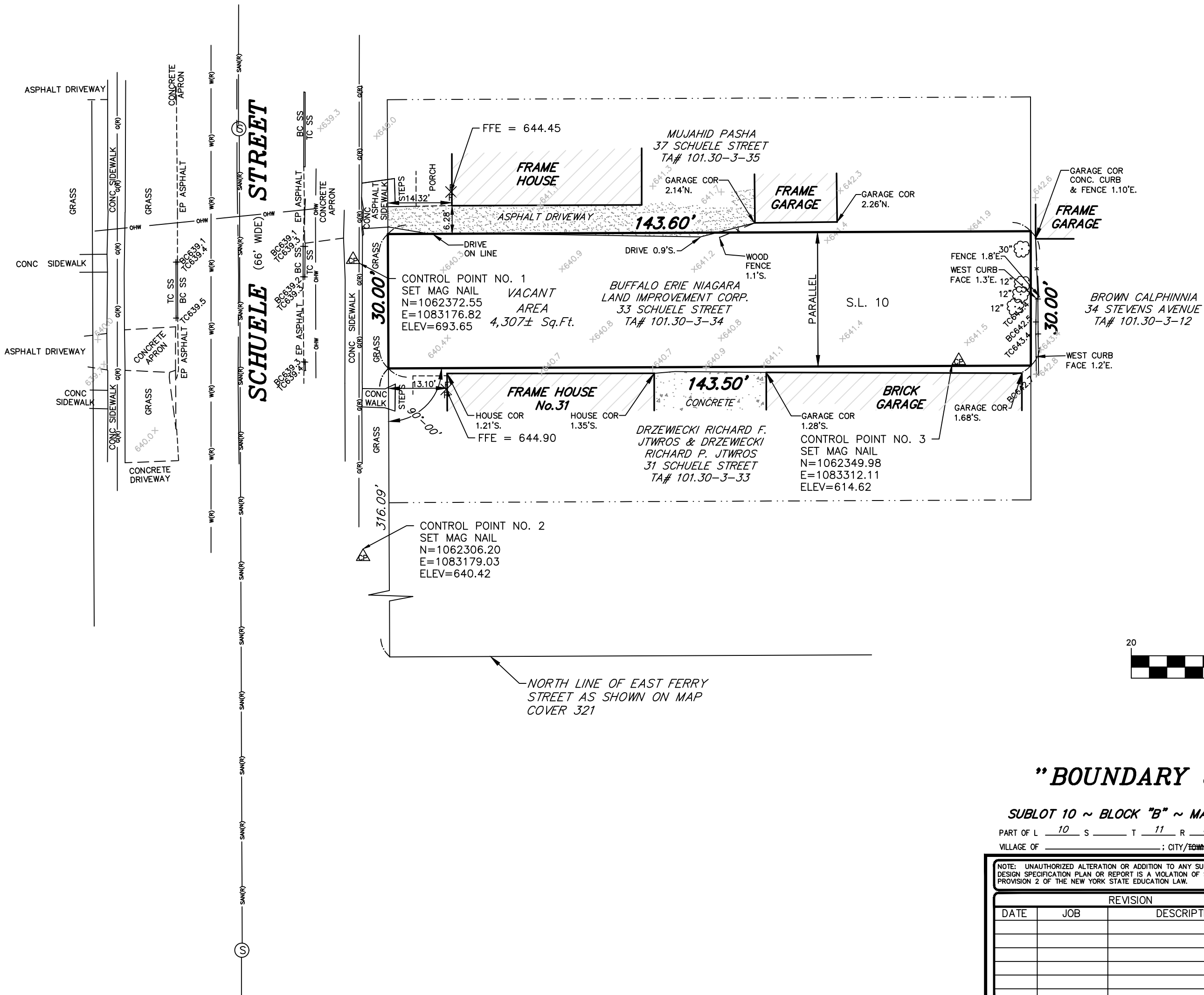
GAS LINE (RECORD) --- G(R) --- G(R) --- G(R) ---
OVERHEAD WIRES --- OHW --- OHW ---
SANITARY SEWER LINE (RECORD) --- SAN(R) --- SAN(R) ---
STORM SEWER LINE (RECORD) --- ST(R) --- ST(R) ---
WATER LINE (RECORD) --- W(R) --- W(R) --- W(R) ---

DIG SAFE UTILITY:

TYPE	COMPANY	RESPONSE	AFFECTED
COMMUNICATION	VERIZON	YES	NO
ELECTRIC	NATIONAL GRID	YES	NO
GAS	NATIONAL FUEL	YES	YES
STORM SEWER	BUFFALO SEWER AUTHORITY	YES	YES
SANITARY	BUFFALO SEWER AUTHORITY	YES	YES
WATER	ERIE COUNTY WATER OR OTHER	YES	YES

NOTE:
UTILITY INFORMATION WAS PROVIDED FROM FIELD SURVEY AND DIG SAFE. DIG SAFE DESIGN TICKET IS #06285-001-405 06/28/2025. UTILITY COMPANIES WERE CONTACTED VIA PHONE AND EMAIL. IF NO RESPONSE FROM UTILITY COMPANY BEFORE PROJECT GOES TO CLIENT; KHEOPS WILL FORWARD ON TO THE CLIENT ANY LATE UTILITY INFO/EMAILS RECEIVED.

THE UTILITY INFORMATION SHOWN ON THE SURVEY DRAWING ARE FROM A DIG SAFE DESIGN TICKET AND SHOULD NOT REPLACE AN ACTUAL DIG LOCATION TICKET.



"BOUNDARY & TOPOGRAPHIC SURVEY"

SUBLOT 10 ~ BLOCK "B" ~ MAP COVER 321

PART OF L 10 S 11 R 8 OF THE HOLLAND LAND COMPANY'S SURVEY
VILLAGE OF BUFFALO; CITY/TOWN OF BUFFALO; COUNTY OF ERIE; STATE OF NEW YORK

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY, DRAWING, DESIGN SPECIFICATION PLAN OR REPORT IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

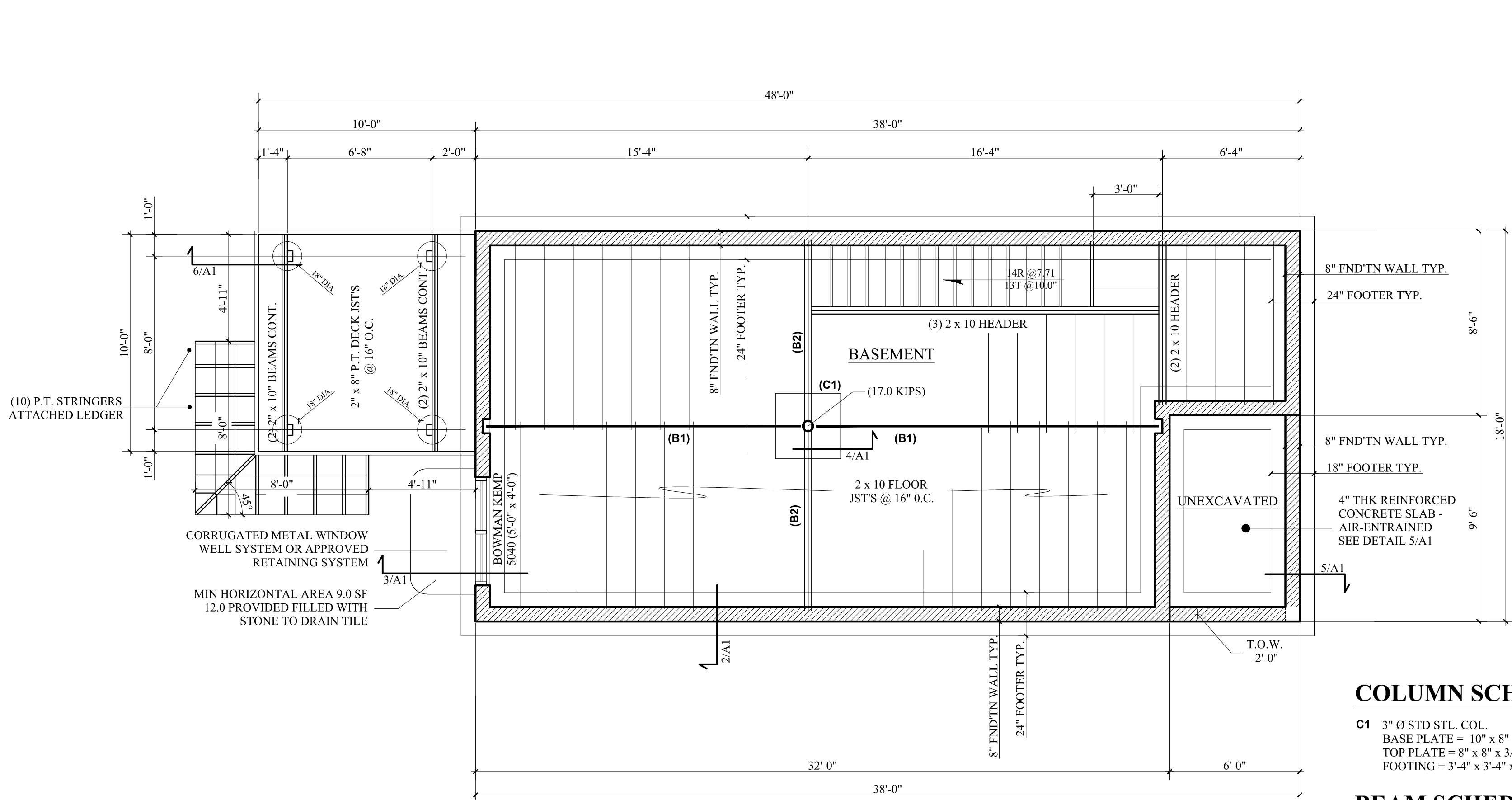
DATE	JOB	REVISION	DESCRIPTION

SBL No. AS NOTED

KHEOPS
ARCHITECTURE, ENGINEERING
& SURVEY, DPC

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DRAWN BY BJM SCALE 1"=20'
CHECKED BY GEM JOB NO. 25NY016.01
CAD FILE 33SCHUELE-66171 FIELD/OFFICE DATE 7-3-25
BOOK 434 PAGE 121 MAP 66171



1 FOUNDATION PLAN

1/4" = 1'-0"

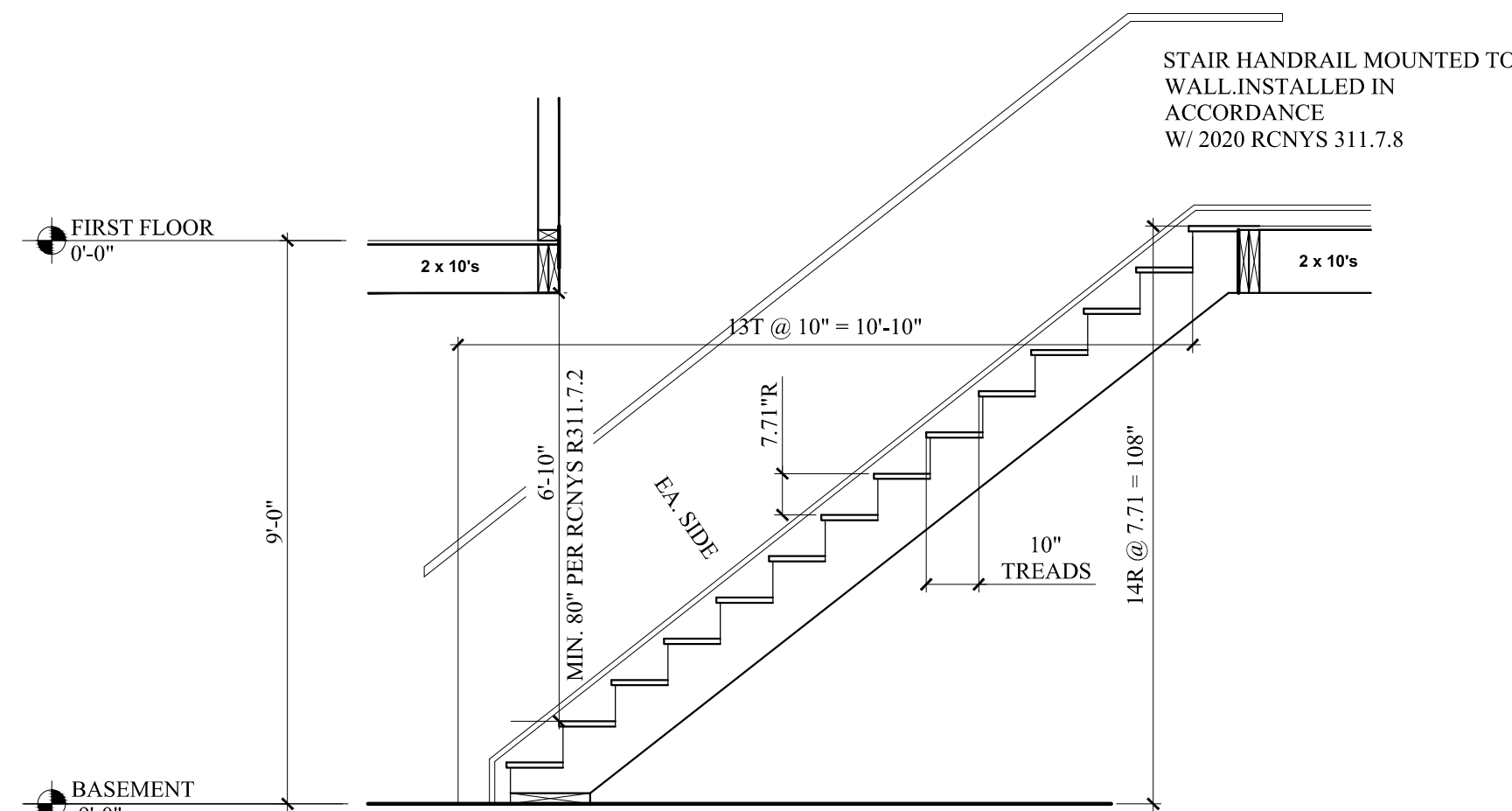
NORTH

COLUMN SCHEDULE:

C1 3" Ø STD STL. COL. (17.0K)
BASE PLATE = 10" x 8" x 3/8"
TOP PLATE = 8" x 8" x 3/8"
FOOTING = 3'-4" x 3'-4" x 8"

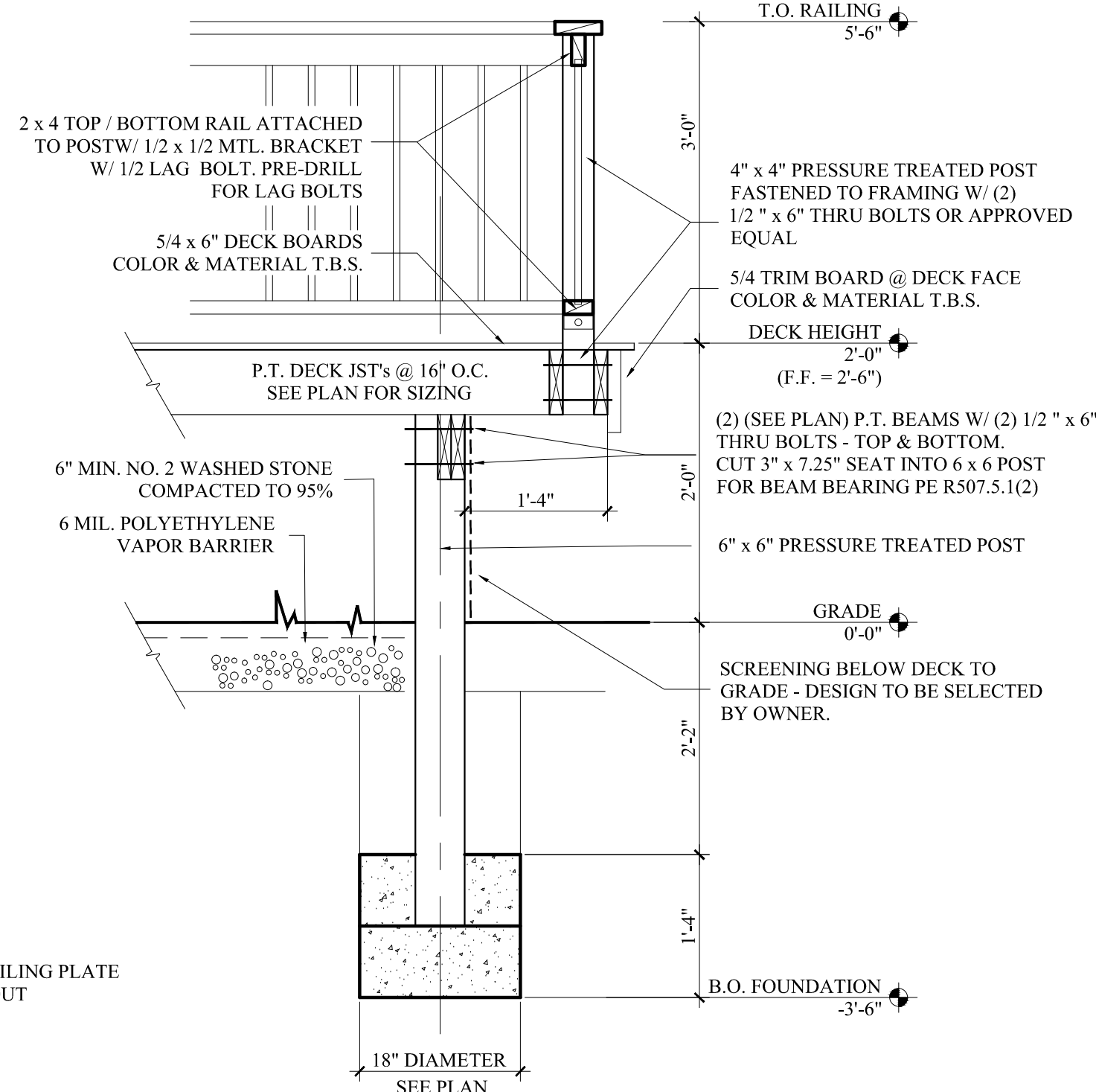
BEAM SCHEDULE:

B1 W8 x 13 50KSI STEEL BEAM (8.80K @ 16.0')
B2 (2) 1 3/4 x 9 1/2 LVL's (E=2.0) (4.68K @ 9.0')
CONTINUOUS LVL (18.0')



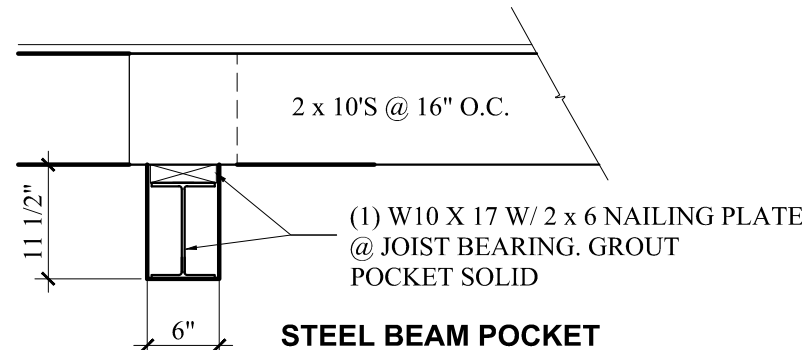
BASEMENT STAIR DETAIL

3/8" = 1'-0"

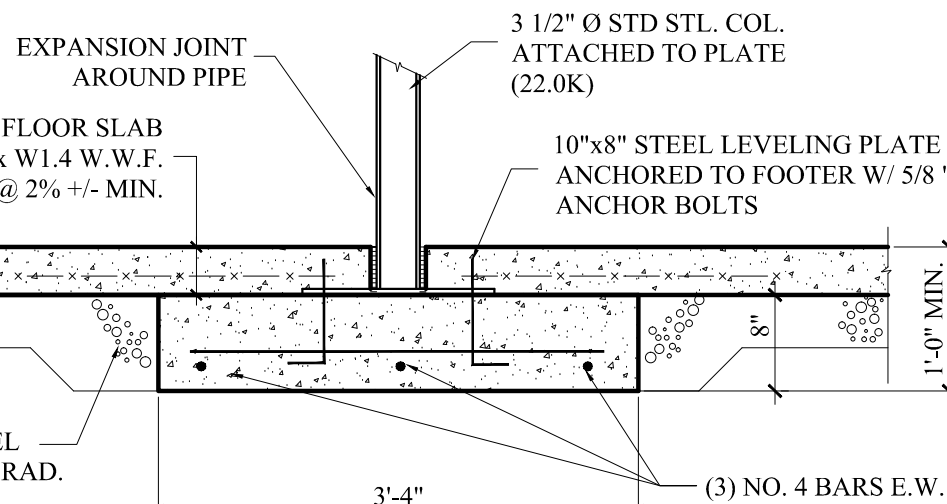
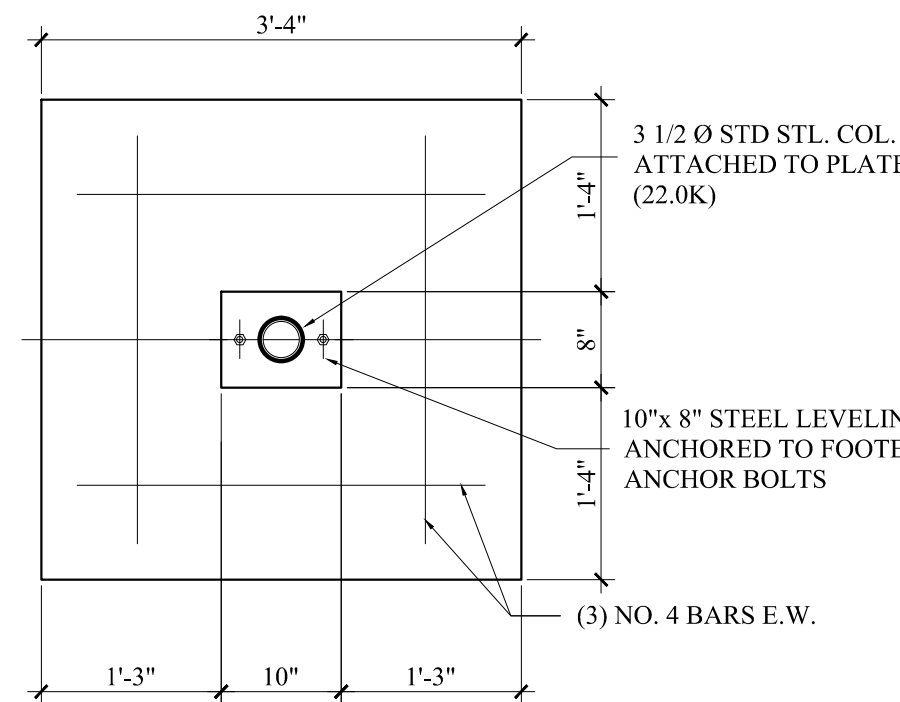


REAR DECK FOUNDATION DETAIL

3/4" = 1'-0"

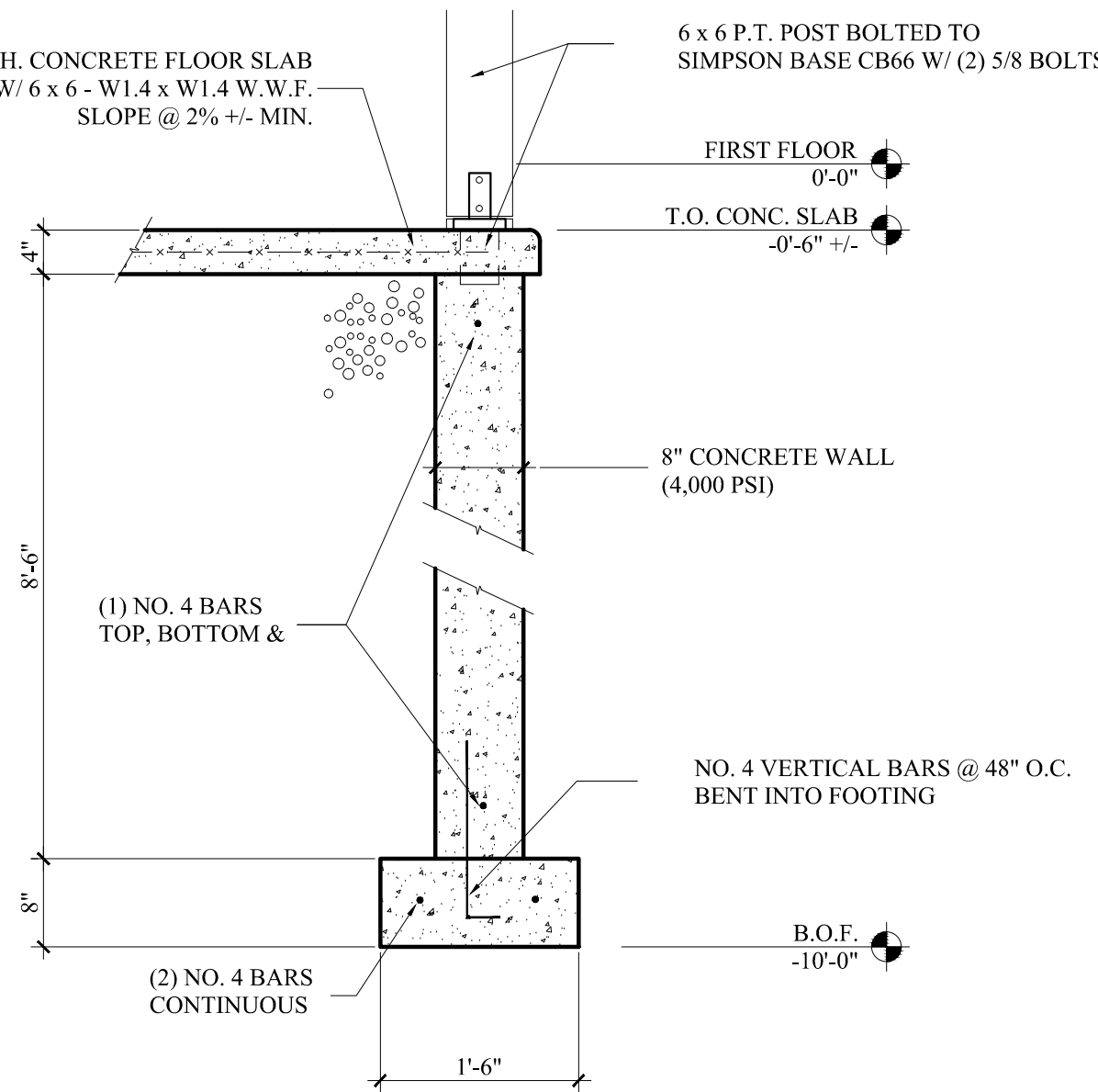


STEEL BEAM POCKET



C1 - COLUMN FOUNDATION DETAIL

3/4" = 1'-0"



FRONT PORCH FOUNDATION DETAIL

3/4" = 1'-0"

PROFESSIONAL SEAL:



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BUFFALO, NEW YORK 14203

PROJECT:

SINGLE FAMILY HOUSE

33 SCHUELE STREET
BUFFALO, NEW YORK 14215

REVISIONS / SUBMISSIONS:

Date

FOUNDATION PLAN
FOUNDATION DETAILS

DRAWING TITLE:

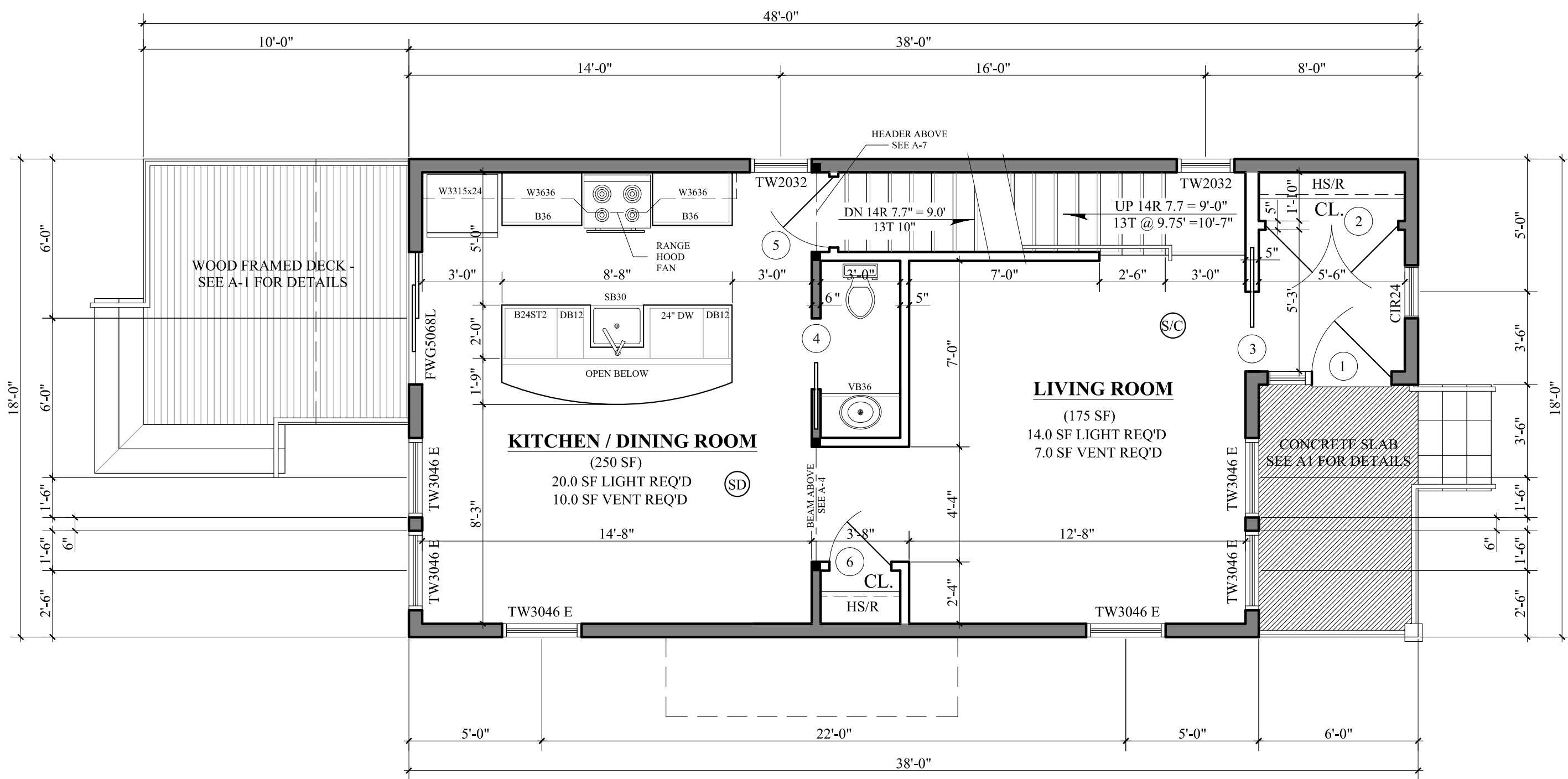
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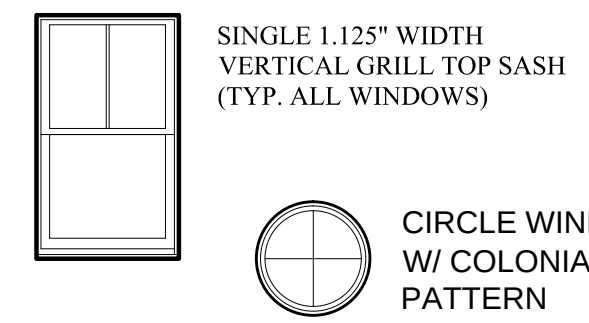
A-1



1 FIRST FLOOR PLAN
1/4" = 1'-0"

WINDOW SCHEDULE / DESIGNATION

- E - FIXED
F - DOUBLE HUNG
TW - TILT - WASH
T - TRANSOM
EMERGENCY EGRESS
- TW3046 - 38" x 57" (V=5.73 L=10.31)
TW2032 - 26" x 41" (V=2.48 L=4.21)
TW2832 - 34" x 41" (V=3.39 L=5.98)
CIR24 - 24" DIAMETER (L=3.0)

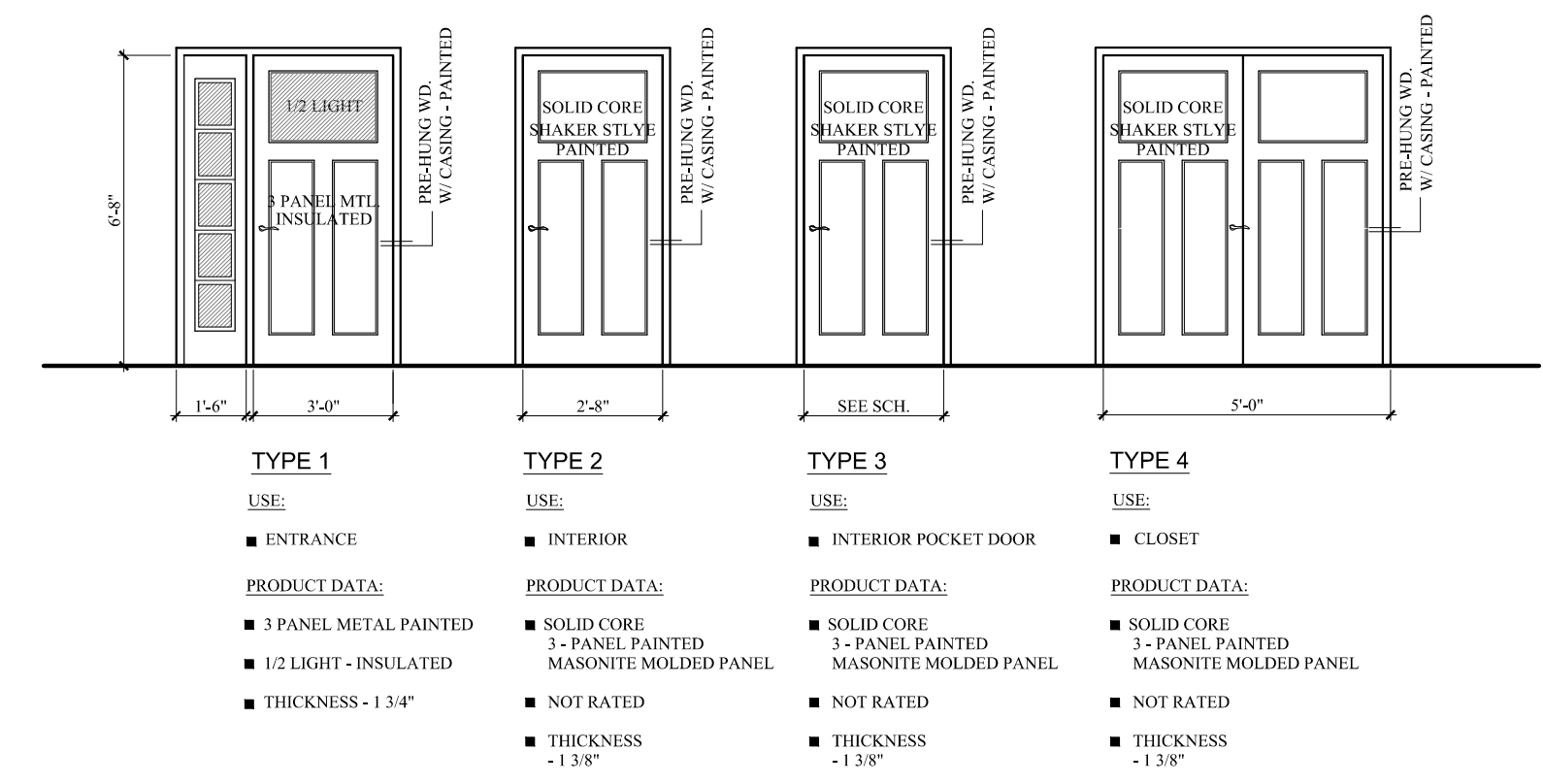


WALL TYPE LEGEND

- CONCRETE WALLS
NON BEARING PARTITION
BEARING PARTITION
BEAM / HEADER

SYMBOLS

- HS/R HAT SHELF AND ROD
SD SMOKE DETECTOR
C/C CARBON MONOXIDE DETECTOR
VENTILATION FAN / LIGHT COMBO
MIN. 15 CFM PER OCCUPANT
SECTION INDICATOR



INTERIOR DOOR AND FRAME SCHEDULE											
OPNG #	DOOR					FRAME				NOTES	
	TYPE	SIZE			MATL	TYPE	MATL	DETAIL			
		WD	HGT	THK				HEAD	JAMB		
1	1	3'-0"	6'-8"	1 3/4"	MTL	1				(1) 18" SIDELIGHT - INSULATED	
2	4	5'-0"	6'-8"	1 3/8"	MDF	1	-	-		HINGED	
3	3	3'-0"	6'-8"	1 3/8"	MDF	1	-	-		POCKET DOOR W/ HARDWARE	
4	3	2'-8"	6'-8"	1 3/8"	MDF	1	-	-		POCKET DOOR W/ HARDWARE	
5	2	2'-8"	6'-8"	1 3/8"	MDF	1	-	-			
6	2	2'-8"	6'-8"	1 3/8"	MDF	1	-	-			
7	2	2'-8"	6'-8"	1 3/8"	MDF	1	-	-			
8	2	2'-8"	6'-8"	1 3/8"	MDF	1	-	-			
9	4	5'-0"	6'-8"	1 3/8"	MDF	1	-	-		SLIDING DOOR TRACK HDWR	
10	4	5'-0"	6'-8"	1 3/8"	MDF	1	-	-		SLIDING DOOR TRACK HDWR	
11	2	2'-8"	6'-8"	1 3/8"	MDF	1	-	-			
12	2	2'-8"	6'-8"	1 3/8"	MDF	1	-	-			
13	2	2'-8"	6'-8"	1 3/8"	MDF	1					
14		1'-8"	6'-8"	1 3/8"	MDF	1				LINEN CLOSET	

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
	VINYL PLANK LVT	CARPET BROADLOOM	SHEET VINYL	MDF - PRIMED RESILIENT - RUBBER	GYPSUM W.B. - PAINTED TUB SURROUND GYPSUM W.B. - PAINTED CEILING HEIGHT
LIVING ROOM	•	•	•	•	
KITCHEN / DINING ROOM	•	•	•	•	
HALF BATH	•	•	•	•	
CLOSET	•	•	•	•	
STAIR	•	•	•	•	
BEDROOM 1	•	•	•	•	
WALK-IN CLOSET	•	•	•	•	
BEDROOM 2	•	•	•	•	
BEDROOM CLOSET	•	•	•	•	
BEDROOM 3	•	•	•	•	
BEDROOM CLOSET	•	•	•	•	
BATHROOM	•	•	•	•	* MOLDED TUB/SHOWER
HALLWAY	•	•	•	•	

ARCHITECTS FINISH SCHEDULE

TYPE	MAKE - MODEL - COLOR	GENERAL LOCATION
INTERIOR PAINT	SHERWIN WILLIAMS - SW7012 - CREAMY LRV83 OR EQV.	DWELLING UNIT EXCEPT BATHROOMS
INTERIOR PAINT	SHERWIN WILLIAMS - SW7032 - WARM STONE LRV21 OR EQV.	BATHROOMS
LINOLEUM SHEET GOODS	TRAFFIC MASTER - SHEET VINYL - BRUSHED LIMESTONE NEUTRAL	KITCHENS AND BATHROOMS
VINYL PLANK	TARKETT - CROSSROADS - CHERRY (I402) (WATER RESIST) OR FLAMED OAK CANYON OR HOME DECORATORS COLLECT - 60199 - JAVA HICKORY (WATER PROOF)	LIVING ROOMS, HALLWAYS, DINING ROOMS, BATHROOMS
LUXURY VINYL TILE	TRAFFIC MASTER - ALLURE GRIPSTRIP - BENLIC CHOICE STANDARD COLOR	KITCHENS, BATHROOMS, HALLWAYS, DINING ROOMS
CARPET	HOME DECORATORS COLLECTION - MADISON II - HAVENWOOD TEXTURE OR EQV.	BEDROOMS, STAIRS TO SECOND LEVEL, SECOND LEVEL HALLWAYS
KITCHEN CABINETS	WAYPOINT - 420 - BENLIC CHOICE COLOR; CHERRY JAVA OR MAPLE COFFEE OR EQV.	KITCHENS
KITCHEN COUNTERTOPS	WILSONART - PREM. LAMINATE - ITALIAN WHITE DI PESCO (#4954) (W/ CHERRY CAB.) OR KALAHARI TOPAZ (4588) OR CAFE DI PESCO (#4955) (W/ MAPLE CAB.)	KITCHENS
KITCHEN SINK	GLACIER BAY - ALL-IN-ONE DROP-IN STAINLESS STEEL .33IN. 3 HOLE DOUBLE BOWL	KITCHENS
FRIDGE	FRIGIDAIRE 18 CU. FT. TO 20.4 CU. FT. TOP FREEZER (FFTR1821TD/TW)	KITCHENS
RANGE	WHIRLPOOL - GAS RANGE 30" 5.0 CU. FT. SELF-CLEANING - (MODEL WFG53020EB) BENLIC CHOICE; BLACK OR STAINLESS	KITCHENS
RANGE HOOD	NUTONE RL62000 30" NON-VENTED HOOD COLOR: BLACK	KITCHENS
DISHWASHER	WHIRLPOOL - MODEL # WDF550SAFB BLACK OR STAINLESS	KITCHENS
BATHROOM VANITY	GLACIER BAY - 24-1/2" BATH VANITY IN WHITE W/ VANITY TOP IN WHITE, WHITE BASIN (MODEL #GB24P2COW-WH) OR EQV.	BATHROOMS
BATHROOM MIRROR	GLACIER BAY - 30" W X 36" L BEVELED EDGE BATH MIRROR (MODEL #B1176) OR EQV.	BATHROOMS
TUB	DELTA - CLASSIC 400 - 5' SOAKING TUB IN WHITE (MODEL #40034L)	BATHROOMS
TUB SURROUND	DELTA - CLASSIC 400 THREE PIECE DIRECT-TO-STUD SURROUND IN WHITE 32" X 60" X 60"	BATHROOMS
FAUCET	DELTA - FOUNDATIONS - SINGLE HANDLE 1 SPRAY TUB AND SHOWER FAUCET (CHROME, W VALVE)	BATHROOMS
TOILET	GLACIER BAY - 2 PIECE 1.28 GPF HIGH EFFICIENCY ELONGATED TOILET - WHITE (MODEL#N428E)	BATHROOMS
SIDING	CERTAIN TEED - MAINSTREET DOUBLE 4" DUTCHLAP - COLOR: DESERT TAN (OR EQV.)	EXTERIOR

2 SECOND FLOOR PLAN
1/4" = 1'-0"

25 KENWOOD ROAD
KENMORE, NEW YORK 14217
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Phone: 716.348.2913

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PROFESSIONAL SEAL:



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CLIENT:

BENLIC
403 MAIN STREET, SUITE 602
BUFFALO, NEW YORK 14203

PROJECT:

SINGLE FAMILY HOUSE

33 SCHUELE STREET
BUFFALO, NEW YORK 14215

REVISIONS / SUBMISSIONS:

Date

1st FLOOR PLAN /
2nd FLOOR PLAN

DRAWING TITLE:

BID DOCUMENTS /
PERMIT DRAWINGS

ISSUE DATE:

10-8-2025

SHEET TITLE:

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403 MAIN STREET, SUITE 602
BUFFALO, NEW YORK 14203

PROJECT:

SINGLE FAMILY HOUSE

33 SCHUELE STREET
BUFFALO, NEW YORK 14228

REVISIONS / SUBMISSIONS: Date

ELEVATIONS

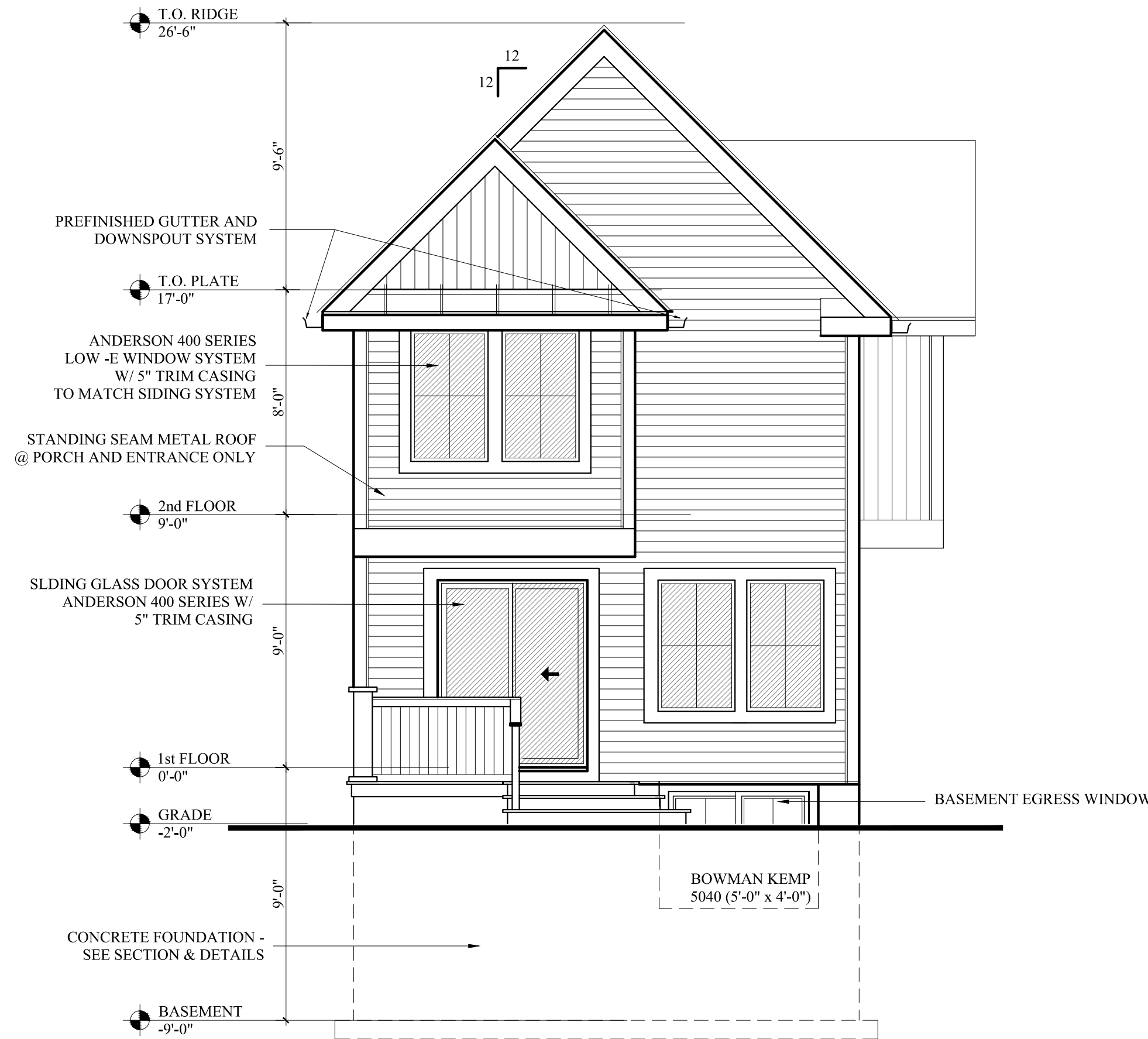
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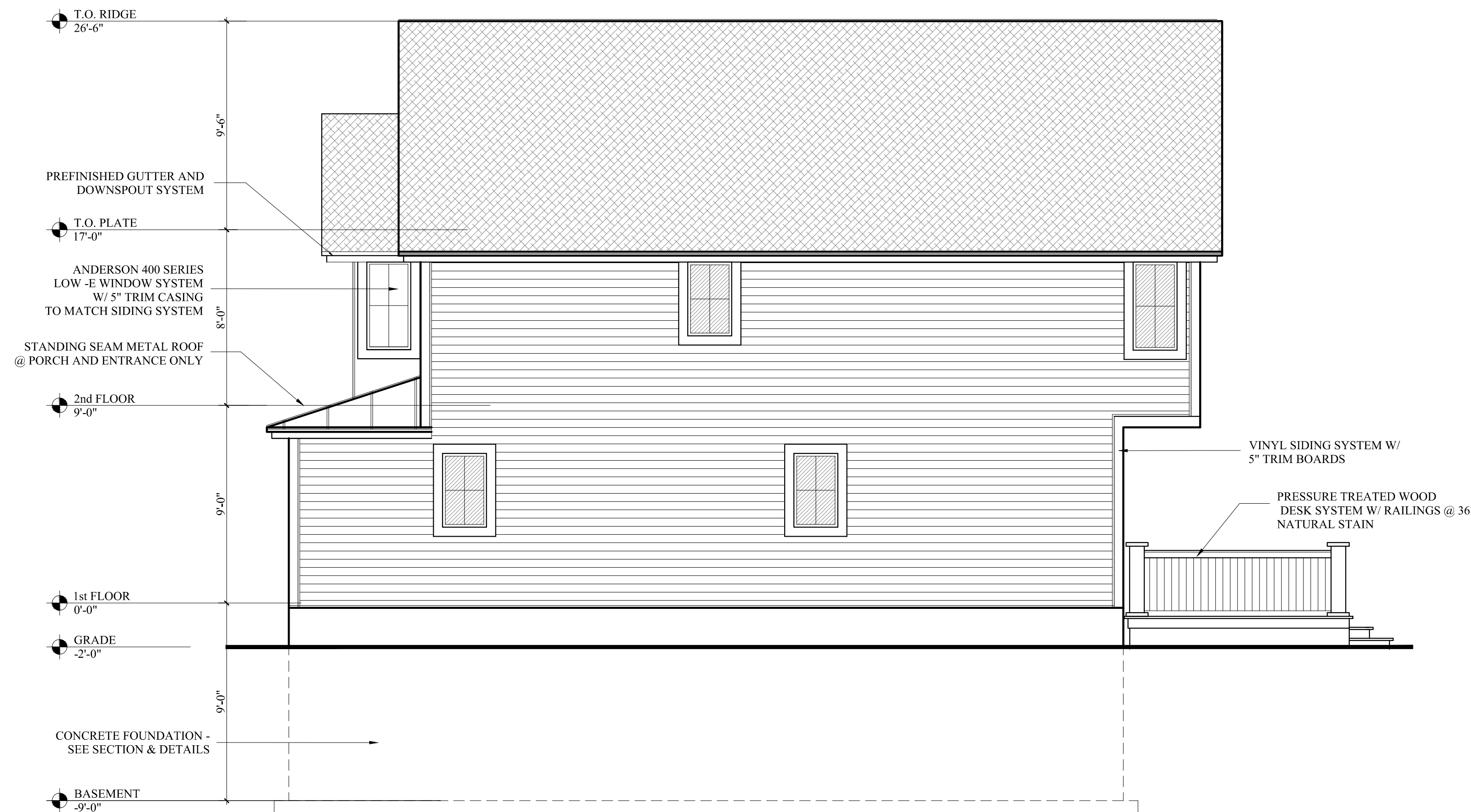
ISSUE DATE: 10-8-2025

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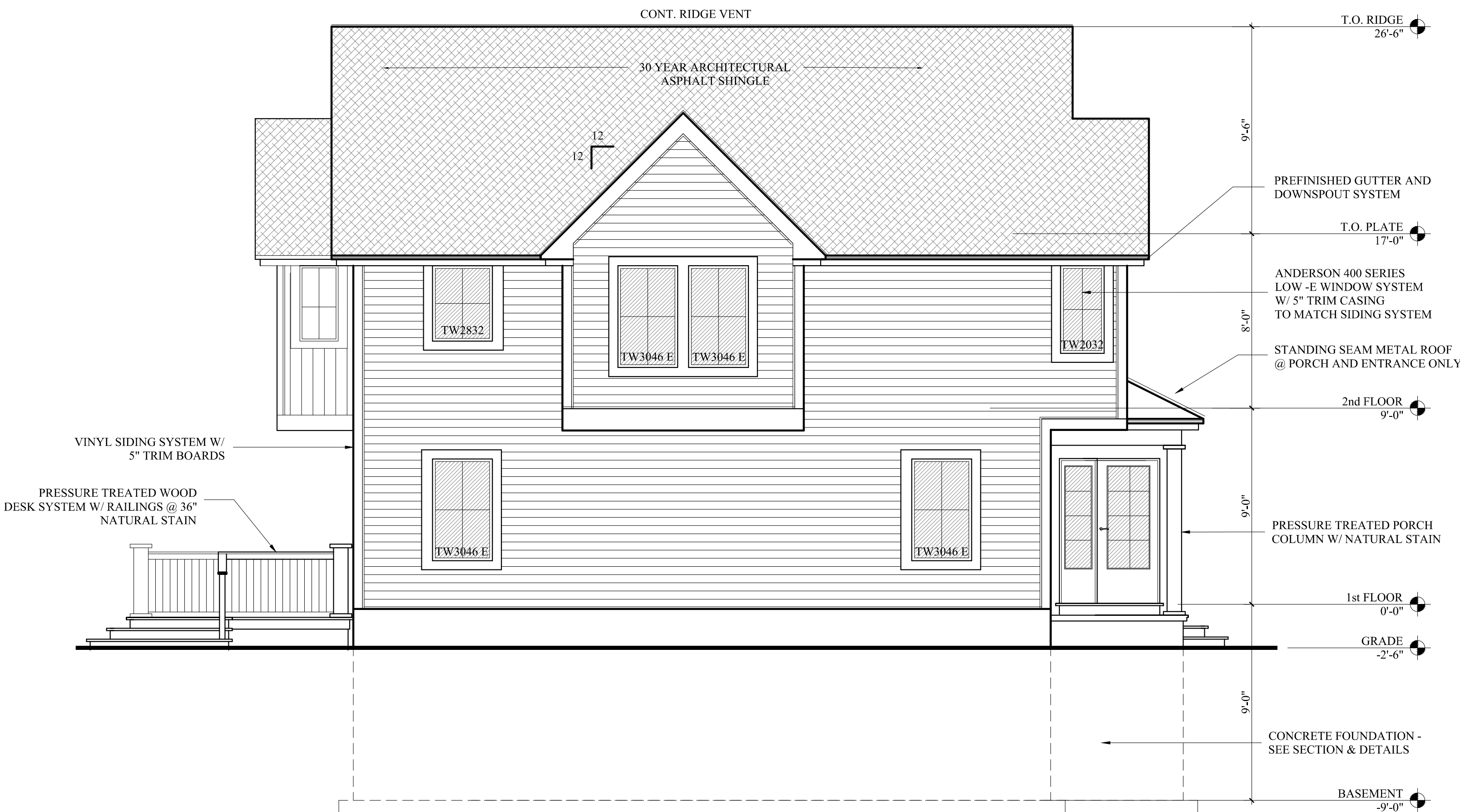
A-3



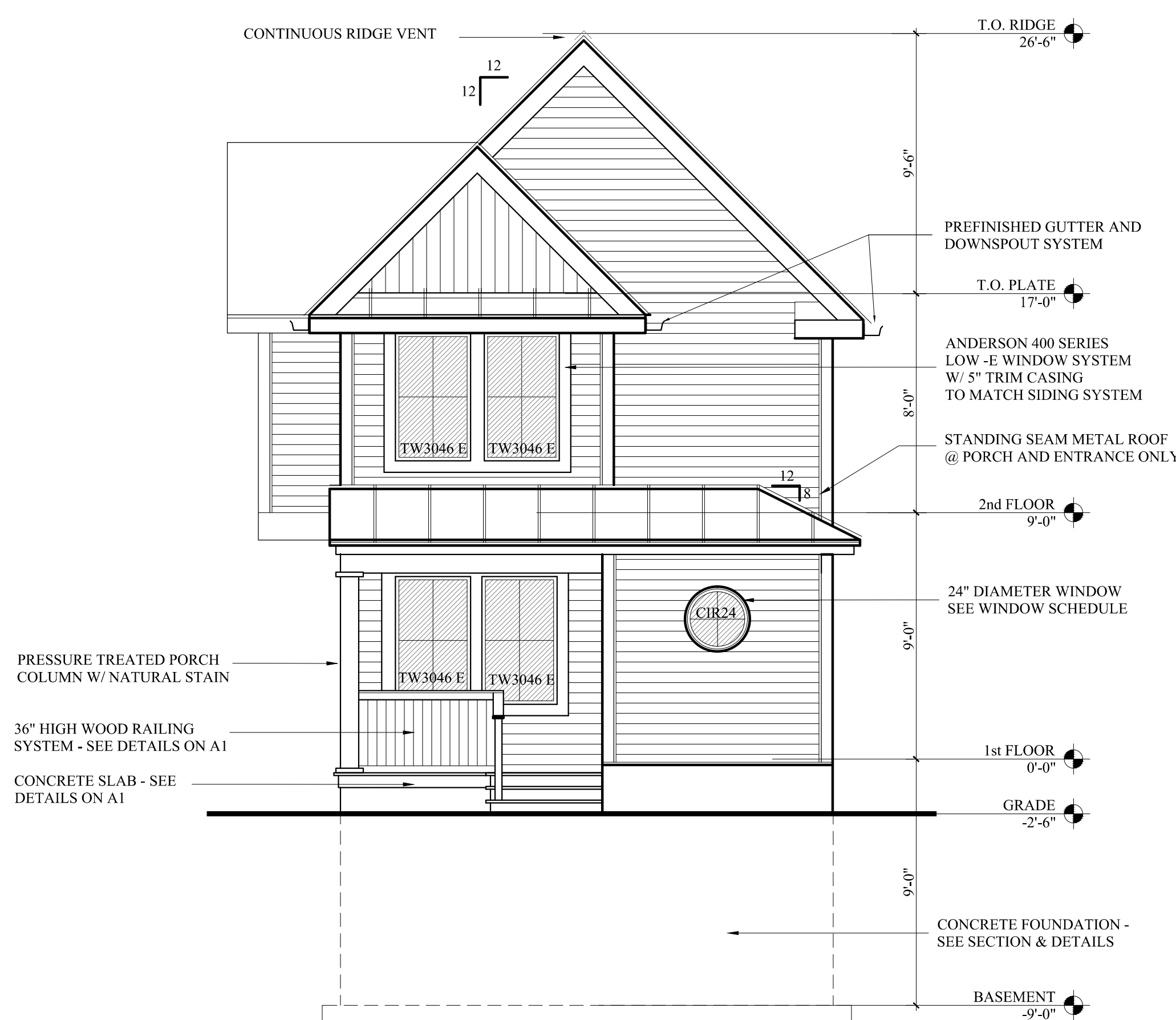
1 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

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SINGLE FAMILY HOUSE

33 SCHUELE STREET
BUFFALO, NEW YORK 14215

REVISIONS / SUBMISSIONS:

Date

FRAMING PLANS WALL SECTIONS

DRAWING TITLE:

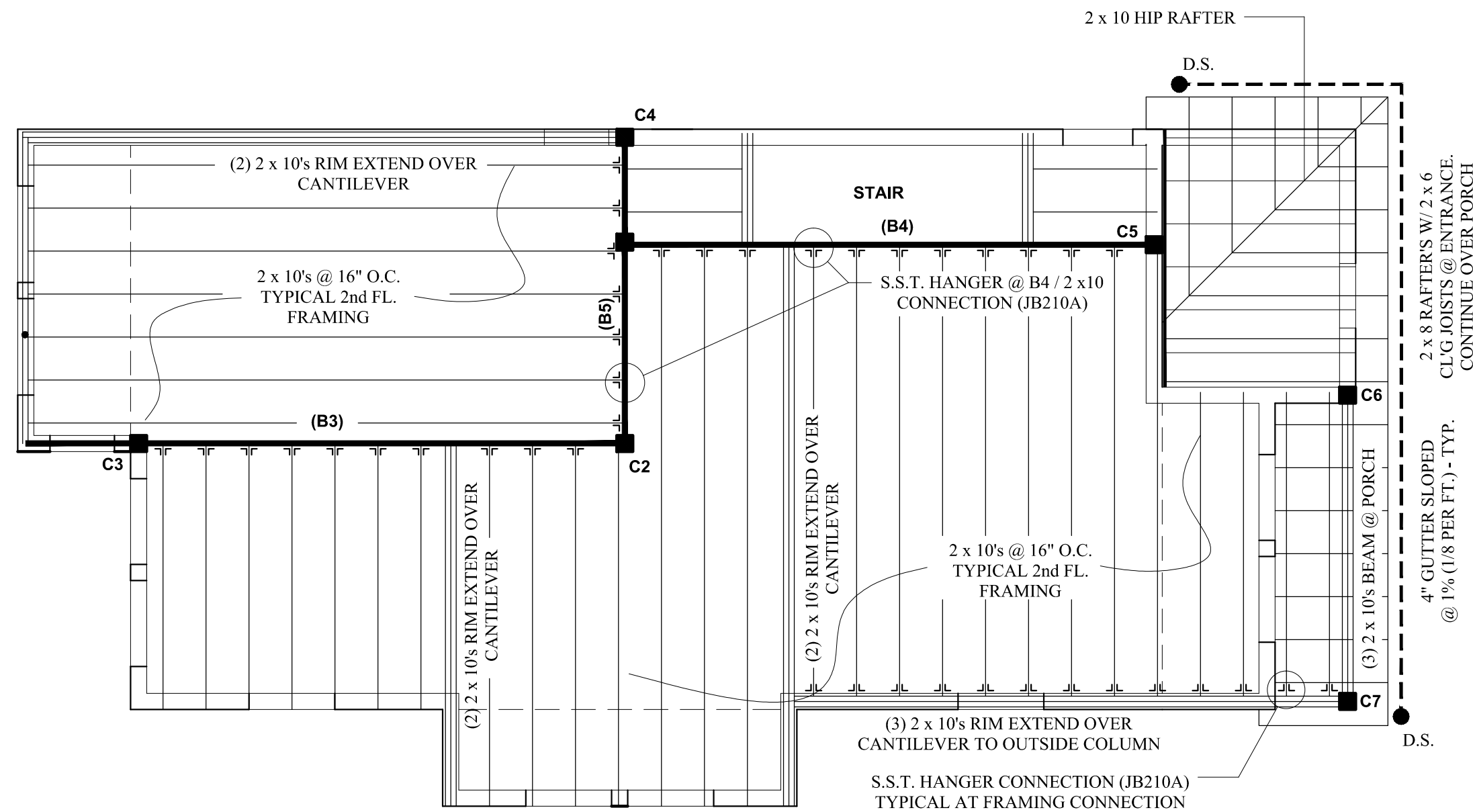
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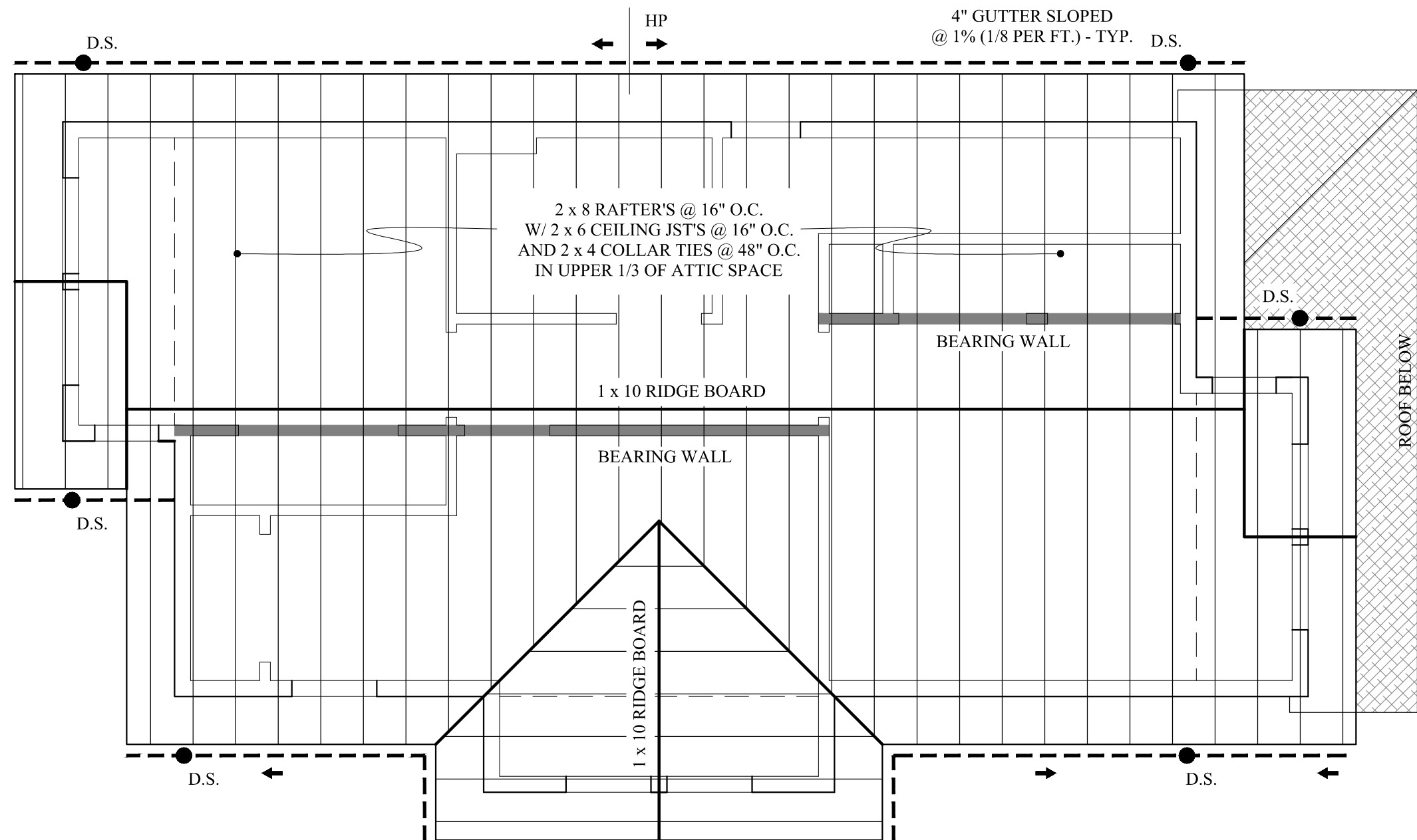
10-8-2025

SHEET TITLE:

A-4



1 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



2 ROOF FRAMING PLAN
1/4" = 1'-0"

STRUCTURAL DESIGN CRITERIA:

GROUND SNOW LOAD (Pg)	50 PSF
SNOW LOAD DESIGN (Ps)	35 PSF
ROOF LOADING	
LIVE LOAD DESIGN	35 PSF
DEAD LOAD DESIGN	15 PSF
CONTINGENCY LOAD	5 PSF
TOTAL ROOF DESIGN LOAD	55 PSF
FLOORS	
LIVE LOAD	40 PSF
DEAD LOAD	10 PSF
TL	50 PSF
CEILING	
LIVE LOAD	0 PSF
DEAD LOAD	10 PSF
TL	10 PSF
ROOF	
LL / SNOW LOAD	35 PSF
DEAD LOAD	20 PSF
TL	55 PSF
WIND - ULTIMATE (Vult)	115 MPH
WIND - DESIGN (Vasd)	90 MPH
EXPOSURE FACTOR	B
SEISMIC CLASSIFICATION	B
SOIL BEARING CAPACITY	1,500 PSF

COLUMN SCHEDULE:

C2	(3) 2 x 6's	(5.2K)
C3	(3) 2 X 6's	(3.1K)
C4	(3) 2 X 6's	(2.1K)
C5	(3) 2 X 6's	(3.2K)
C6	(3) 2 X 6's	(2.2K)
C7	6 x 6 P.T. POST	(2.2K)

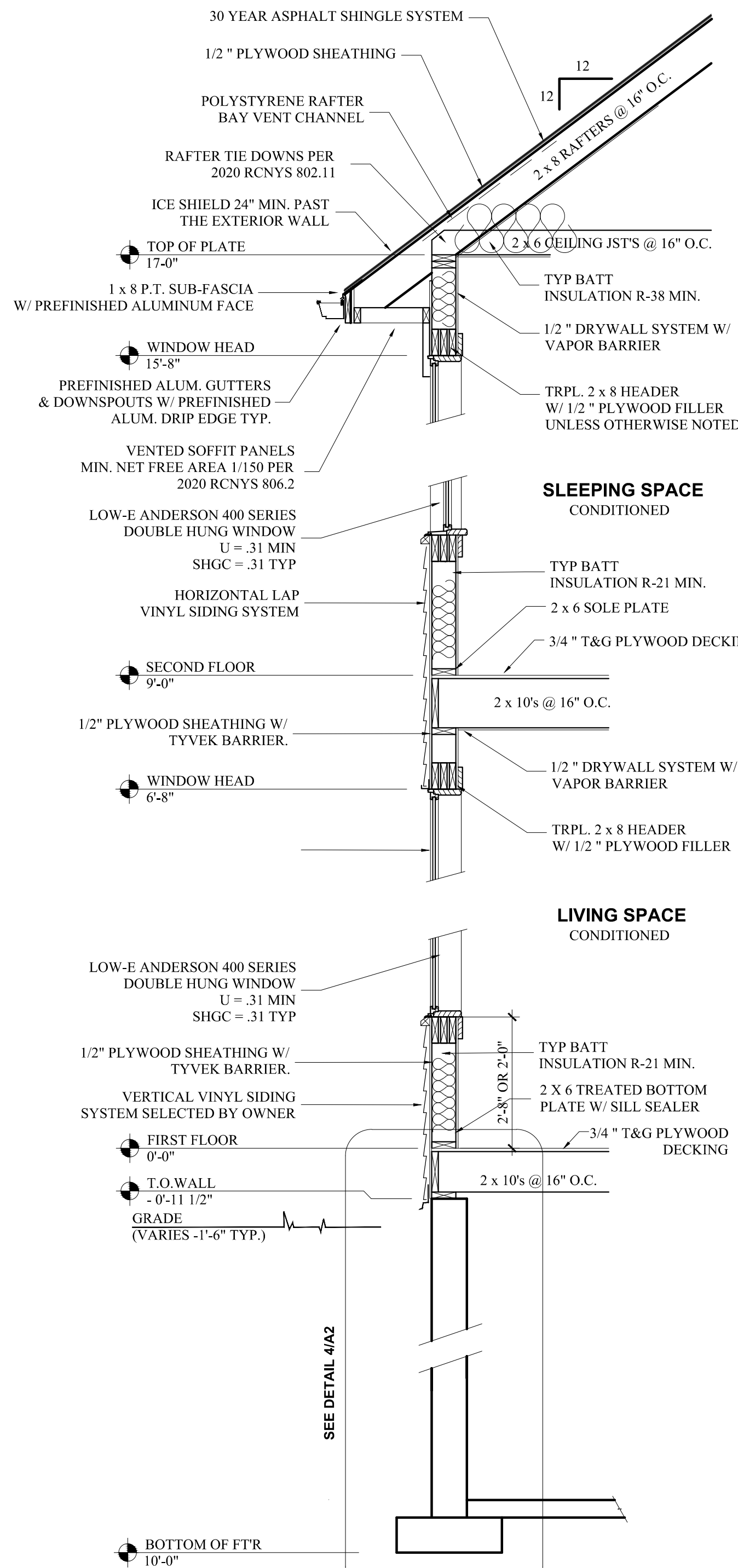
BEAM SCHEDULE:

B3	(3) 1 3/4" x 9 1/2" LVL (E=2.0)	(6.2K @ 15.0')
B4	(3) 1 3/4" x 9 1/2" LVL (E=2.0)	(6.5K @ 16.5')
B5	(2) 1 3/4" x 9 1/2" LVL (E=2.0)	(7.5K @ 9.5')

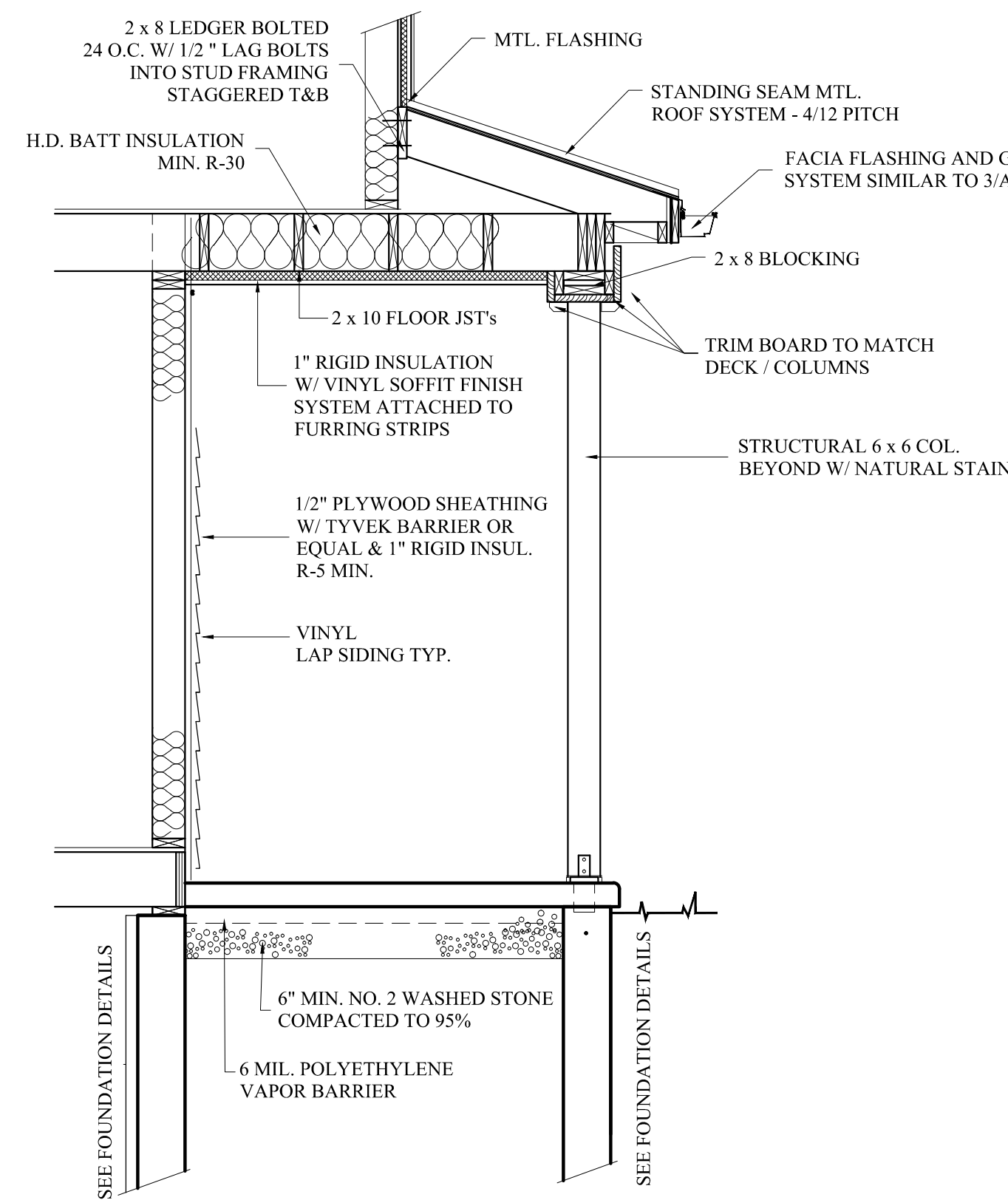
HEADER SCHEDULE:

H1	(3) 2" x 8" D.F.	TYPICAL ALL WINDOWS AND DOORS
----	------------------	----------------------------------

NOTE:
ALL REMAINING DOOR AND WINDOW HEADERS
SHALL BE TRIPLE 2 x 8's



3 TYPICAL WALL SECTION
1/2" = 1'-0"



4 WALL SECTION @ PORCH
1/2" = 1'-0"



MECHANICAL NOTES:

- UNDER CUT ALL DOORS
- ALL WORK SHALL BE IN ACCORDANCE WITH THE PLUMBING CODE, MECHANICAL CODE AND FUEL GAS CODE OF NEW YORK STATE.
- CONTRACTOR TO SITE VERIFY EXACT LOCATIONS OF DIFFUSERS, REGISTERS, AND GRILLES IN ACCORDANCE WITH THE LAYOUT OF THE REFLECTED CEILING PLAN.
- CONTRACTOR SHALL MAINTAIN RECOMMENDED CLEARANCES FOR MAINTENANCE, OPERATION, ETC. ON ALL EQUIPMENT.
- FIREPROOF ALL DUCT PENETRATIONS THRU FIRE RATED WALLS.
- VERIFY ALL EXISTING EQUIPMENT AND PIPING LOCATIONS IN FIELD PRIOR TO NEW EQUIPMENT INSTALLATION.
- PROVIDE VOLUME DAMPERS IN ALL SUPPLY AIR BRANCH DUCTS, AT MAIN DUCT.
- EXHAUST FAN DUCTWORK VENTED THROUGH ROOF AT DESIGNATED LOCATION. ROOF FLASHING BY CONTRACTOR.
- ALL NEW AND EXISTING DUCTS SHALL BE WRAPPED WITH 1 1/2" FOIL FACED FIBERGLASS. DUCT LINER IS NOT ACCEPTABLE.
- VENT EF-1 OUT ROOF WITH 6"Ø GALVANIZED STEEL EXHAUST VENT, RUN HORIZONTAL ABOVE CEILING AND BELOW ROOF. PROVIDE WITH GOOSENECK ROOF CAP. RESTORE ROOF PENETRATIONS TO MATCH ROOF SYSTEM.
- RUN ALL NEW SUPPLY DUCTS IN BETWEEN CEILING AND ROOF. FLEX RUNS SHALL NOT EXCEED 6' IN LENGTH.
- DIFFUSERS SHALL BE PRICE MODEL SMD WITH B12 WHITE COLOR, 4 WAY BLOW WITH S12 SQUARE TO ROUND ADAPTERS. TYPE "A" TO BE 2'X2' LAY-IN TYPE, TYPE "B" TO BE 12"X12".
- RETURN AIR GRILLES SHALL BE PRICE MODEL 535 STEEL

SYMBOLS:

- RETURN AIR DUCT
——— SUPPLY AIR DUCT
└ AIR FLOW CONTROL DAMPER
[] SUPPLY AIR GRILLE
[] RETURN AIR GRILLE
[] LIGHT / FAN BATHROOM EXHAUST COMINED
[T] THERMOSTAT

SYMBOL LEGEND:

- [SD] SMOKE DETECTOR
[SC] CARBON MONOXIDE DETECTOR
[] VENTILATION FAN / LIGHT COMBO MIN. 15 CFM PER OCCUPANT
[] 125V DUPLEX RECEPTACLE
[GFI] 125V GROUND FAULT RECEPTACLE
[] QUADRAPLEX RECEPTACLE
[] POWER POINT REFER TO EQUIPMENT INSTRUCTIONS FOR POWER REQUIREMENTS
S_D SINGLE POLE DIMMER SWITCH
S SINGLE POLE SWITCH
S₃ SINGLE POLE 3 - WAY SWITCH

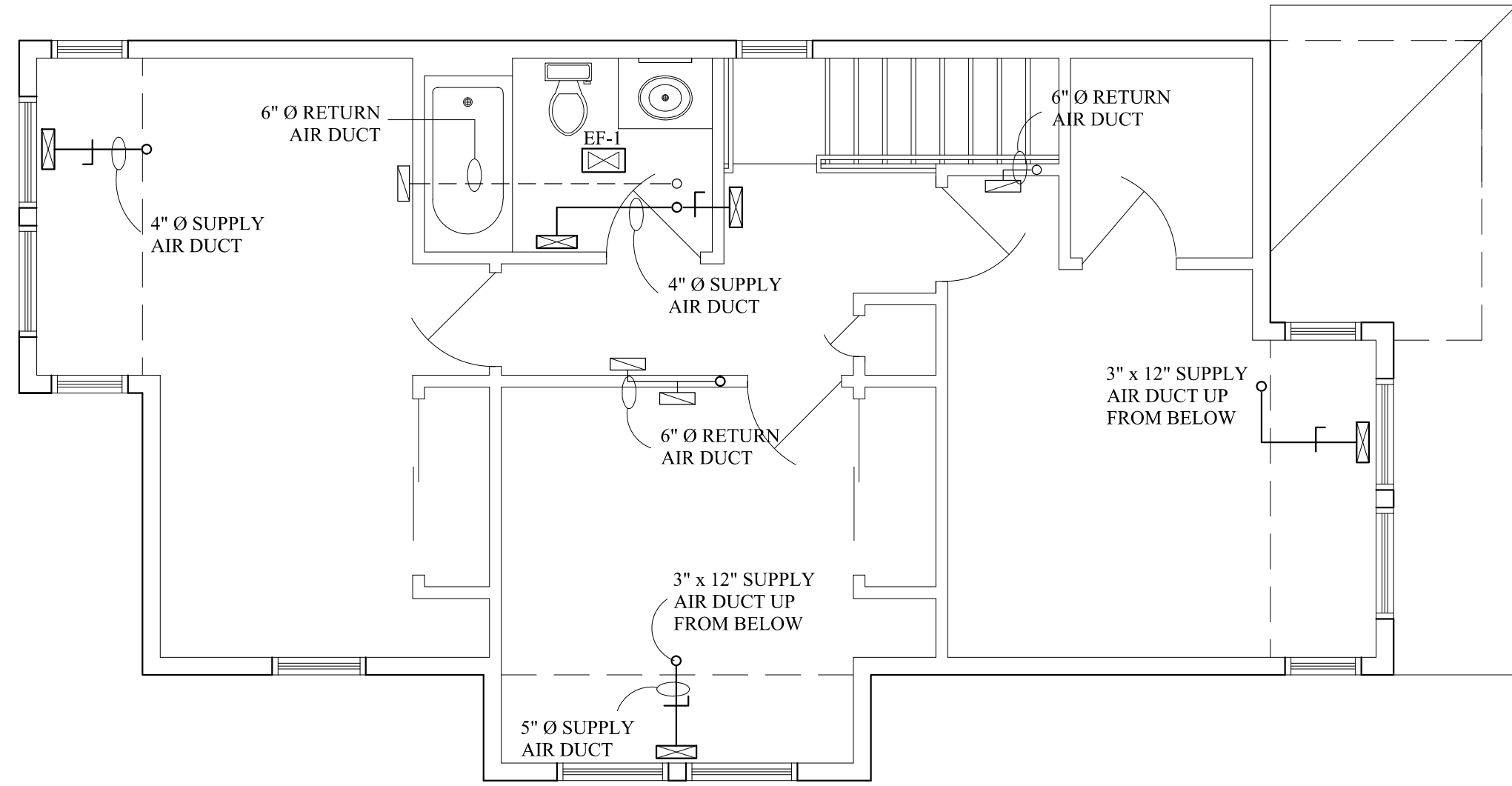
MECHANICAL FIXTURE SCHEDULE			
MARK	MANUFACTURE	MODEL	POWER REQUIREMENT
F-1	'CARRIER' FAN COIL / W/ DEHUMIDIFICATION	FE5B	208V / 230V
FA-1	HONEYWELL 'HOME' FRESH AIR VENTILATION SYSTEM	Y8150 / W8150	20-30 VAC, 60 Hz
HP-1	'CARRIER' VARIABEL SPEED HEAT PUMP 2.5 TONS	25VNA4	208V / 230V
HW-1	BRADFORD WHITE 40 GAL. ELECTRIC HOT WATER TANK	ERE340T6	240V SINGLE PHASE

GENERAL ELECTRICAL NOTES:

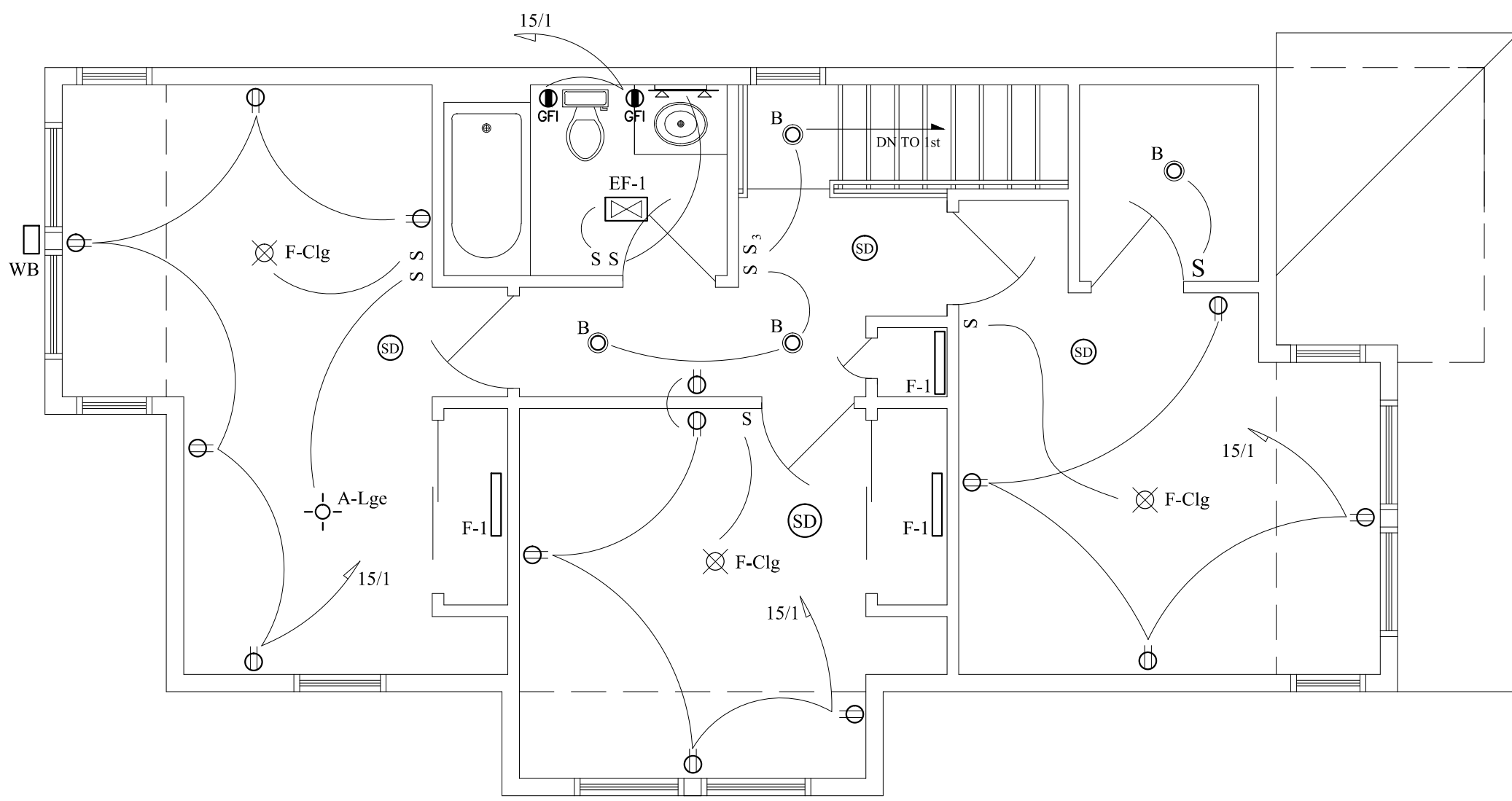
- ELECTRICAL POWER AS WELL AS LIGHTING SYSTEMS SHALL COMPLY WITH CHAPTER 4 OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (ECCCNYS).
- ALL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH ARTICLE 513 OF THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE - NFPA 70, THE FIRE CODE OF NEW YORK STATE, AS WELL AS MUNICIPAL CODES AND ORDINANCES.
- PROVIDE ALL LABOR, EQUIPMENT AND MATERIALS REQUIRED FOR ELECTRICAL SYSTEMS INDICATED ON THESE DRAWINGS. THE WORK SHALL BE TESTED AND LEFT IN A COMPLETE AND SATISFACTORY CONDITION AND SHALL BE APPROVED BY THE AUTHORITY OF JURISDICTION AS WELL AS THE OWNER AND ARCHITECT.
- THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL LOCATION OF THE FIXTURES, EQUIPMENT AND DEVICES. THESE DRAWINGS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE.
- ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE CONDITIONS ON WHICH THE WORK IS IN ANY WAY DEPENDENT. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE HIGHEST LEVEL OF WORKMANSHIP AND OPERATIONAL PERFORMANCE AS NECESSARY TO ACHIEVE THE INTENT OF SPECIFICATIONS AND DRAWINGS AND IN FULL COMPLIANCE WITH THE APPLICABLE CODES.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY THE ELECTRICAL REQUIREMENTS OF ALL ACTUAL FIXTURES, DEVICES AND EQUIPMENT INVOLVED IN THE INSTALLATION PRIOR TO THE EXECUTION OF THE WORK.
- FIXTURE MANUFACTURER NAMES AND MODEL NUMBERS ARE LISTED AS THE BASIS OF DESIGN AND AS A STANDARD FOR THE CONSTRUCTION. MANUFACTURERS OF EQUIVALENT FIXTURES MAY BE SUBSTITUTED BUT MUST DEMONSTRATE THAT THEY ACHIEVE THE CODE CRITERIA ESTABLISHED IN THE 2020 ECCCNYS FOR LPD REQUIREMENTS AND THE SPECIFIED MANUFACTURER'S PERFORMANCE PHOTOMETRICS. SUBSTITUTIONS SHALL ALSO BE SUBJECT TO THE APPROVAL OF THE ARCHITECT.
- ALL POWER RECEPTACLES THROUGHOUT ENTIRE WORK AREA SHALL BE GROUNDED AND IN COMPLIANCE WITH ARTICLE 513 OF NFPA 70.
- PROVIDE COMPLETE FIRE STOPPING WHERE INSTALLATIONS PENETRATE RATED WALL SEPARATIONS AS INDICATED ON THE ARCHITECTURAL DRAWINGS.

GENERAL LIGHTING NOTES

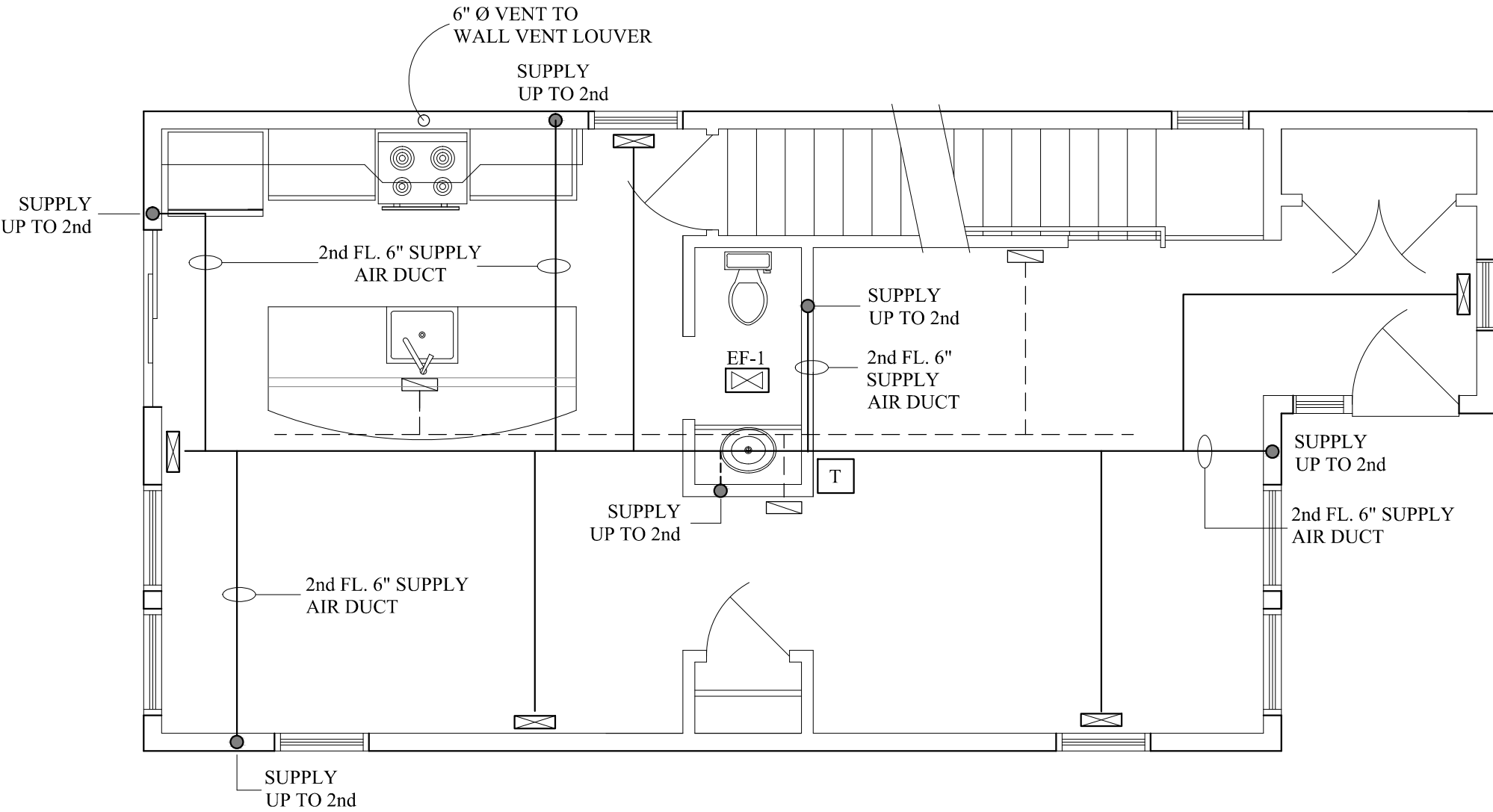
- LIGHTING SYSTEMS SHALL COMPLY WITH CHAPTER 4 OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS (ECCCNYS).
- FIXTURES SHALL COMPLY WITH SPECIFICATIONS ESTABLISHED ON THE ARCHITECT'S LIGHT FIXTURE SCHEDULE.
- LIGHTING CONTROLS SHALL COMPLY WITH SECTION C405.2 OF THE 2020 ECCCNYS. INSTALL OCCUPANCY SENSOR CONTROLS AS DESIGNATED IN CODE AND THROUGHOUT THE ENTIRE WORK AREA.
- LIGHTING LAYOUT AND DESIGN INDICATED ON DRAWINGS IS IN COMPLIANCE WITH THE INTERIOR LIGHTING POWER DISTRIBUTION ALLOWANCE (LPD) AS ESTABLISHED BY THE 2020 ECCCNYS. ALL WORK SHALL BE IN ACCORDANCE WITH THE DESIGN AS SHOWN.



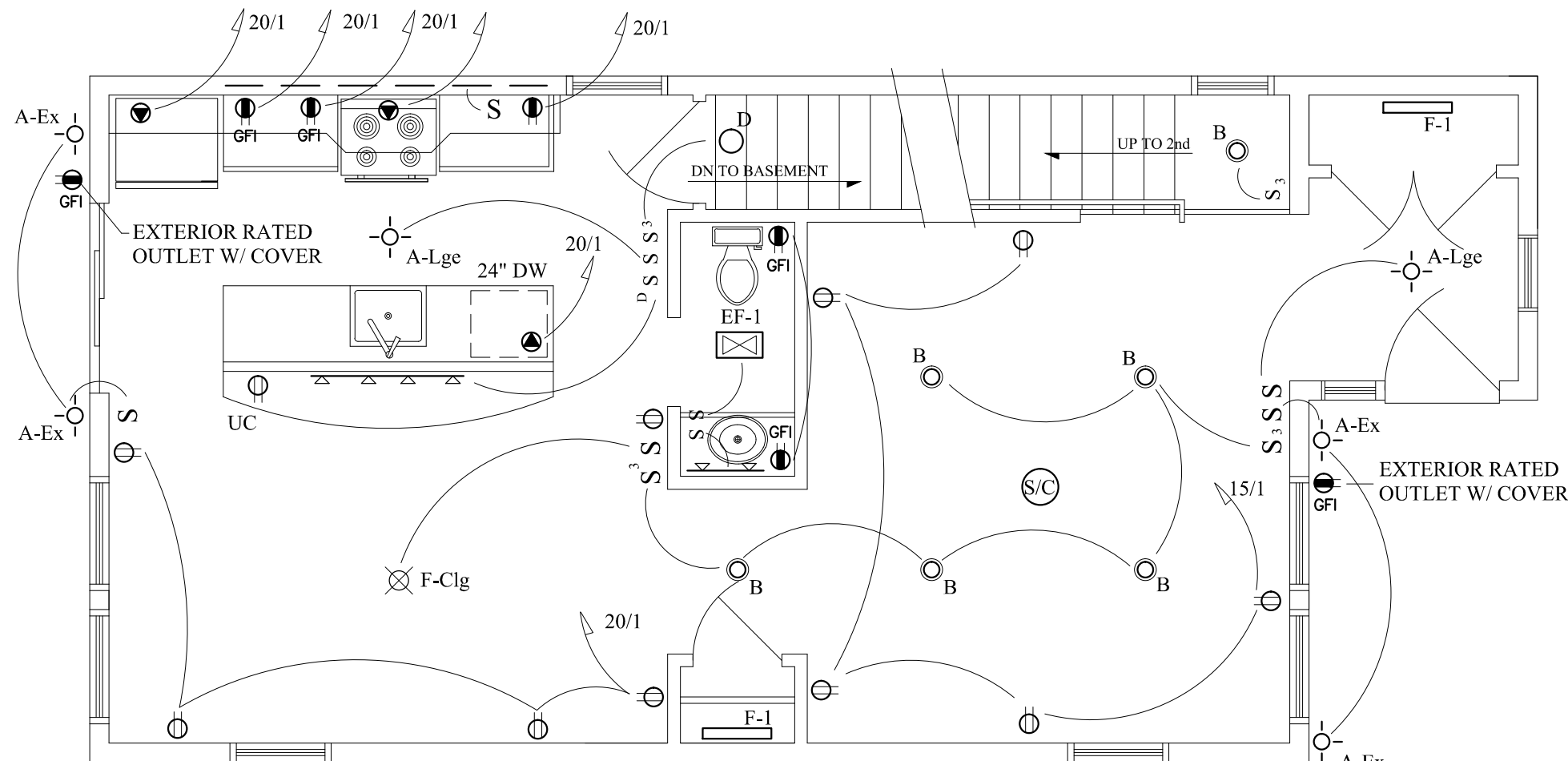
3 2nd FLOOR MECHANICAL PLAN
1/4" = 1'-0"



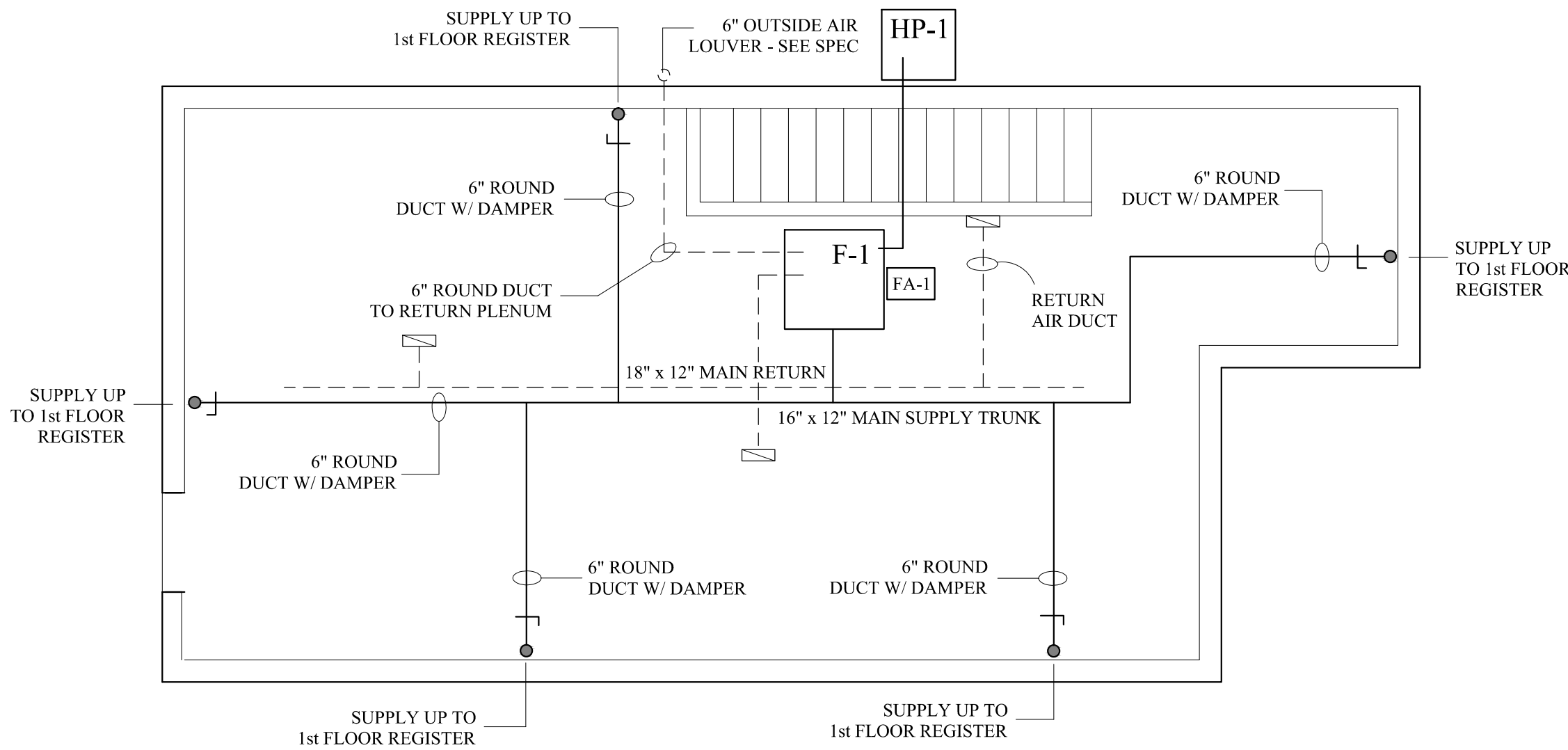
6 3rd FLOOR POWER / LIGHTING PLAN
1/4" = 1'-0"



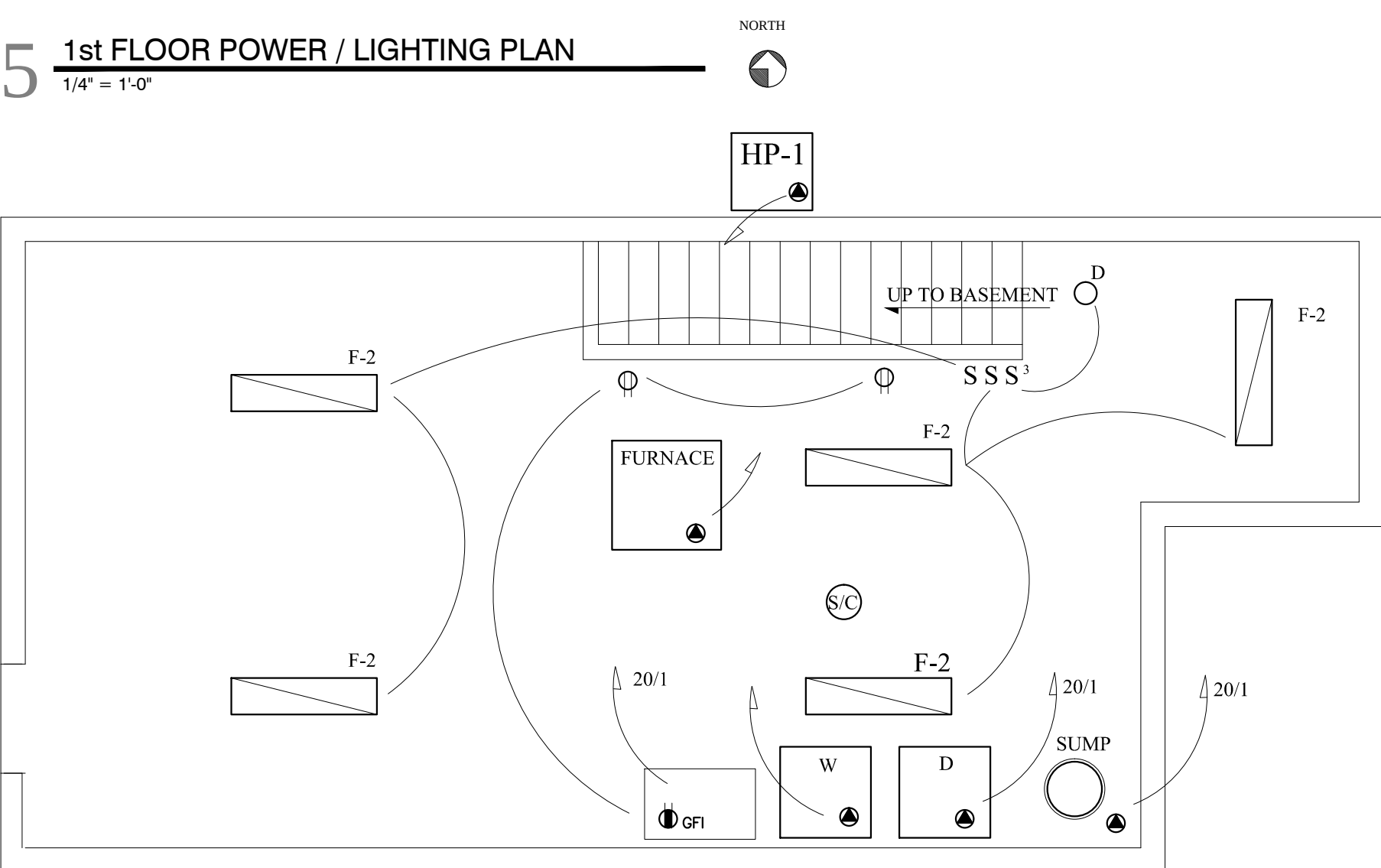
2 1st FLOOR MECHANICAL PLAN
1/4" = 1'-0"



5 1st FLOOR POWER / LIGHTING PLAN
1/4" = 1'-0"



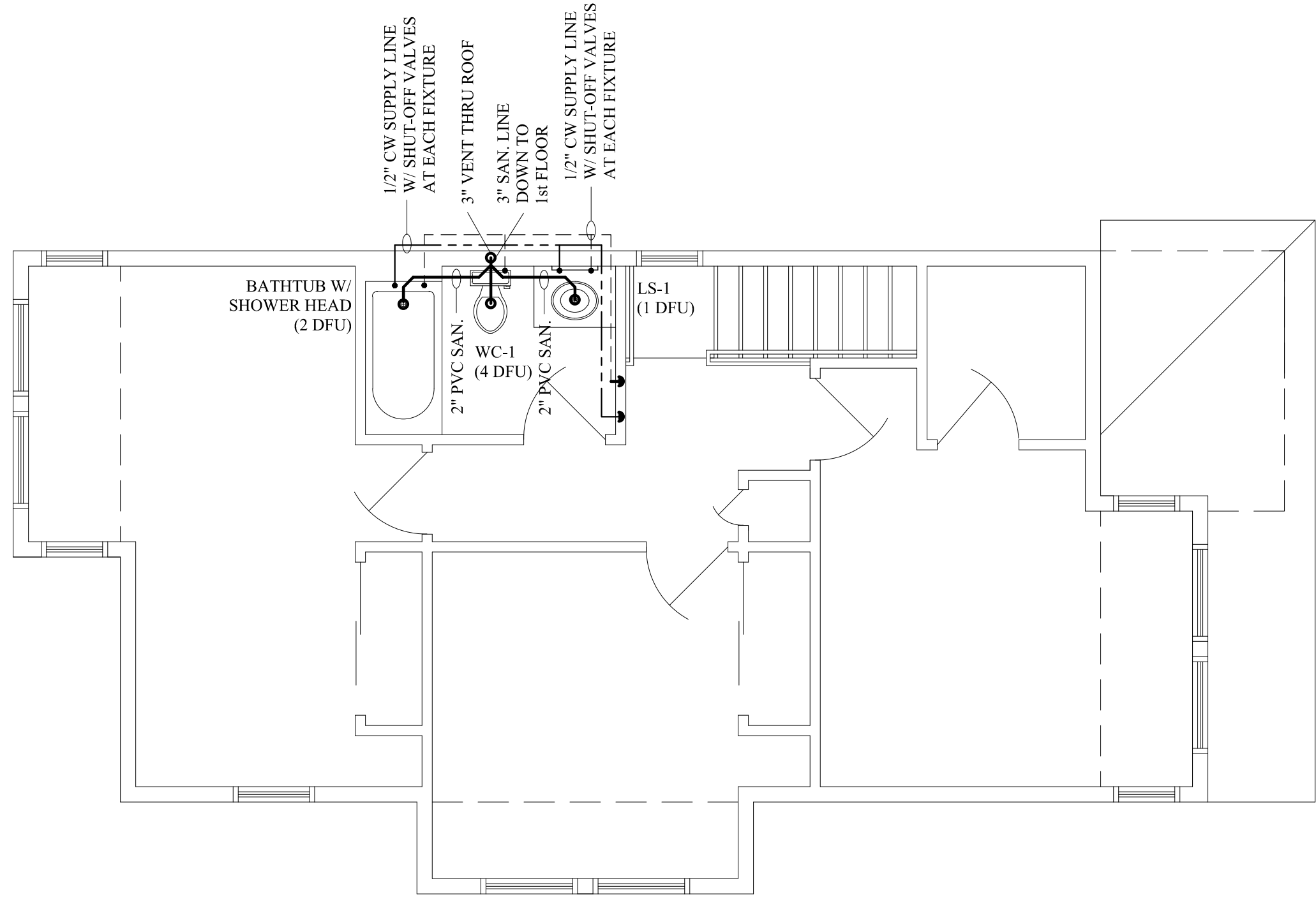
1 BASEMENT MECHANICAL PLAN
1/4" = 1'-0"



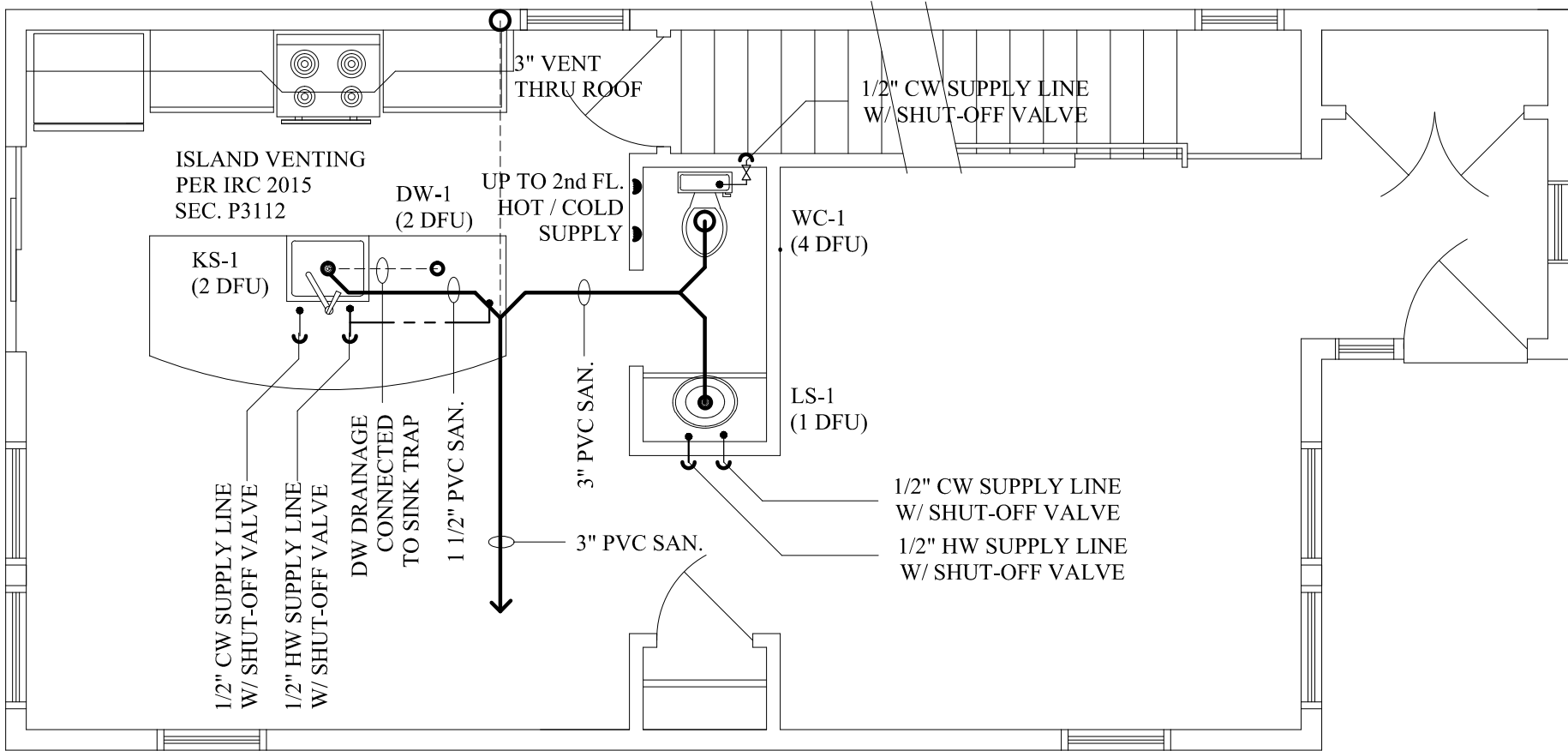
4 BASEMENT POWER / LIGHTING PLAN
1/4" = 1'-0"

LIGHTING LEGEND:

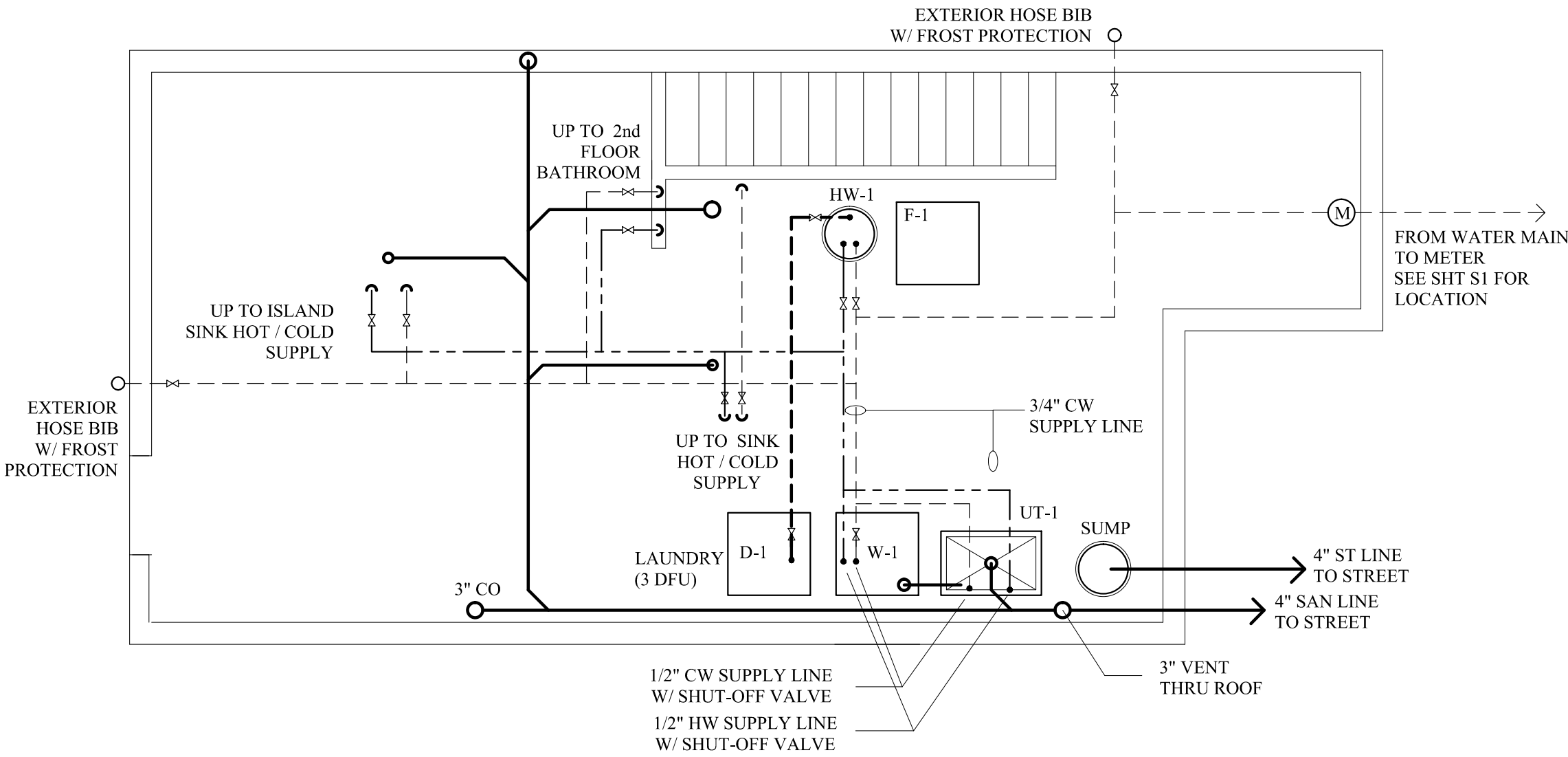
- 3-LIGHT CEILING MOUNTED - SEE SCHEDULE
EXTERIOR WALL SCONCE - SEE SCHEDULE
6" RECESSED CAN - SEE SCHEDULE
CLOSET WALL MOUNTED - SEE SCHEDULE
T8 FLOURESCENT 1 x 4 - SEE SCHEDULE
4 LIGHT FIXED TRACK PENDANT - SEE SCHEDULE
CEILING LIGHT - SEE SCHEDULE
EXTERIOR FLOOD LIGHT - SEE SCHEDULE
EXHAUST FAN / LIGHT COMBO - SEE SCHEDULE
UNDERCABINET LIGHTING - SEE SCHEDULE
2-LIGHT CEILING MOUNTED - SEE SCHEDULE



3 2nd FLOOR PLUMBING PLAN
1/4" = 1'-0"



2 1st FLOOR PLUMBING PLAN
1/4" = 1'-0"



1 BASEMENT PLUMBING PLAN
1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE						
MARK	FIXTURE	DRAINAGE		WATER		REMARKS
		SAN	VENT	CW	HW	
WC-1	WATER CLOSET - PRESSURE TANK TYPE - 1.28 GPF	3"	3"	1/2"	-	SEE ARCHITECTS FINISH SCHEDULE
LS-1	LAVATORY - COUNTER MOUNT	1 1/2"	1 1/2"	1/2"	1/2"	SEE ARCHITECTS FINISH SCHEDULE
KS-1	KITCHEN SINK - STAINLESS STEEL	1 1/2"	1 1/2"	1/2"	1/2"	SEE ARCHITECTS FINISH SCHEDULE
SW-1	TUB / SHOWER - PREFABRICATED FIBERGLASS SURROUND	2"	1 1/2"	1/2"	1/2"	SEE ARCHITECTS FINISH SCHEDULE
UT-1	UTILITY SINK - FREESTANDING - ONE PIECE POLYPROPYLENE	1 1/2"	1 1/2"	1/2"	1/2"	SEE ARCHITECTS FINISH SCHEDULE
NOTE: FURNISH AND INSTALL CARRIERS OR FIRE TREATED WOOD BLOCKING FOR ALL WALL HUNG MOUNTED PLUMBING FIXTURES INCLUDING SINKS AND DRINKING FOUNTAINS. USE DOUBLE STUDS AND PARTITION BRACING AS REQUIRED. INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.						

PLUMBING NOTES:

- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE 2020 PLUMBING CODE OF NEW YORK STATE (PCNYS).
- PROVIDE DOMESTIC WATER PIPING, VENTS, DRAINS AND GAS PIPING AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE REQUIREMENTS OF THIS CODE.
- INSTALL UNIONS AND OTHER DISCONNECT MEANS, STOPS OR VALVES FOR ISOLATION OF FIXTURES AND EQUIPMENT. VALVES TO BE FULLY COMPATIBLE WITH PIPING FOR SERVICE INTENDED AND SHALL BE MANUFACTURED BY NIBCO, CRANE, WATTS OR OTHER APPROVED MANUFACTURERS. INCLUDE HOSE OR DRAIN VALVES AT LOW POINTS WHERE FIXTURES CANNOT BE USED FOR DRAINAGE.
- INSTALL SHOCK ABSORBERS AT EACH FIXTURE OR WHERE REQUIRED TO PREVENT WATER HAMMER. SHOCK ABSORBERS TO BE PRECISION PLUMBING PRODUCTS SC SERIES OR EQUAL.
- ALL HANGERS ON INSULATED PIPE TO BE OUTSIDE OF INSULATION. SIZE ACCORDINGLY AND WITH SUFFICIENT SADDLE TO PROTECT INSULATION.
- ALL PIPE HANGERS AND SUPPORTS ARE TO BE PROVIDED TO PROPERLY SUPPORT, SECURE AND ALIGN PIPING AND TO MEET SPACING CONDITIONS. HANGERS SHALL COMPLY WITH ALL CODE REQUIREMENTS.
- INSULATE ALL PIPING IN CONFORMANCE WITH THE PRESCRIPTIVE VALUES ESTABLISHED IN SECTION 403 OF THE 2020 ECC NYS.
- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND INDICATE SIZE AND GENERAL ARRANGEMENT OF PIPING, FIXTURES, EQUIPMENT AND APPLIANCES. EXACT LOCATION AND ROUTING SHALL BE DETERMINED IN THE FIELD BEFORE AND AS WORK PROGRESSES. CAREFULLY COORDINATE WORK OF THIS TRADE WITH ALL OTHER TRADES.
- DRAWINGS DO NOT INDICATE ALL OFFSETS NOR CHANGES IN ELEVATION WHICH MAY BE REQUIRED BY ACTUAL FIELD CONDITIONS. THE CONTRACTOR IS TO FIELD VERIFY CONDITIONS PRIOR TO INSTALLATION AND MAKE SUCH CHANGES IN PIPING, FIXTURE AND EQUIPMENT LOCATIONS AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. COORDINATE ALL CHANGES WITH OTHER TRADES AND ARCHITECT.
- THE CONTRACTOR SHALL FURNISH AND INSTALL NAILING SHIELDS AT ALL LOCATIONS WHERE PIPING IS SUBJECT TO PENETRATION BY FASTENERS. REFERENCE 2015 IMC REQUIREMENTS.
- PLUMBING WORK INCLUDES THE SCOPE SHOWN ON BOTH THE DRAWINGS AND SPECIFICATIONS. THE SYSTEM IS INTENDED TO BE COMPLETE AND FULLY FUNCTIONING. THE CONTRACTOR SHALL PROVIDE SUCH MATERIALS, COMPONENTS AND ACCESSORIES AS NECESSARY FOR A FULLY FUNCTIONING PLUMBING SYSTEM IN ACCORDANCE WITH THE CODE.

SYMBOLS:

- NEW HOT WATER SUPPLY LINE
- NEW COLD WATER SUPPLY LINE
- 4" SDR-35 PVC SANITARY LINE
- SHUT-OFF VALVE

PROFESSIONAL SEAL:



Drawings conveyed for acquisition of building
permit shall be signed, sealed and dated.

CONSULTANT:

CLIENT:

BENLIC
403 MAIN STREET, SUITE 602
BUFFALO, NEW YORK 14203

PROJECT:

SINGLE FAMILY HOUSE

33 SCHUELE STREET
BUFFALO, NEW YORK 14215

REVISIONS / SUBMISSIONS: Date

PLUMBING PLANS & NOTES

DRAWING TITLE:

**BID DOCUMENTS /
PERMIT DRAWINGS**

ISSUE DATE: 10-8-2025

SHEET TITLE:

P-1